

MATCH LINE THIS SHEET

SOUTHERN LOOP ASPHALT SURFACE

MATCH LINE THIS SHEET

EXECUTIVE DIRECTOR APPROVAL

9/9/2021 Date By *de ch*

NOTES

- 1. ALL DIMENSIONS ARE TO TO BACK OF CURB UNLESS NOTED OTHERWISE.
- 2. FIELD VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION.

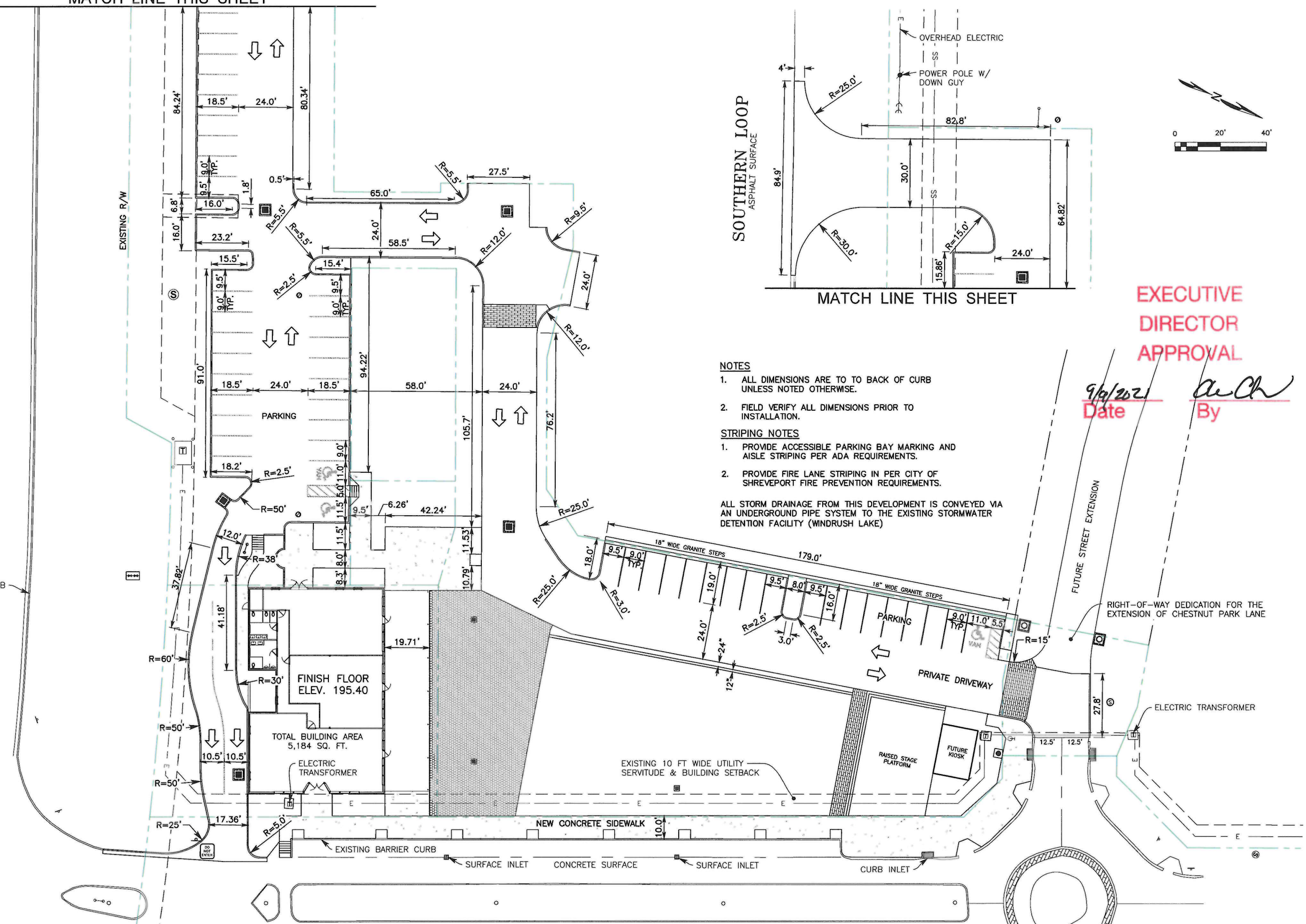
STRIPING NOTES

- 1. PROVIDE ACCESSIBLE PARKING BAY MARKING AND AISLE STRIPING PER ADA REQUIREMENTS.
- 2. PROVIDE FIRE LANE STRIPING IN PER CITY OF SHREVEPORT FIRE PREVENTION REQUIREMENTS.

ALL STORM DRAINAGE FROM THIS DEVELOPMENT IS CONVEYED VIA AN UNDERGROUND PIPE SYSTEM TO THE EXISTING STORMWATER DETENTION FACILITY (WINDRUSH LAKE)

SOUTHERN LOOP ASPHALT SURFACE

BARRIER CURB AND GUTTER



PROVENANCE PLACE BOULEVARD

NO.	DESCRIPTION	DATE

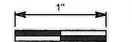


920 PIERREMONT ROAD
SUITE 520
SHREVEPORT, LA 71106
318.798.3344

PROVENANCE - WINDRUSH VILLAGE
PHASE II - UNIT A
GEOMETRIC PLAN



ATTENTION: THIS BAR = 1 INCH ON ORIGINAL DRAWING. ADJUST SCALE IF THIS BAR ≠ 1 INCH.



PROJECT NO: 201032

DATE: SEPTEMBER 9, 2021

SHEET NO:

