

RATCLIFF ROAD
80' R/W (CB 393, PG. 625, 627, 628, 629, 630)

N00°58'23"E-1637.95'

SOUTH ROACH DRIVE
60' R/W (PLAT BK. 1700, PG. 351)

GIFFORD DRIVE
30.00'
N00°58'23"E

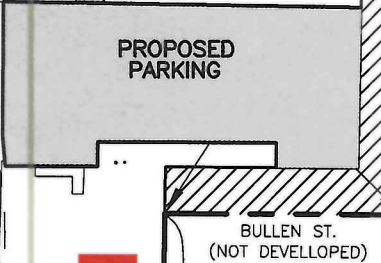
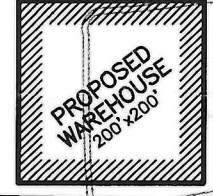
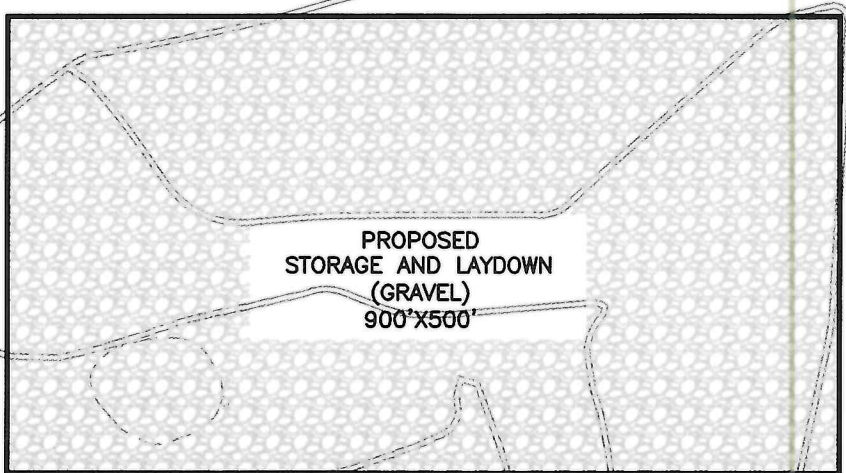
ROAD DEDICATION
(PLAT BK. 700, PG. 91)
286.05'
S89°04'03"E

LOT 1
SWEPCO SHREVEPORT/BOSSIER
OPERATION CENTER

IVORY INVESTMENTS
COMPANY, INC.
(CB 3184, PG. 458)

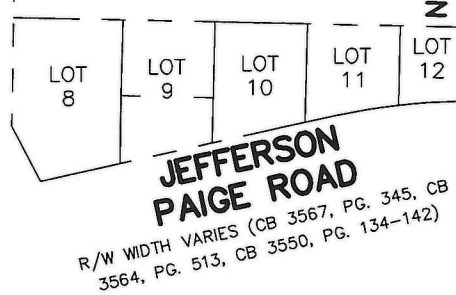
50' WIDE
NON-DISTURBANCE/
NATURAL GROWTH AREA

MONKHOUSE DRIVE
100' R/W (PLAT BK. 1000, PG. 305)



CONSTRUCTED

WEISS PARK SUBDIVISION
(PLAT BK. 300, PG. 392)



**THIS IS THE BUILDING BEING
CONSTRUCTED IN A DIFFERENT
LOCATION.**

107.77'
S89°50'44"E

LOT 1
PRAISE TEMPLE
SUBDIVISION
UNIT 2
PLAT BK. 6000, PG. 90

BULLEN ST.
(NOT DEVELOPED)

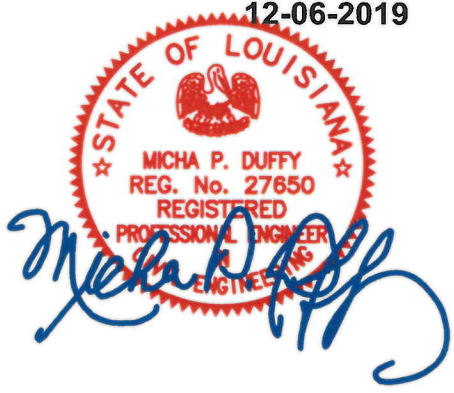
MARSTON PARK
SUBDIVISION UNIT 6
(PLAT BK. 150, PG. 21)

**EXECUTIVE
DIRECTOR
APPROVAL**

12-7-2021
By *[Signature]*

ORIGINAL SITE PLAN.

12-06-2019



L=50.59' R=636.16'
CH=N45°58'39"W-50.57'
L=45.69' R=636.16'
CH=N42°25'12"W-45.68'

PRELIMINARY SITE PLAN FOR PROPOSED SWEPCO
SERVICE CENTER, 5006 JEFFERSON PAGE ROAD,
SHREVEPORT, LOUISIANA

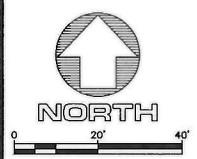
**COYLE ENGINEERING
CO. INC.**

SCALE: 1" = 200'	DRAWN BY: CAH	CHECKED BY: CGC3	REVISION: 12/06/19 (CAH) ~ REV SITEPLAN
DATE: 01-15-2015	FIELD BOOK FILE	PROJECT NO. 219054	
3925 BENTON ROAD P.O. BOX 6177 BOSSIER CITY, LOUISIANA 71171-6177 PHONE (318) 746-8987			SHEET 1 OF 1



Scale: 1" = 200'

21-38-P



ACCESS FOR DUMPSTER TRUCK

25' AISLE FOR 2-WAY TRAFFIC TO GET TO THE BACK PARKING

REQ'D 2.00' WIDE CONCRETE FLUME (SEE SHEET C-8 FOR DETAILS)

REQ'D 2.00' WIDE CONCRETE FLUME (SEE SHEET C-8 FOR DETAILS)



REQ'D DUMPSTER (SEE SHEET C-9 FOR DETAILS)

EXECUTIVE DIRECTOR APPROVAL

12-7-2021 Date By *[Signature]*

TURNING FOR LARGER BUCKET TRUCK TO EXIST SERVICE BAY.

THIS AREA OF CONCRETE DRIVE IS FOR ACCESS TO THE SERVICE BAYS 2 DOORS, 2 LANES

REQ'D BOLLARD (TYP.) (SEE SHEET C-8 FOR DETAIL)

DRIVE THRU BAY

NON-DRIVE THRU BAY

PROPOSED BUILDING



BOLLARDS ARE PROTECTING THE OVERHEAD

REQ'D HANDICAP SIGN (SEE SHEET C-8 FOR DETAILS)

REQ'D HANDICAP STRIPING (SEE SHEET C-8 FOR DETAILS)

REQ'D WHEEL STOP (SEE SHEET C-8 FOR DETAILS)

GENERAL NOTES:

1. CALL UTILITY LOCATION SERVICE 811. (LOUISIANA ONE CALL)
2. ALL NEW UTILITIES TO ARE TO BE LOCATED UNDERGROUND.
3. ALL WORK SHALL CONFORM TO THE CITY OF SHREVEPORT STANDARDS.
4. ALL CURB/HANDICAP RAMP AND PARKING DESIGNS SHALL CONFORM TO ADA STANDARDS.
5. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 12", WHICHEVER IS LESS, CONTACT MOHR & ASSOCIATES, INC., AT (318) 686-7190 PRIOR TO PROCEEDING WITH CONSTRUCTION.
6. THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL HE DETERMINES IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATION.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. THE OWNER AND MOHR AND ASSOCIATES, INC. ACCEPT NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS.