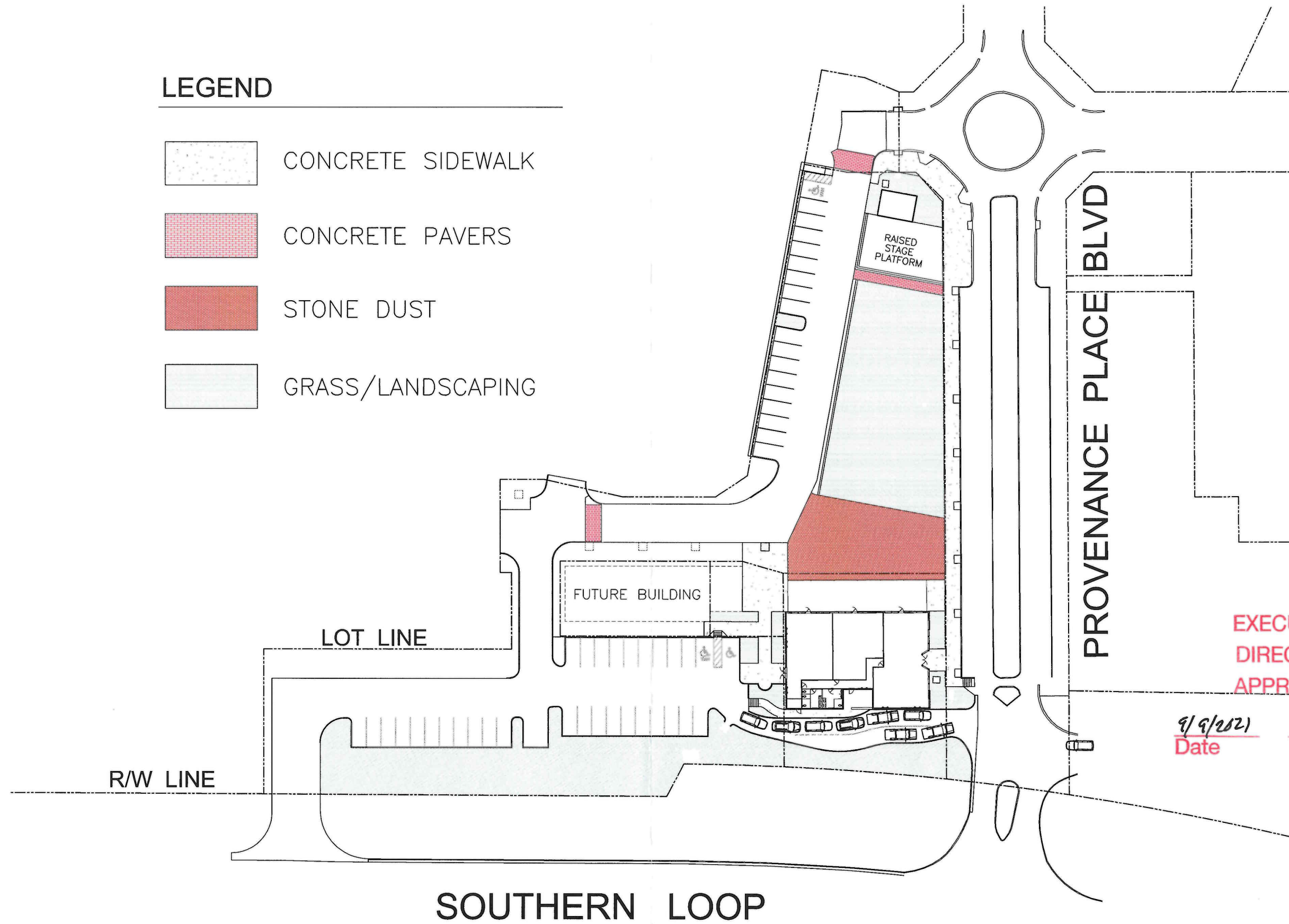
3

201032 - 3-GE0

21-124-C

LEGEND

-  CONCRETE SIDEWALK
-  CONCRETE PAVERS
-  STONE DUST
-  GRASS/LANDSCAPING



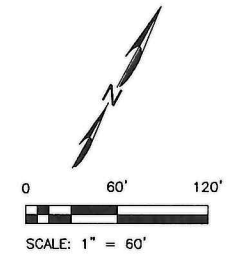
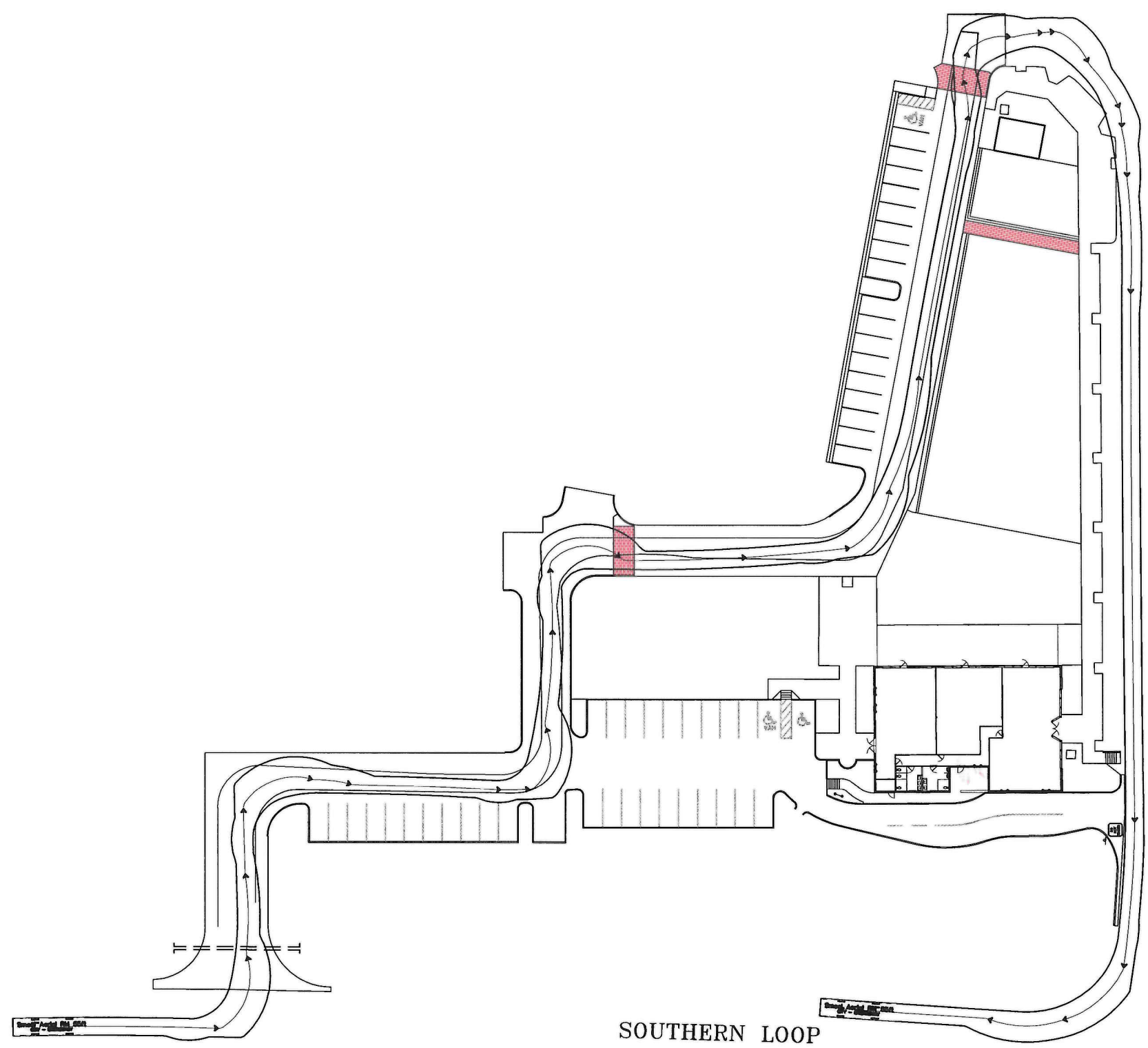
EXECUTIVE
DIRECTOR
APPROVAL

9/9/2021
Date

A. Chl
By

SOUTHERN LOOP

PROVENANCE PLACE BLVD



PROVENANCE PLACE BOULEVARD

Fire Truck

EXECUTIVE
DIRECTOR
APPROVAL

9/9/2021
Date

[Signature]
By

SOUTHERN LOOP

NO.	REVISIONS

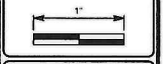
FORTE & TABLADA

920 PIERREMONT ROAD
SUITE 520
SHREVEPORT, LA 71106
318.798.3344

PROVENANCE - WINDRUSH VILLAGE
PHASE II - UNIT A

FIRE TRUCK EXHIBIT

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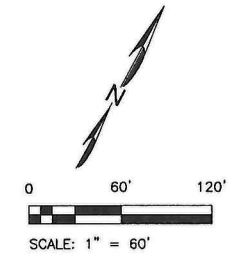
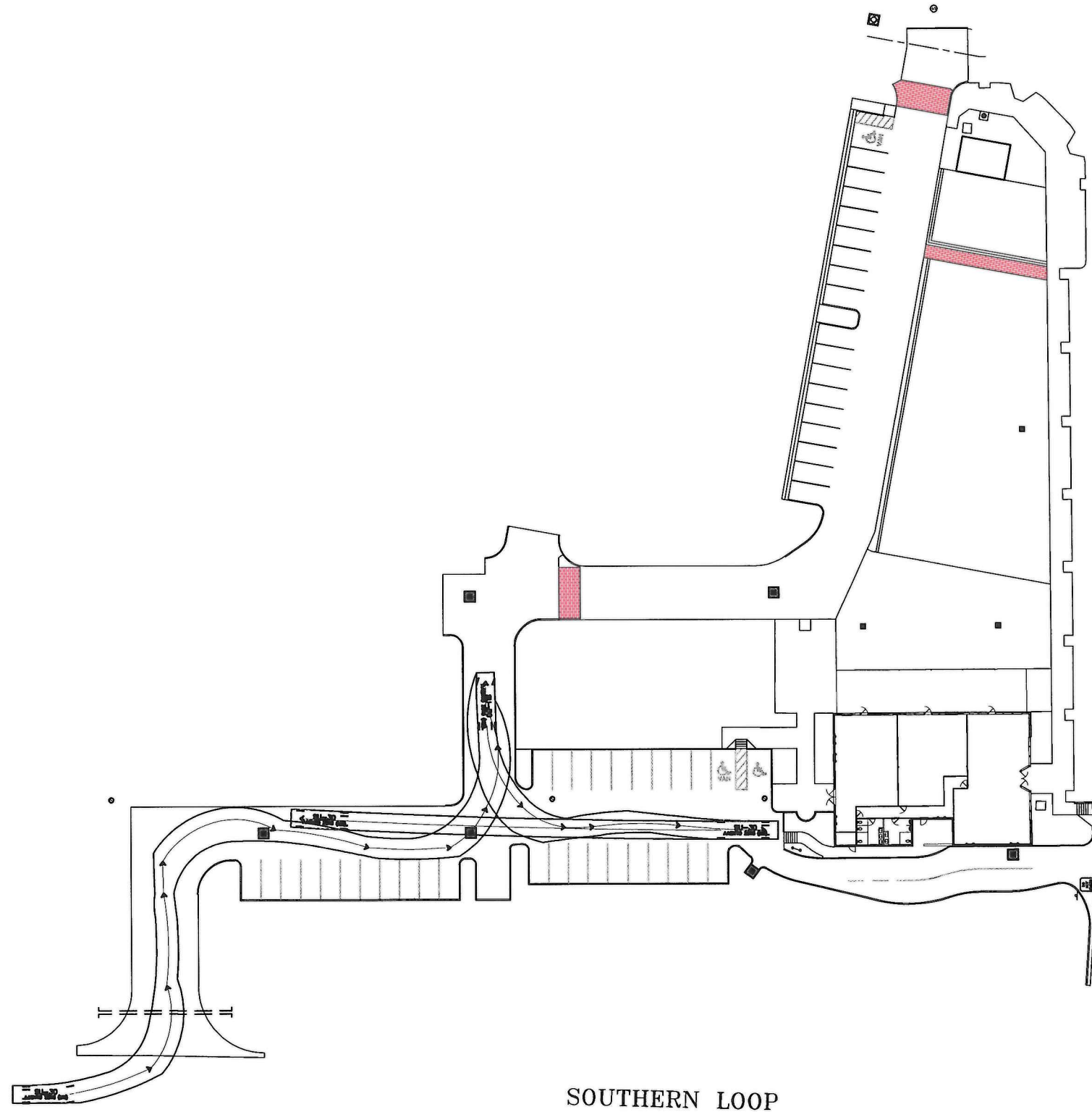
PROJECT NO:
201032