AUTHORITY AND RESPONSIBILITY:

1. THE ENGINEER, AS REPRESENTATIVE OF THE OWNER, SHALL NOT GUARANTEE THE WORK OF ANY CONTRACTOR OR SUBCONTRACTOR, SHALL HAVE NO AUTHORITY TO STOP WORK, SHALL HAVE NO SUPERVISION OR CONTROL AS TO THE WORK OR PERSONS DOING THE WORK, SHALL NOT HAVE CHARGE OF THE WORK, SHALL NOT BE RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE JOB SITE OR HAVE ANY CONTROL OF THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENT, SCAFFOLDING, SUPPORTS, FORMS, OR OTHER WORK AIDS, AND SHALL HAVE NO DUTIES OR RESPONSIBILITIES IMPOSED BY THE STRUCTURAL WORK ACT.

CONTRACTOR TO CALL LA. ONE CALL, 811, FOR LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

NO.	REVISIONS	DATE

ISSUED FOR:
 PRELIMINARY
 PERMIT
 BIDDING
 CONSTRUCTION

TELECOM SHOP AND OFFICE
 KYLE STREET
 SHREVEPORT, CADDO PARISH, LOUISIANA
 SITE PLAN AND GEOMETRIC LAYOUT

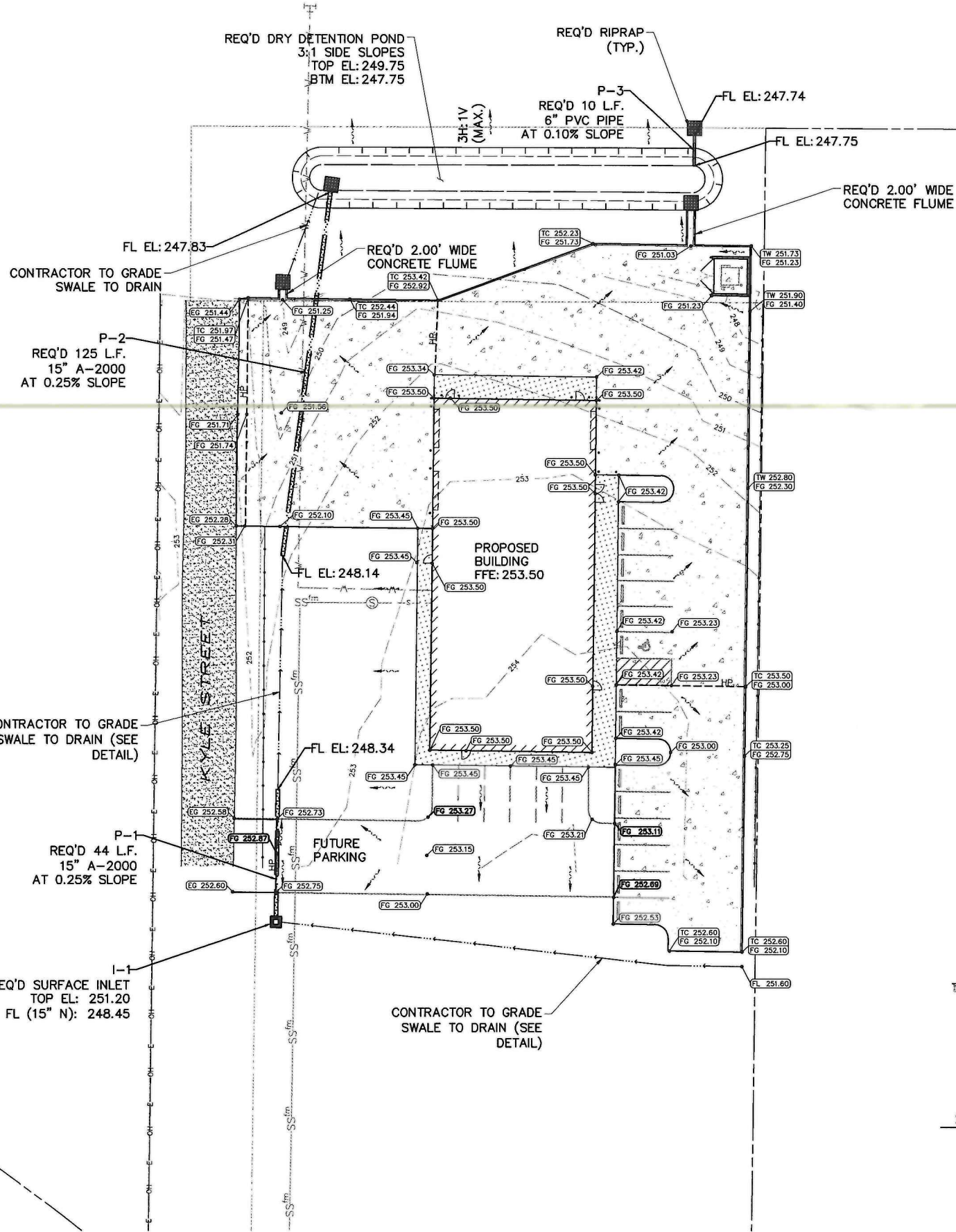
Mohr and Associates, Inc.
 Consulting Civil Engineers & Land Surveyors
 1324 N. Hearne Ave., Ste 301 Phone: (318) 686-7190
 Shreveport, Louisiana 71107 Fax: (318) 402-4400

Date 10/06/2021
 Scale 1"=20'
 Drawn VEG
 Job 38070
 Sheet **C-3**
 of 9C Sheets

21-38-P



0 20' 40'



DRAINAGE NOTES:

1. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION.
2. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING FENCING, EXISTING STORM OR SANITARY MANHOLES, OR OTHER EXISTING UTILITIES DURING GRADING.
3. PIPE SHALL BE CONTECH A2000 OR EQUIVALENT AS INDICATED ON THE PLANS OR RCP INSTALLATION SHALL BE ACCORDING TO THE PLANS AS STATED AND TO THE MANUFACTURER'S SPECIFICATIONS.
4. ALL PIPE SHALL BE BEDDED IN 6" AGGREGATE BEDDING. BEDDING MATERIALS SHALL EXTEND TO UNDISTURBED EARTH.
5. ALL EXCESS MATERIAL SHALL BE INCORPORATED IN THE EMBANKMENT ON SITE AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ALL TRENCHING OPERATIONS WITHIN A PREPARED SUB GRADE SHALL BE BACK FILLED IN SUCH A MANNER THAT THE SUB GRADE WILL REMAIN IN THE CONDITION EXISTING BEFORE CONSTRUCTION OPERATIONS BEGAN. THE CONTRACTOR WILL BE HELD LIABLE FOR THE COST OF ANY GRADING OPERATIONS NECESSARY TO CORRECT FAULTY BACK FILLING OR CLEANUP PROCEDURES.
6. TRENCH (SELECT) BACK FILL WILL BE PROVIDED WHEN THE INNER EDGE OF TRENCH OR MANHOLE EXCAVATION IS WITHIN 2 FEET OF ANY PROPOSED OR EXISTING PAVEMENT, CURB, OR SIDEWALK. NO EXTRA COMPENSATION WILL BE ALLOWED FOR COORDINATION OF THIS WORK.

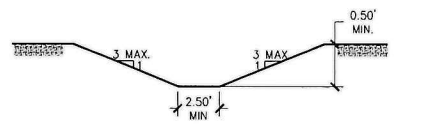
**EXECUTIVE
DIRECTOR
APPROVAL**

12-7-2021
Date By *[Signature]*



GRADING NOTES:

1. EARTHWORK SHALL BE IN ACCORDANCE WITH THE LOUISIANA DOTD "STANDARD SPECIFICATIONS FOR ROADS & BRIDGES" 2006 EDITION.
2. SEE PLAN AND PROFILE SHEETS FOR DETAILED STREET GRADES.
3. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING INCLUDING EXCAVATION, EMBANKMENT, AND BACK FILLING AS NECESSARY TO CONSTRUCT ALL PAVEMENT AND SIDEWALKS TO THE ELEVATIONS SHOWN ON THE PLANS.
5. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING FENCING, EXISTING STORM OR SANITARY MANHOLES, OR OTHER EXISTING UTILITIES DURING GRADING.
6. EXISTING VEGETATION AND TOPSOIL SHALL BE REMOVED TO A DEPTH AS NEEDED TO REMOVE ALL ORGANIC MATERIAL.
7. EMBANKMENT WITHIN THE PROPOSED PAVEMENT AND BUILDING SITE AREAS SHALL BE COMPACTED TO NOT LESS THAN 95% (STANDARD PROCTOR).
8. ALL EROSION CONTROL FEATURES SHALL BE IN PLACE BEFORE CONSTRUCTION BEGINS. REFER TO SHEET C-2 FOR SPECIFICS.
9. SUBDIVISION IS LOCATED IN ZONE "X" (SHADED) AS PER FIRM MAP #22017C0367H EFFECTIVE DATE MAY 19, 2014.



DETENTION:
REQ'D VOLUME: 2,932 CU.FT.
PROVIDED VOLUME: 4,185 CU.FT.

CONTRACTOR TO CALL LA. ONE CALL, 811, FOR LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

REVISED	NO.	DATE

Mohr and Associates, Inc.
Consulting Civil Engineers & Land Surveyors
1324 N. Hearne Ave., Ste 301
Shreveport, Louisiana 71107
Phone: (318) 686-7190
Fax: (318) 402-4400

ISSUED FOR:
 PRELIMINARY
 PERMIT
 BIDDING
 CONSTRUCTION

TELECOM SHOP AND OFFICE
KYLE STREET
SHREVEPORT, CADDO PARISH, LOUISIANA
GRADING AND DRAINAGE PLAN

Date: 10/06/2021
Scale: 1"=20'
Drawn: RLR
Job: 38070
Sheet: **C-4**
of 9C Sheets

21-38-P



- SANITARY SEWERS & WATER MAINS:**
1. CALL UTILITY LOCATION SERVICE 1-800-272-3020. (LOUISIANA ONE CALL).
 2. ALL WATER & SEWER RELATED FACILITIES ARE TO CONFORM TO CITY OF SHREVEPORT ENGINEERING SPECIFICATIONS AND STANDARDS.
 3. ALL EXCESS MATERIAL SHALL BE INCORPORATED IN THE EMBANKMENT ON THE SITE AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ALL TRENCHING OPERATIONS WITHIN A PREPARED DRIVE OR PARKING SUB GRADE SHALL BE BACK FILLED IN SUCH A MANNER THAT THE SUB GRADE WILL REMAIN IN THE CONDITION EXISTING BEFORE CONSTRUCTION OPERATIONS BEGAN. THE CONTRACTOR WILL BE HELD LIABLE FOR THE COST OF ANY GRADING OPERATIONS NECESSARY TO CORRECT FAULTY BACK FILLING OR CLEANUP PROCEDURES.
 4. PROVIDE TRENCH BACK FILL WITH SELECT MATERIAL WHEN INNER EDGE OF TRENCH OR MANHOLE EXCAVATION IS WITHIN TWO (2) FEET OF ANY PROPOSED OR EXISTING PAVEMENT, CURB, OR SIDEWALK.
 5. SANITARY GRINDER PUMP AND FORCE MAIN SIZES TO BE CONFIRMED BY SUPPLIER.
 6. CONTRACTOR TO HAVE SANITARY GRINDER PUMP SUBMITTAL APPROVED BY ENGINEER.

**EXECUTIVE
DIRECTOR
APPROVAL**

12-7-2021 *[Signature]*
Date By



UTILITY CONTACT INFORMATION			
UTILITY	COMPANY	ADDRESS	PHONE
WATER	CITY OF SHREVEPORT	505 TRAVIS STREET SHREVEPORT, LA	318-673-6100
SEWER	CITY OF SHREVEPORT	505 TRAVIS STREET SHREVEPORT, LA	318-673-6100
ELECTRICITY	AEP/SWPCO	6130 UNION AVE. SHREVEPORT, LA	318-862-2004
NATURAL GAS	CENTERPOINT ENERGY	1262 DALZELL SHREVEPORT, LA	318-429-4244

CONTRACTOR TO CALL LA. ONE CALL, 811, FOR LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

REVISIONS	NO.	DATE

Mohr and Associates, Inc.
Consulting Civil Engineers & Land Surveyors
 1324 N. Hearno Ave., Ste 301 Phone: (318) 684-7100
 Shreveport, Louisiana 71107 Fax: (318) 402-4400

ISSUED FOR:
 PRELIMINARY
 PERMIT
 BIDDING
 CONSTRUCTION

TELECOM SHOP AND OFFICE
 KYLE STREET
 SHREVEPORT, CADDO PARISH, LOUISIANA
 SITE UTILITY PLAN

Date 10/06/2021
 Scale 1"=40'
 Drawn RLR
 Job 38070
 Sheet **C-5**
 of 9C Sheets

21-38-P

EXECUTIVE
DIRECTOR
APPROVAL

12-7-2021 *adw*
Date By

ma
mcnew Architecture
A Professional
Architectural Corporation
3556 Youree Drive
Shreveport, LA, 71105
318-219-7388 v.
318-219-7466 f.