DATE:
2021

SHEET NO.
EX-1

201032 DESIGN AUTOTURN

21-124-C



PROVENANCE PLACE BOULEVARD

Delivery Truck

EXECUTIVE
DIRECTOR
APPROVAL

9/9/2021 *AKH*
Date By

SOUTHERN LOOP

NO.	REVISIONS

FORTE & TABLADA

920 PIERREMONT ROAD
SUITE 520
SHREVEPORT, LA 71106
318.798.3344

PROVENANCE - WINDRUSH VILLAGE
PHASE II - UNIT A
DELIVERY VEHICLE EXHIBIT

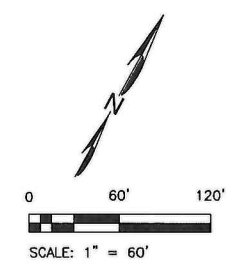
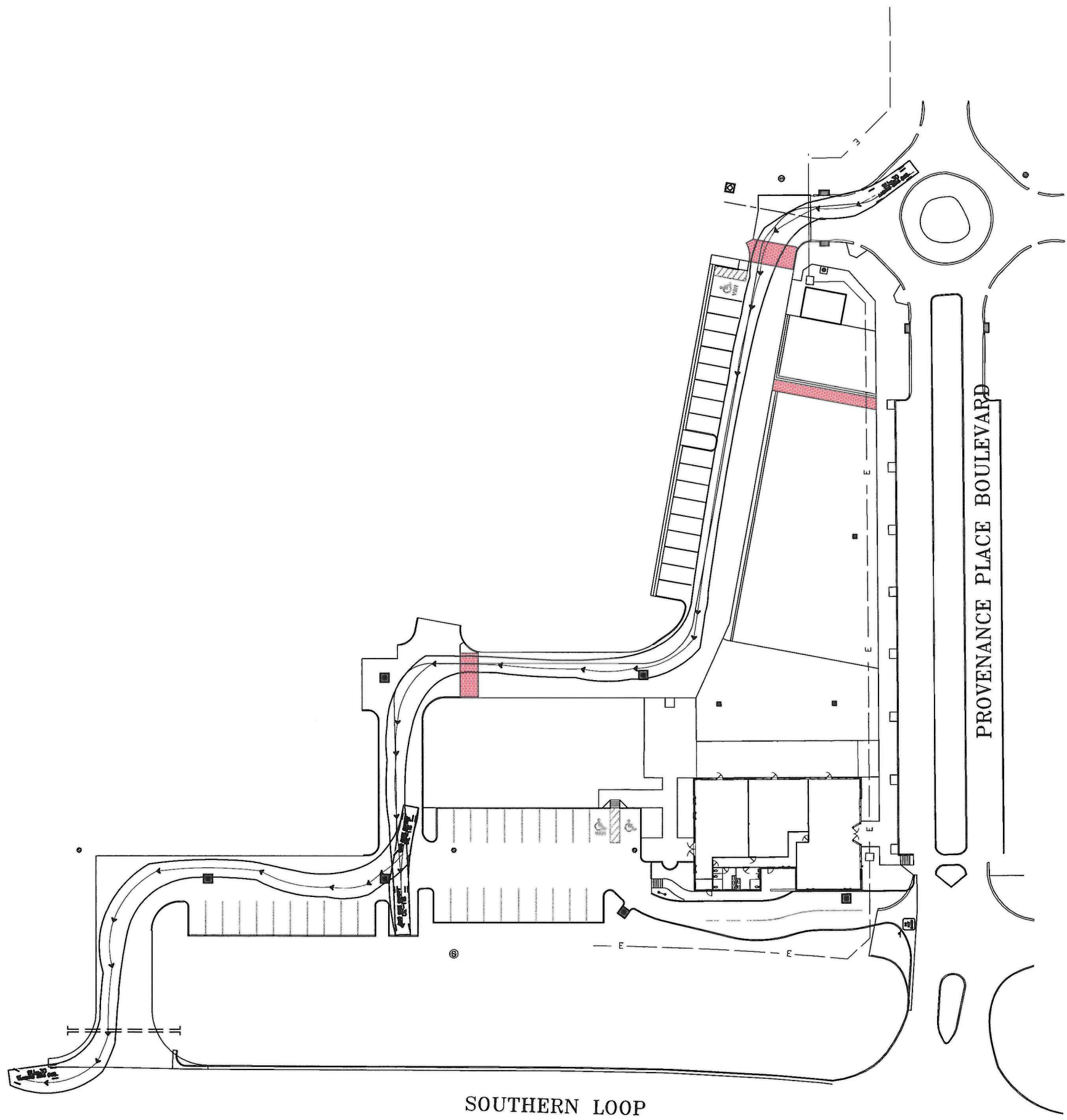
ATTENTION:
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PROJECT NO:
201032

DATE:
2021

SHEET NO.
EX-2
201032 DESIGN AUTOTURN

21-124-C



Garbage Truck

EXECUTIVE
DIRECTOR
APPROVAL

9/9/2021 ACK
Date By

SOUTHERN LOOP

PROVENANCE PLACE BOULEVARD

NO.	REVISIONS

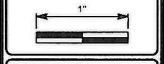
FORTE & TABLADA

920 PIERREMONT ROAD
SUITE 520
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318.798.3344

PROVENANCE - WINDRUSH VILLAGE
PHASE II - UNIT A

GARBAGE TRUCK EXHIBIT

ATTENTION:
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ORIGINAL DRAWING.
ADJUST SCALE IF THIS
BAR ≠ 1 INCH.



PROJECT NO:
201032

DATE:
2021

SHEET NO.
EX-3

201032 DESIGN AUTOTURN

21-124-C

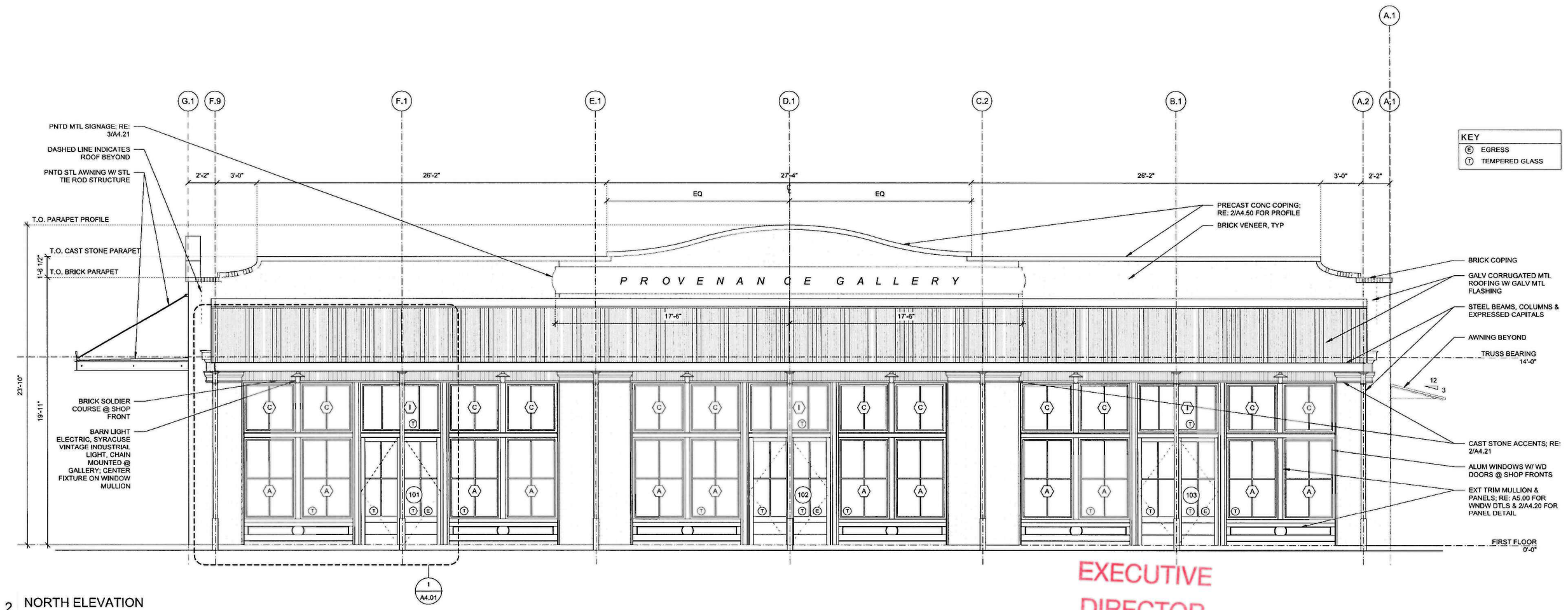


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VAS CONSTRUCTION, LLC
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 BUILDER
 318.683.0636 (T)