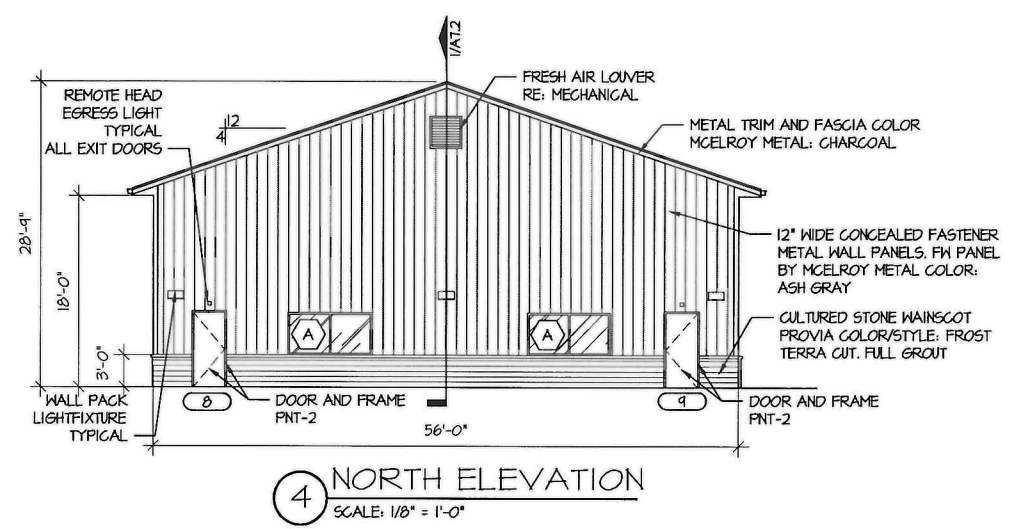
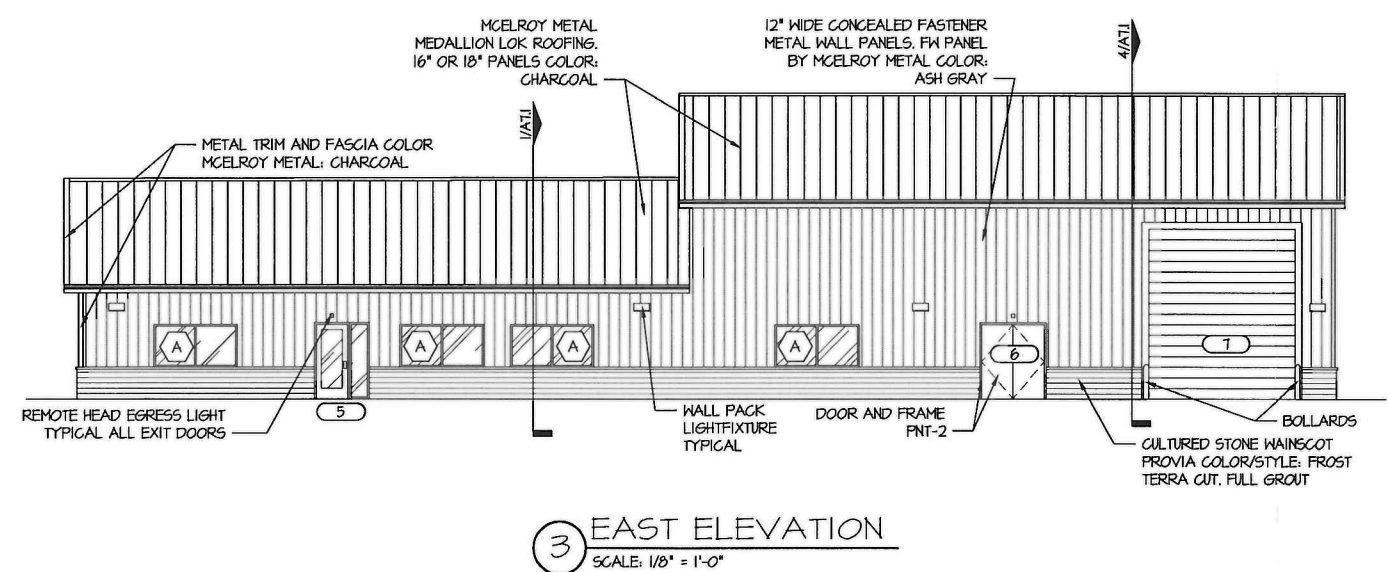
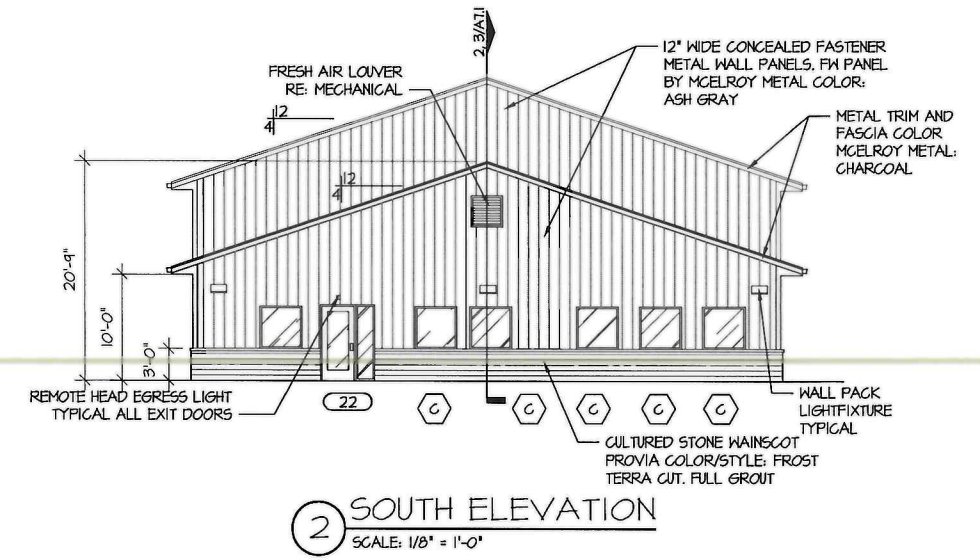
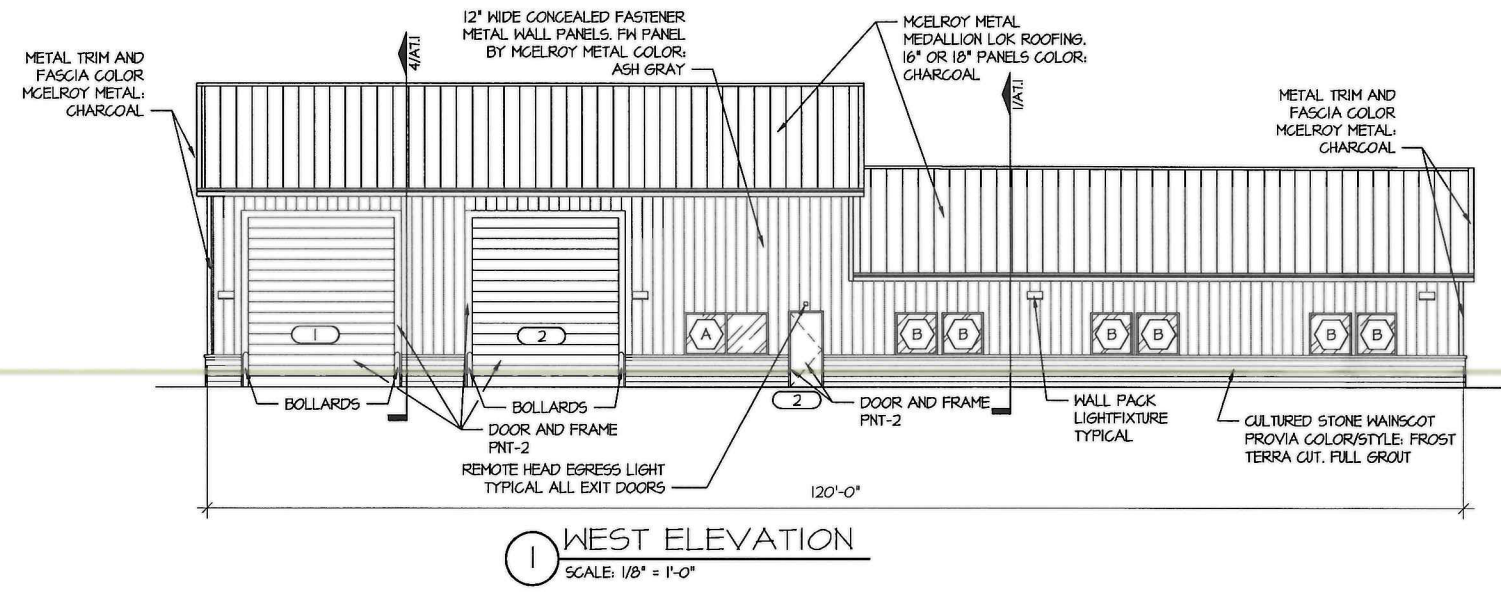


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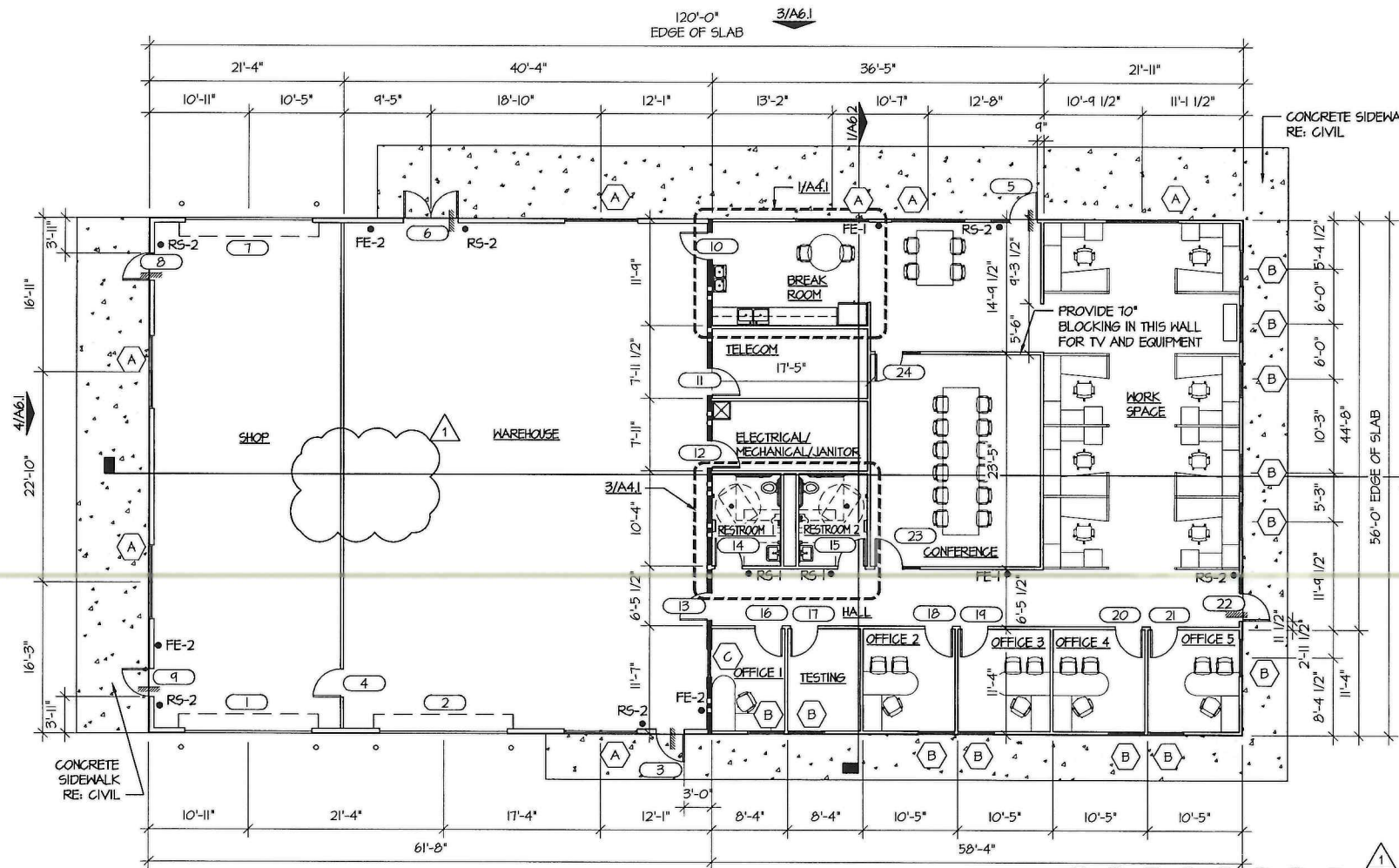
EXTERIOR ELEVATIONS
MPC SITE PLAN APPROVAL

Shreveport Telecom
Shop & Office
5006 Jefferson Paige Road
Shreveport, LA, 71109

ISSUE INFORMATION	
Drawn	CAN
Job	2112
CAD	
Plot	09/23/2021
Sheet	A6.1A
Of	TOTAL Sheets



21-38-P



SHEET LEGEND

	1-HR RATED WALL. U.L. 425 SEE WALL SECTION 1/A1.2
	PARTITION TYPES. SEE SHEET A1.2 ALL INTERIOR WALLS NOT TAGGED ARE TO BE PI.
	SECTION TAG
	ELEVATION TAG
	DOOR TAG
	WINDOW TAG
	2A10-B-C FIRE EXTINGUISHER AND SEMI RECESSED CABINET. CABINET TO BE WHITE BAKED ENAMEL FINISH WITH VERTICAL GLASS
	2A10-B-C FIRE EXTINGUISHER WITH WALL MOUNT HOOK
	WALL MOUNTED ROOM SIGNAGE
	SEE DETAILS THIS SHEET

RS1: WALL MOUNTED POLYMER UNISEX RESTROOM SIGN WITH RAISED LETTERS READING "RESTROOM", MALE AND FEMALE SYMBOLS, ACCESSIBLE SYMBOL, AND BRAILLE. SIGNAGE TO BE INSTALLED AT LATCH SIDE OF DOOR 48" MIN. A.F.F. TO BASELINE OF LOWEST TACTILE CHARACTER AND 60" MAX. A.F.F. TO BASELINE OF HIGHEST TACTILE CHARACTER. ADA COMPLIANT FONT AND 100% CONTRASTING COLORS BETWEEN BACKGROUND AND TEXT ARE REQUIRED.

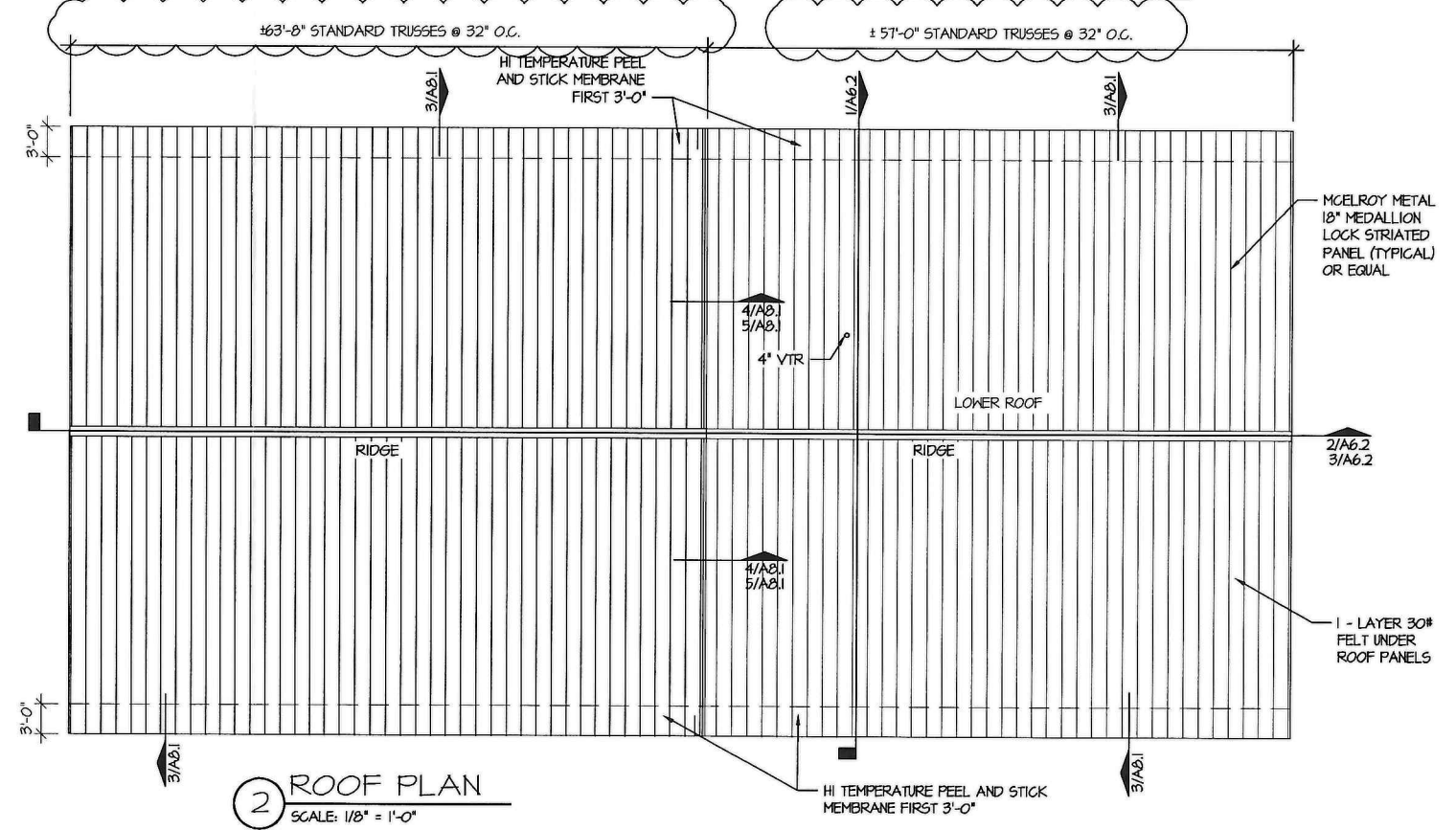
RS2: WALL MOUNTED POLYMER EXIT SIGN WITH RAISED LETTERS READING "EXIT", EXIT SYMBOL, AND BRAILLE. SIGNAGE TO BE INSTALLED AT LATCH SIDE OF DOOR 48" MIN. A.F.F. TO BASELINE OF LOWEST TACTILE CHARACTER AND 60" MAX. A.F.F. TO BASELINE OF HIGHEST TACTILE CHARACTER. ADA COMPLIANT FONT AND 100% CONTRASTING COLORS BETWEEN BACKGROUND AND TEXT ARE REQUIRED.