IFPC Submission
 - NOT FOR PERMITS &
 CONSTRUCTION -

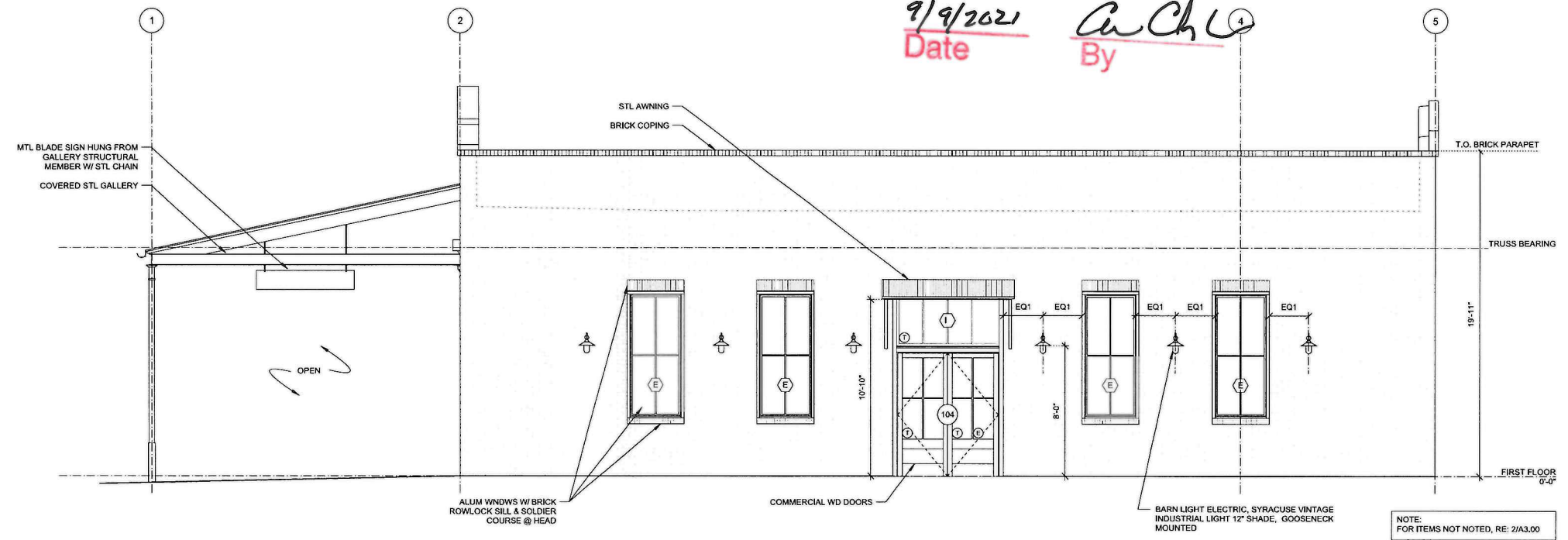
COMMERCIAL GALLERY
 PROVENANCE PLACE BOULEVARD, SHREVEPORT, LOUISIANA



2 NORTH ELEVATION
 1/4" = 1'-0"

EXECUTIVE
 DIRECTOR
 APPROVAL

9/9/2021 Date By *ACH*



1 WEST ELEVATION
 1/4" = 1'-0"

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 DATE: JULY 15, 2021
 PROJECT NUMBER: 21-014
 ELEVATIONS