EXECUTIVE
DIRECTOR
APPROVAL

12-7-2021
Date By *[Signature]*

1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

- #### GENERAL NOTES
- ALL DIMENSIONS ARE TO EDGE OF SLAB OR FACE OF STUD UNLESS NOTED OTHERWISE.
 - ALL FURNITURE SHOWN IS BY OWNER UNLESS OTHERWISE INDICATED. FOR REPRESENTATION ONLY.
 - ALL APPLIANCES SHOWN ARE FURNISHED BY OWNER INSTALLED BY CONTRACTOR UNLESS NOTED OTHERWISE. COORDINATE WITH OWNER FOR ACTUAL UNIT SIZES AND REQUIREMENTS.
 - PROVIDE 6" UNFACED BATT INSULATION ABOVE CEILING AT ALL RESTROOMS, INTERVIEW ROOM, INTERVIEW CONFERENCE ROOM, AND LARGE CONFERENCE ROOM. PROVIDE OVER ENTIRE ROOM AND EXTEND PAST ALL INTERIOR PARTITION WALLS FOR A DISTANCE OF 3'-0".
 - PROVIDE R-13 INSULATION IN ALL EXTERIOR WALLS, AND INTERIOR WALLS AROUND ALL RESTROOMS, ALL OFFICES, INTERVIEW ROOM, INTERVIEW CONFERENCE ROOM, LARGE CONFERENCE ROOM, ASSEMBLY ROOM, AND WALLS TO DECK SEPARATING USER AGENCIES.
 - THE JANITORS CLOSET SHALL BE SEPARATED FROM THE SURROUNDING LESSER-HAZARD AREAS WITH SMOKE PARTITIONS AND SPRINKLER HEADS OFF THE DOMESTIC WATER. SEE PARTITION TYPES AND MEP SHEETS.
 - SEE DETAIL 3/A5.1 FOR WATERSTOP REQUIRED BENEATH ADA THRESHOLDS AT EXTERIOR DOOR OPENINGS.
 - ALL TRANSITIONS BETWEEN FLOORING TYPES SHALL HAVE A MAXIMUM HEIGHT DIFFERENCE OF 1/2". SEE FLOORING SPECS FOR TRANSITIONAL TRIM PIECES REQUIRED AT JOINTS.
 - PROVIDE HORIZONTAL LOUVER BLINDS AT ALL WINDOW TYPES 'A' AND 'B'. SEE SPECIFICATIONS.



2 ROOF PLAN
SCALE: 1/8" = 1'-0"



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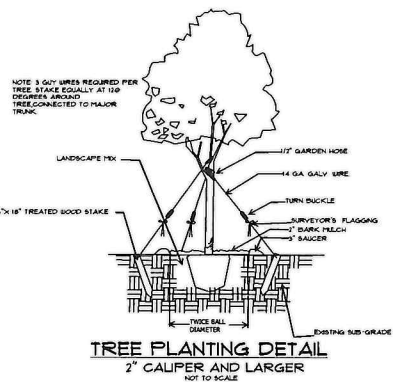
FLOOR PLAN

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5006 Jefferson Paige Road
Shreveport, LA, 71109

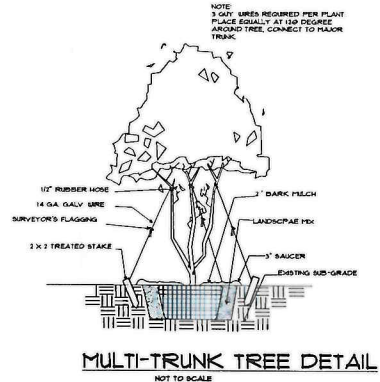
ISSUE INFORMATION	
Drawn	CAN
Job	2112
CAD	
Plot	09/23/2021
Sheet	A2.1
Of TOTAL	Sheets

21-38-P

N 89° 50' 44"

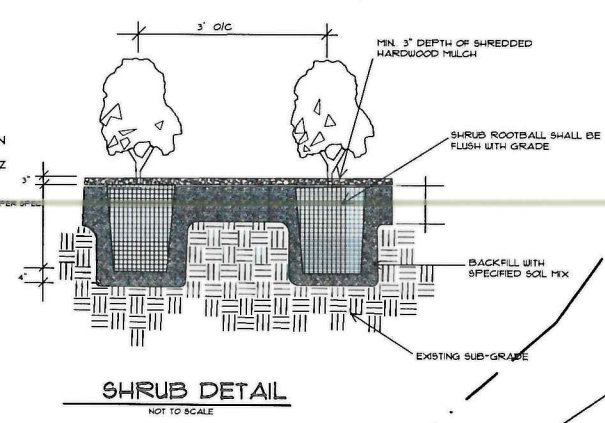
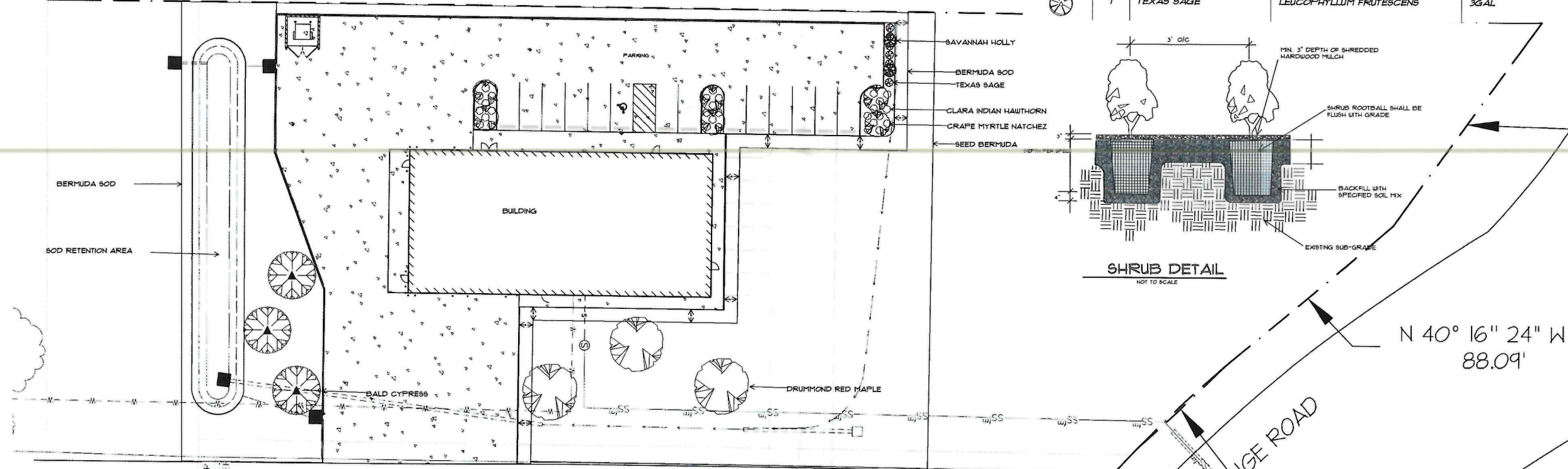


S 00° 42' 49" W - 591.77'



PLANT LEGEND

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER
	6	CRAPE MYRTLE NATCHEZ	LAGERSTROEMIA INDICA 'NATCHEZ'	20GAL
	3	BALD CYPRESS	TAXODIUM DISTICHUM	1' CAL
	30	CLARA INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'CLARA'	3GAL
	3	DRUMMOND RED MAPLE	ACER RUBRUM L VAR DRUMMONDII	1' CAL
	2	SAVANNAH HOLLY	ILEX X ATTENUATA 'SAVANNAH'	3GAL
	1	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	3GAL



N 40° 16' 24" W
88.09'

JEFFERSON PAIGE ROAD

L=45.69' R=636
CH= N 42° 25" I

L=50.59' R=636
CH= N 45° 58" E



**EXECUTIVE
DIRECTOR
APPROVAL**

12-7-2021
Date

[Signature]
By

1 LANDSCAPE PLAN
SCALE: 1" = 20'-0"



10/20/2021

ma
mcon Architecture
A Professional
Architectural Corporation
3556 Younes Drive
Shreveport, LA 71105
318-219-7388 v
318-219-7466 f



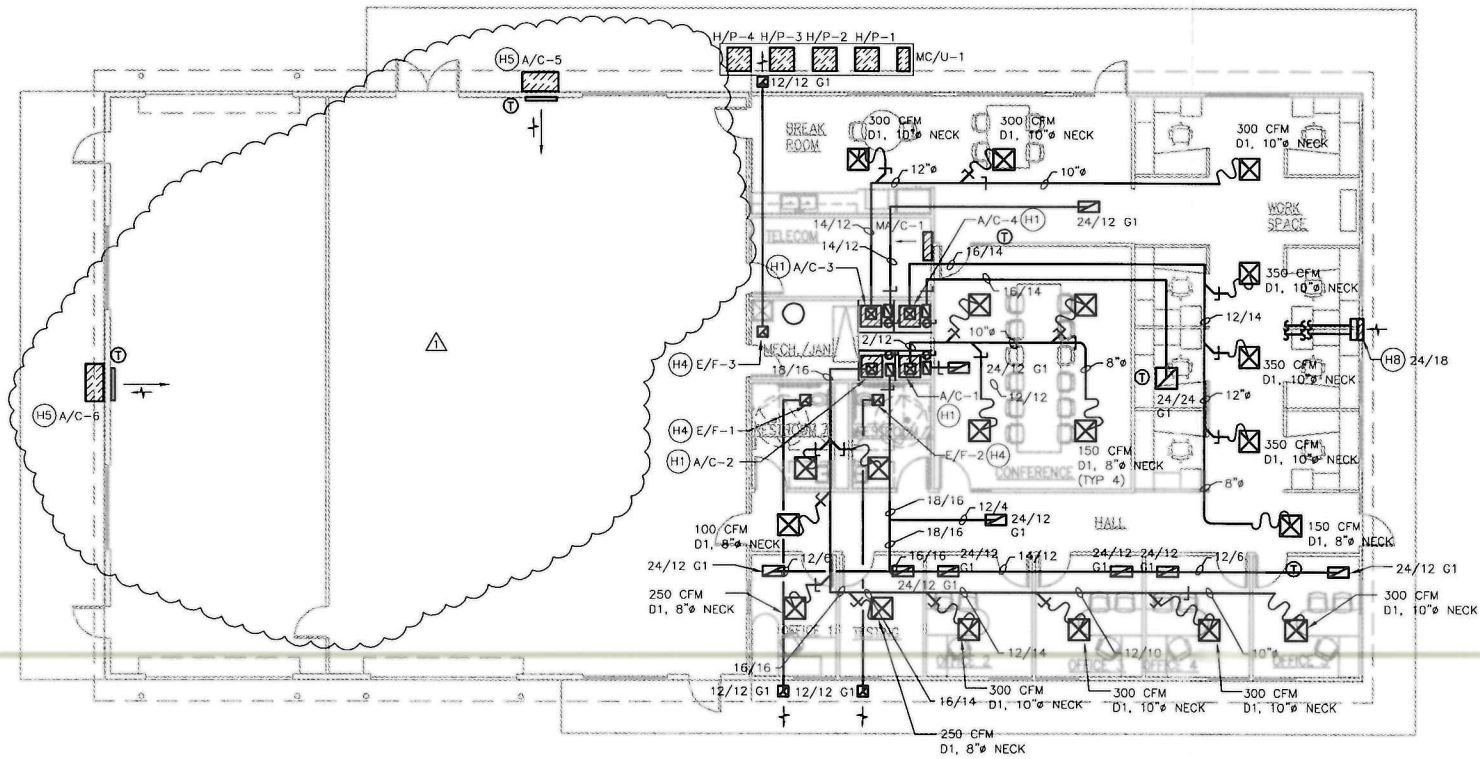
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LANDSCAPE PLAN