A3.00

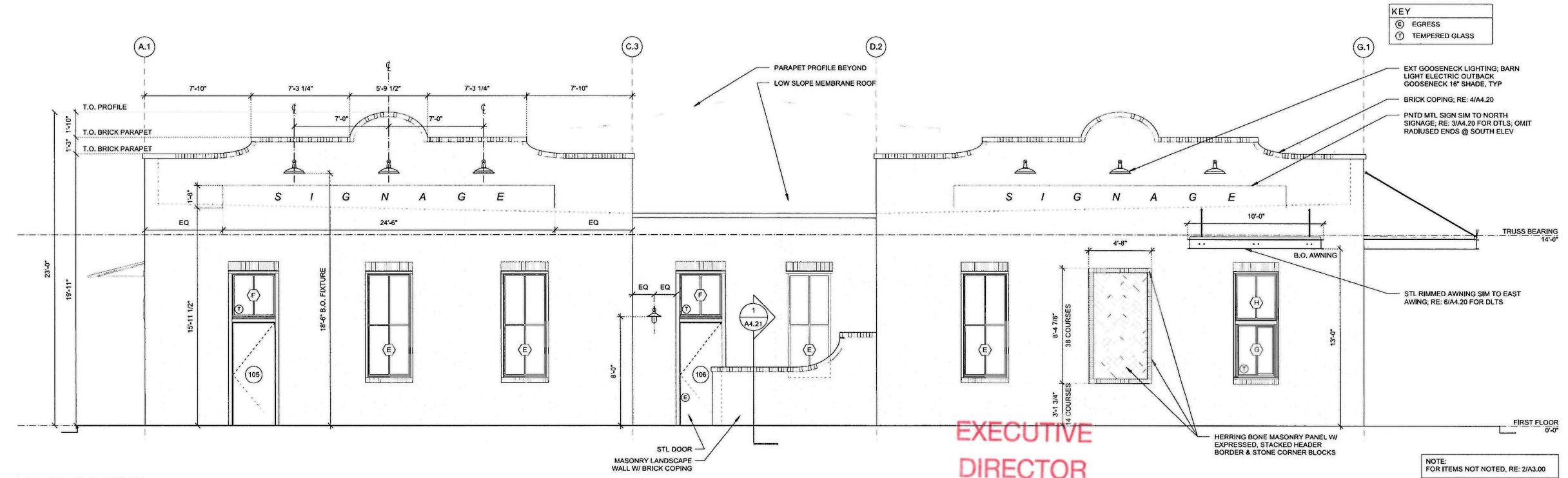
21-124-C



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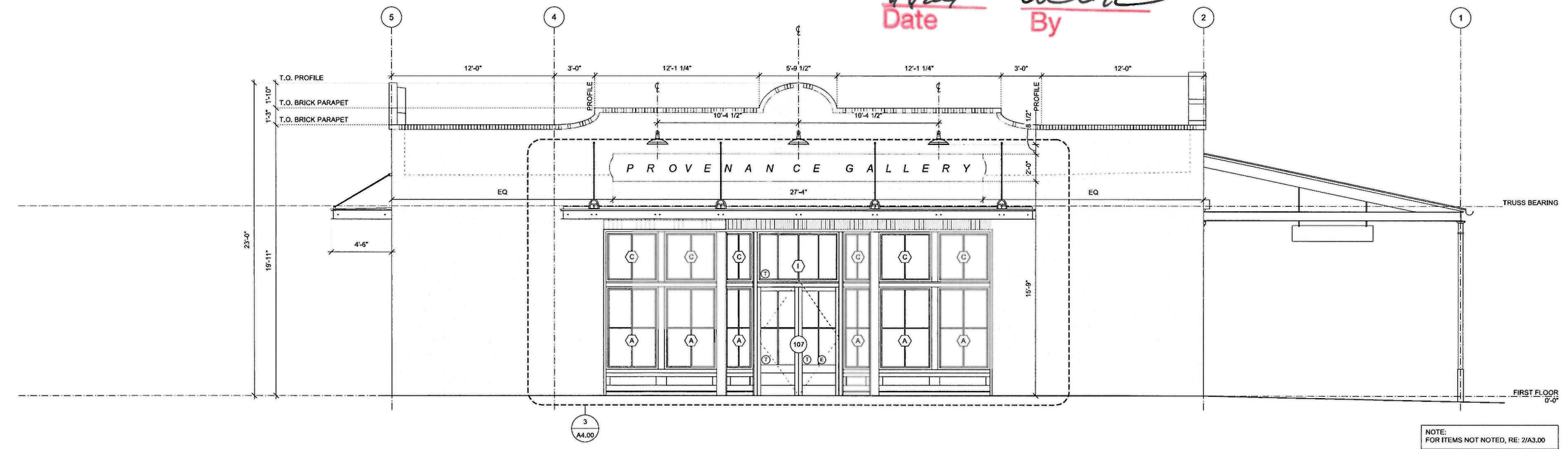
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 CONSTRUCTION



2 SOUTH ELEVATION
 1/4" = 1'-0"

EXECUTIVE
 DIRECTOR
 APPROVAL

9/9/2021 Date By *A. Mork*



1 EAST ELEVATION
 1/4" = 1'-0"

COMMERCIAL GALLERY
 PROVENANCE PLACE BOULEVARD, SHREVEPORT, LOUISIANA

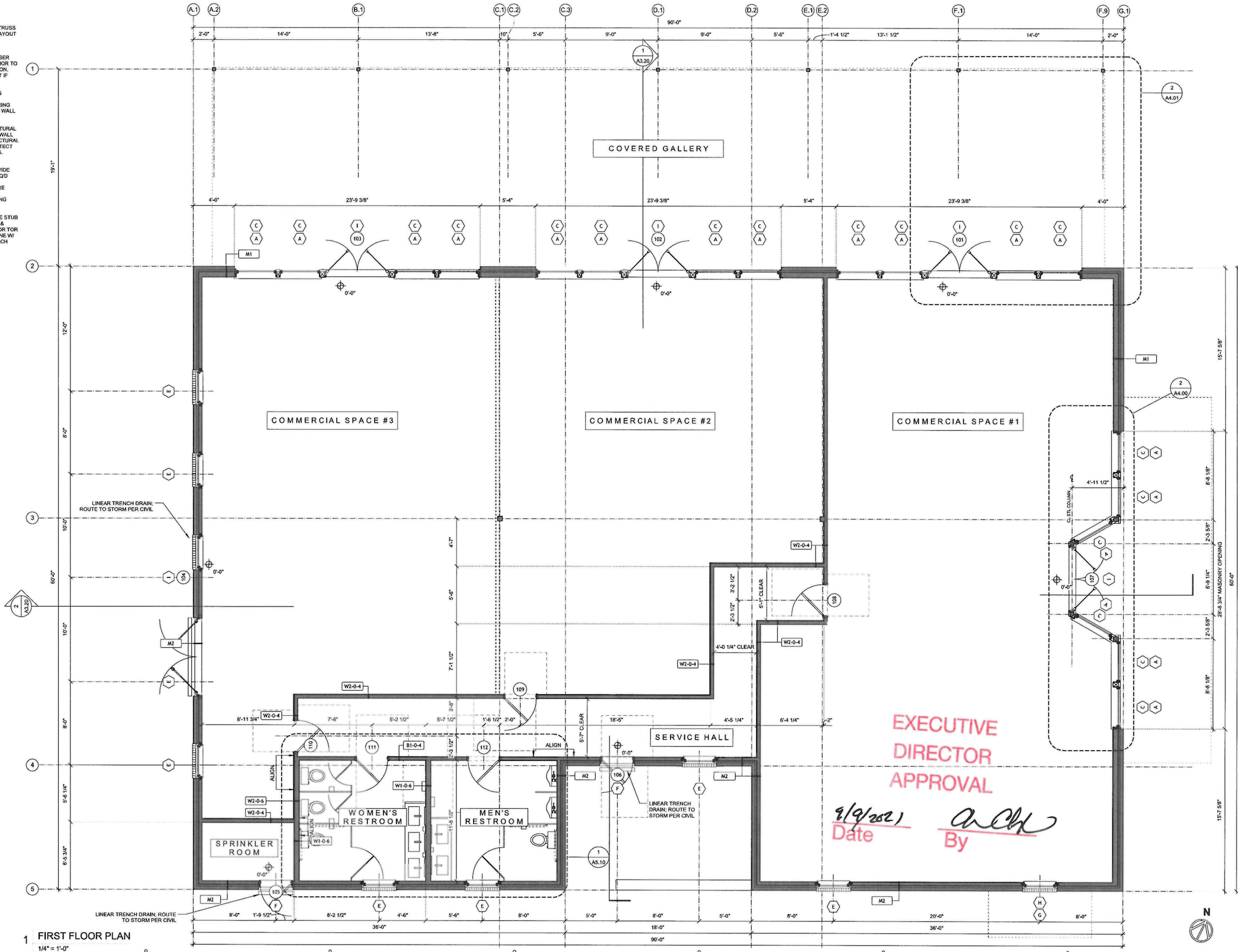
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DATE
 JULY 15, 2021
 PROJECT NUMBER
 21-014
 ELEVATIONS

A3.01

21-124-C

- NOTES:
- 1) COORDINATE ROOF TRUSS & STRUCTURAL BEAM LAYOUT W/ SHEER WALL REQUIREMENTS
 - 2) COORDINATE FIRE RISER ROOM CLEARANCES PRIOR TO START OF CONSTRUCTION. CONSULT W/ ARCHITECT IF DISCREPANCY ARISES
 - 3) COORDINATE AWNING LOCATIONS W/ WALL CONSTRUCTION, ENSURING ADEQUATE SUPPORT IN WALL FRAMING
 - 4) VERIFY WALL STRUCTURAL THICKNESS & BEARING WALL LOCATIONS WITH STRUCTURAL DESIGN. ADVISE ARCHITECT OF ANY DISCREPANCIES.
 - 5) CONTRACTOR TO COORDINATE AND PROVIDE IN-SLAB P-TRAPS AS REQD
 - 6) PROVIDE NFPA 13 FIRE SUPPRESSION SYSTEM THROUGHOUT, INCLUDING COVERED GALLERY
 - 7) PLUMBER TO PROVIDE STUB INTO SPRINKLER ROOM & SPRINKLER CONTRACTOR TO PROVIDE ONE TRUNK LINE W/ CONNECTION TS @ EACH SPACE



1 FIRST FLOOR PLAN
1/4" = 1'-0"

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COMMERCIAL GALLERY
PROVENCE PLACE BOULEVARD, SHREVEPORT, LOUISIANA

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DATE
JULY 15, 2021
PROJECT NUMBER
21-014
FIRST FLOOR PLAN

A2.01

21-124-C

General Notes & Copyright:

Studio Mork, LLC assumes no liability for any home or any portion thereof, which may be constructed from these plans. It is the responsibility of the purchaser of these plans to meet and comply with the following prior to the start of construction.

1. These plans are the property of Studio Mork, LLC. These plans are protected by Federal Copyright Laws. Any use of the information contained herein, or any duplication, publication, sale or distribution of any part of these plans without prior written consent of Studio Mork, LLC represents a violation of Federal Laws subject to the prescribed penalties.

2. A purchase of prints or digital PDF grants the Purchaser as "Licensee" the right to use such documents, "Plans" for the construction of a single building. Purchaser acknowledges that all rights of ownership, title, and interest in the copyrights, plans remain with Studio Mork, LLC.

3. Any use of these plans, or modifications thereto, by purchasers, contractors, builders, or others, is performed at their own risk. The information contained within these construction documents is issued to show design intent and basic framing details. It is the contractor/builder's responsibility to provide standard construction detailing and practices, which will provide a structurally sound and weatherproof finished product. The contractor/builder shall resolve any discrepancies or problems observed or perceived prior to starting construction of such items.

4. Building codes vary depending on differences in geography and climate in different regions. Each state, county, and municipality has its own building codes, zoning requirements, ordinances and building regulations. Plans may need to be modified to comply with local requirements regarding snow loads, energy codes, soil and seismic conditions and a wide range of other influences. It is the purchaser's responsibility to consult with the proper construction professional(s) to ascertain if the plans comply with the codes governing the licensee's building site and, if necessary, make any changes or verifications required.

5. These plans do not include any plumbing, heating or air conditioning plans due to the wide variety of codes and basic climatic conditions. A local electrical engineer, mechanical engineer or contractor/builder shall coordinate these items, as they may be required for permits and construction. The foundation plan and associated details are provided as a basic guide for a basement space, where applicable, with CMU, ICF, or poured in place concrete walls and a wood framed system. Exact site conditions may vary and require stepped foundation, increased wall height, etc. The design should be verified according to its appropriateness to the region it is being built within. A local architect or licensed engineer shall provide a site specific foundation design where deemed necessary by the builder or governing Authority Having Jurisdiction.

6. These plans provide ideas and concepts and are not intended to be complete in all respects and details. Use of a potential variety of window or door brands and types and uses of different materials and thicknesses can change details. Additionally, varying codes and regulations, foundation requirements and the omission of electrical and mechanical plans can also change details.

7. It is the contractor/builder's responsibility to assure that all work is in strict accordance with the locally adopted and applicable National, State, and Local Building Codes. It is the contractor/builder's responsibility to assure that all work is in strict accordance with the latest edition of all applicable Construction Standards.

8. It is the contractor/builder's responsibility to assure that all manufactured articles, material, and equipment are applied, installed, connected, erected, used, cleaned, adjusted, operated, and conditioned as directed by the manufacturers recommendations/requirements, unless herein specified to the contrary. The contractor/builder shall follow all instructions to sustain and preserve all expressed or implied warranties and guarantees.

9. It is the contractor/builder's responsibility to assure that all material, equipment and components are new and of good quality.

10. It is the contractor/builder's responsibility to check all plan dimensions and details for overall accuracy appropriate to the site and final selection of masonry, floor joists, lumber structural members, veneer, roofing, etc., all of which can create revised dimensions and details. For example, substitution of alternate floor framing type could adjust floor thickness and require adjustment to stair riser dimensions/quantity, etc. THIS REVIEW SHALL OCCUR PRIOR TO START OF CONSTRUCTION. The contractor/builder shall notify Studio Mork, LLC of any discrepancies or substitutions prior to start of construction.

11. Material/manufacture selections of elements/features that are visible from the exterior shall be in accordance with Provenance PUD Design Standards and/or shall be submitted, reviewed, and approved by the Local Design Review Board. Elements of suggested design approval include but are not limited to, exterior light fixtures, porch flooring materials, and door/window/house color scheme.

12. Names of materials and manufacturers shown on the plans do not represent any endorsement or recommendation by Studio Mork, LLC. Final selections of materials to be used are the responsibility of the homeowner and/or builder, including but not limited to proper installation of materials, nailing, gluing, caulking, insulation, flashing, roofing, weatherproofing, and many other small items and details not necessarily indicated on the plans over which Studio Mork, LLC has no control or responsibility. Studio Mork, LLC shall not be held liable for any errors, omissions, or deficiencies in any form by any part whatsoever.

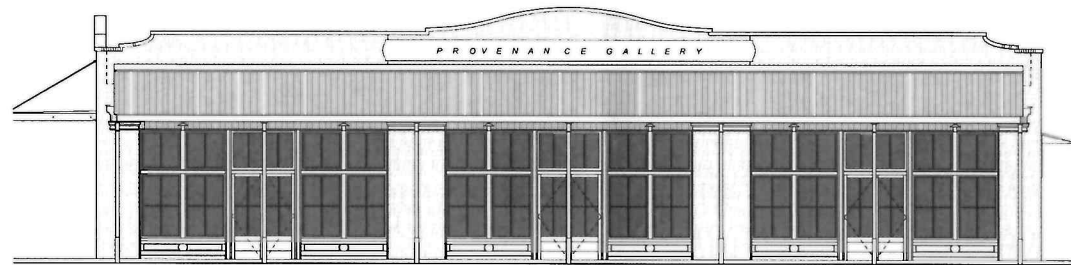
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14. Limitation of Liability: Studio Mork, LLC shall not be liable for any special, consequential, incidental, or indirect damages arising from use of the Plans, including but not limited to damages for loss of anticipated profits or loss of business opportunity. To the extent permitted by law, any liability of the Licensor shall be limited to the retail price of the Plans.