**Shreveport Telecom
Shop & Office**
5006 Jefferson Paige Road
Shreveport, LA, 71109

ISSUE INFORMATION	
Drawn	JTH
Job	2112.2
CAD	
Plot	
Sheet	L.I.
Cf	1 Sheets

21-38-P

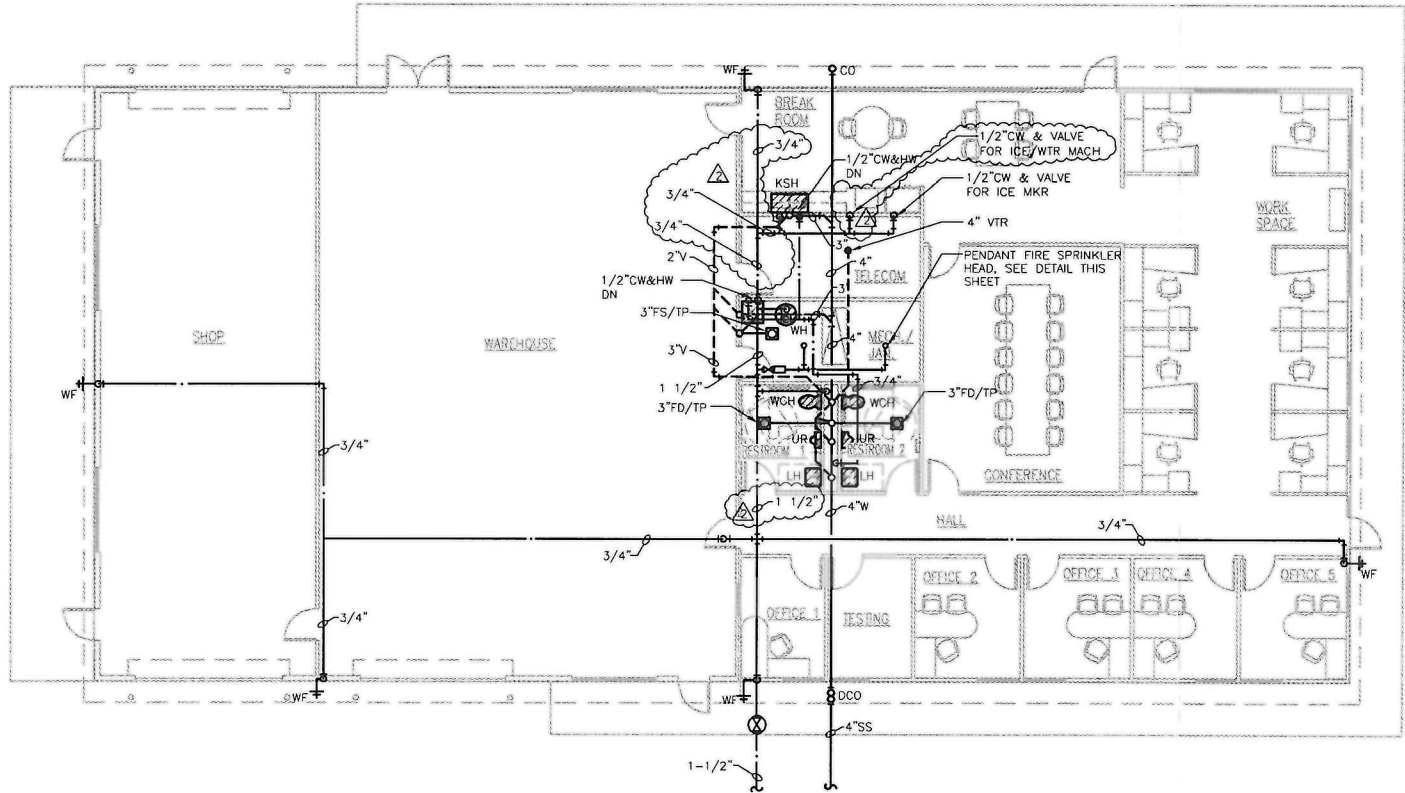


1 FLOOR PLAN - HVAC
SCALE: 1/8" = 1'-0"

- HVAC NOTES:**
- (H1) SET VERTICAL A/C UNIT ON 24" HIGH R/A PLENUM. EXTEND 1" PRIMARY CONDENSATE DR. LINE TO FLOOR SINK, TERMINATE OPEN-SITE.
 - (H2) HANG HORIZONTAL A/C UNIT FROM STRUCTURE ABOVE, PROVIDE NEOPRENE VIBRATION ISOLATORS. PROVIDE 1" PRIMARY DRAIN, EXTEND TO FLOOR SINK IN MECH ROOM, TERMINATE OPEN-SITE. PROVIDE AUX DR PAN AND 1" AUX DR LINE TO SOFFIT.
 - (H3) O/A DUCT FROM R/A PLENUM TO O/A INTAKE LOUVER. PROVIDE MANUAL VOLUME DAMPER & 2-POSITION MOTORIZED DAMPER (OPEN WHEN A/C FAN ON).
 - (H4) 6" EXHAUST DUCT TO SOFFIT GRILLE, VERIFY LOCATION. PAINT TO MATCH SOFFIT COLOR.
 - (H5) PACKAGED WALL MOUNTED HEAT PUMP A/C UNIT. VERIFY EXACT LOCATION AND HEIGHT. PROVIDE ALL MOUNTING HARDWARE AND SUPPORTS. SEAL, FLASH AND COUNTERFLASH WALL PENETRATIONS WATER-TIGHT. PROVIDE S/A DIFFUSER (HIGH) AND R/A GRILLE (LOW), VERIFY LOCATIONS. PROVIDE 7-DAY ELECTRONIC PROGRAMMABLE REMOTE MTD T'STAT. EXTEND 1" CONDENSATE DRAIN LINE TO DRYWELL, VERIFY LOCATION.
 - (H6) ALL DUCTWORK SIZES SHOWN ARE INSIDE FREE AREA DIMENSIONS.
 - (H7) FLEXIBLE DUCTS TO DIFFUSERS SHALL BE FULLY EXTENDED, FREE OF KINKS, NO LONGER THAN 6'-0", & SAME SIZE AS DIFFUSER NECK. TERMINATE AT DIFFUSER W/ ROUND RADIUS SHEET METAL ELL.
 - (H8) REFRIGERANT LINES SHALL BE SIZED & ROUTED IN STRICT ACCORDANCE W/ EOPT. MFR'S INSTRUCTIONS.
 - (H9) O/A INTAKE LOUVER EQUAL TO RUSKIN ELF6375D, EXTRUDED ALUMINUM, DRAINABLE BLADE, W/ BIRDSCREEN. PROVIDE MINIMUM 12" DEEP PLENUM SAME SIZE AS LOUVER FOR O/A DUCTS FROM A/C UNITS TO TERMINATE. VERIFY LOCATION & HEIGHT BEFORE DOING ANY WORK.

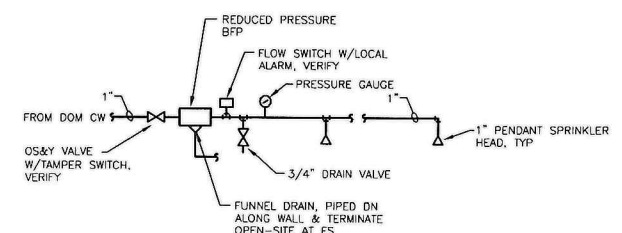
**EXECUTIVE
DIRECTOR
APPROVAL**

12-7-2021 *[Signature]*
Date By



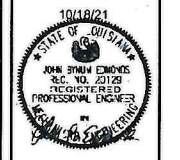
1 FLOOR PLAN - PLUMBING
SCALE: 1/8" = 1'-0"

- PLUMBING NOTES:**
- (P1) CONTRACTOR SHALL VERIFY LOCATIONS OF WALL FAUCETS, CLEANOUTS, & VTR BEFORE DOING ANY WORK.
 - (P2) REFERENCE CIVIL SITE PLAN FOR TERMINATION OF DOMESTIC WATER & SANITARY SEWER LINES.



DETAIL - FIRE SPRINKLER FROM DOM. CW

NO SCALE
PROVIDE LOCAL ALARM. PROVIDE A COMPLETE INSTALLATION WITH ALL INITIATING AND ALARM DEVICES REQUIRED WHETHER OR NOT SPECIFICALLY SHOWN FOR A FULLY FUNCTIONAL STAND-ALONE SYSTEM IN STRICT ACCORDANCE WITH NFPA 13, 72, 101, AND LOCAL CODES. SUBMIT FOR FIRE MARSHAL APPROVAL.



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FLOOR PLAN - MECHANICAL

**Shreveport Telecom
Shop & Office**
5006 Jefferson Paige Road
Shreveport, LA. 71109

11/23/21 JBE	NO ENG. ADD CHG/ICE
10/16/21 JBE	WORK ON PIPE SIZES
10/16/21 JBE	A/C UNIT CHANGES

ISSUE INFORMATION	
Drawn	JBE
Job	2012
CAD	
Plot	
Sheet	M1.1
Of	3M Sheets