15. Contractor shall have flexibility to substitute finishes and/or appliances, fixtures, cabinetry, hardware, doors, etc. where such alterations do not impact code related requirements.

NOTES

PROVENANCE
COMMERCIAL GALLERY
SHREVEPORT, LOUISIANA



NORTH ELEVATION

PROJECT DATA

APPLICABLE CODE(S):

- 2015 INTERNATIONAL BUILDING CODE
- 2009 INTERNATIONAL ENERGY CONSERVATION CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2015 INTERNATIONAL PLUMBING CODE
- 2015 INTERNATIONAL FUEL & GAS CODE
- NFPA 101 - LIFE SAFETY CODE
- 2014 NATIONAL ELECTRICAL CODE

USE AND OCCUPANCY

NON-SEPARATED OCCUPANCIES IN ACCORDANCE W/ IBC 508.3 GROUP(S) ASSEMBLY (A-2)

FIRE PROTECTION

13 AUTOMATIC SPRINKLED

CONSTRUCTION TYPE

TYPE VB

ALLOWABLE HEIGHT & AREA PER A-2

TABLE(S) 504.3 & 504.4: 2 STORIES (60FT)
TABLE 506.2: 24,000 SF PER STORY

BUILDING HEIGHT

1 STORIES; HEIGHT 23'10" (FROM GRADE)

BUILDING AREA (GROSS) AREA (SF)

FIRST FLOOR	5,148
COMMERCIAL SPACE #1	1,868
COMMERCIAL SPACE #2	1,175
COMMERCIAL SPACE #3	1,336

BUILDING HEIGHT

23'-10" TO PARAPET FROM GRADE

STRUCTURAL DESIGN CRITERIA

FLOOR LIVE LOAD - RESIDENTIAL PRIVATE	40 PSF
UNHABITABLE ATTICS WITHOUT STORAGE	10 PSF
UNHABITABLE ATTICS WITH STORAGE	20 PSF
BALCONIES	40 PSF
ROOF	20 PSF
STAIRS	100 PSF
GROUND SNOW LOAD	5 PSF
BASIC WIND SPEED	120 MPH

BUILDING ENVELOPE REQUIREMENTS (IECC Table 402.1.1)

CLIMATE ZONE 3; COMMERCIAL

ROOFS ATTIC & OTHER IECC REQUIRED

R-38

WALLS, ABOVE GRADE

WOOD FRAMED WALL R-13

FLOORS

JOIST/FRAMING R-30

SLAB-ON GRADE

UNHEATED SLABS NR

ABBREVIATIONS

ALUM	ALUMINUM	GWB	GYPSUM WALL BOARD	SECT	SECTION
AHU	AIR HANDLING UNIT	INSUL	INSULATION	SPEC	SPECIFICATION
BALC	BALCONY	INT	INTERIOR	STL	STEEL
BO	BOTTOM OF	KDAT	KILN DRIED AFTER TREATMENT	STRUCT	STRUCTURAL
CJ	CONTROL JOINT	MAX	MAXIMUM	TEMP	TEMPERATURE
CL	CENTERLINE	MECH	MECHANICAL	TO	TOP OF
COMM	COMMERCIAL	MFR	MANUFACTURER	TYP	TYPICAL
COMP	COMPRESSIBLE	MIN	MINIMUM	UNO	UNLESS NOTED OTHERWISE
CONC	CONCRETE	MTL	METAL	V	VENT
CONT	CONTINUOUS	NOM	NOMINAL	WD	WOOD
DIA	DIAMETER	OC	ON CENTER	WP	WEEP
DIM	DIMENSION	PLYWD	PLYWOOD	WNDW	WINDOW
DS	DOWNSPOUT	PNT	PAINT		
DTL	DETAIL	PT	PRESSURE TREATED		
ELEC	ELECTRICAL	RCP	REFLECTED CEILING PLAN		
ELEV	ELEVATION	RE	REFER TO		
EXT	EXTERIOR	REC	RECOMMENDED		
FOUND	FOUNDATION	REIN	REINFORCING		
		REQ	REQUIRED		



PROJECT TEAM

ARCHITECT	STUDIO MORK, LLC 210 MARY STREET DOWNTOWN, PA 19335 (T) 630.207.1071
CIVIL	FORTE & TABLADA 920 PIERREMONT RD SUITE 520 SHREVEPORT, LA 71106 (T) 318.798.3344
STRUCTURAL FOUNDATION	SMITH ENGINEERING CO, INC 519 BARKSDALE BLVD BOSSIER CITY, LA 71111 (T) 318.741.1088
STRUCTURAL ENGINEER	SIDESLINES CONSULTANTS & ETC. 3850 LINE AVE SHREVEPORT, LA 71106 (T) 318.422.9454
CONTRACTOR	VAS CONSTRUCTION 1922 CHESTNUT PARK LANE SHREVEPORT, LA 71100

MPC SHEET INDEX

REVISION	SHEET NUMBER	TITLE
	T0.00	TITLE PAGE
	A0.01	PROJECT NOTES
	A2.01	FIRST FLOOR PLAN
	A2.02	ROOF PLAN
	A3.00	ELEVATIONS
	A3.01	ELEVATIONS
	A3.20	BUILDING SECTIONS
	A4.10	WALL SECTIONS

EXECUTIVE
DIRECTOR
APPROVAL

9/9/2021
Date

[Signature]
By



MPC Submission
- NOT FOR PERMITS & CONSTRUCTION -

COMMERCIAL GALLERY
PROVENANCE PLACE BOULEVARD, SHREVEPORT, LOUISIANA

REVISIONS

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DATE
JULY 15, 2021
PROJECT NUMBER
21-014

T0.00

21-124-C

FLOOR PLAN NOTES

- Do not scale drawings. Use only dimensions shown on drawings. If dimensions are in question, the builder shall be responsible for obtaining clarification from the architect before continuing with construction. The builder shall verify all dimensions and conditions at jobsite.
- Dimensions shown are to face of masonry, or face of stud for exterior walls and interior walls, unless noted otherwise. Dimensions are to centerline of window and doors.
- Exterior walls are to be 2x4 OR 2x6 @ 16" o.c. (UNO) w/ mineral wool insulation per International Energy Conservation Code and min. 5/8" gypsum board at interior face. Exterior finish to be brick veneer w/ 2" airspace, anchored per code & vapor permeable air/water barrier over sheathing. Exterior sheathing shall be continuous and nailed in accordance with Louisiana Building Code, especially at corners. Additionally, exterior steel work shall receive high performance paint finish. Consult elevations for locations for exterior finish material. Verify brick selection & finish w/ owner.
- Contractor shall provide rope weeps & trim flush to face of masonry at all flashing locations. Thru-wall flashing material shall be self-adhered flexible and/or prefinished alum. Flashing shall be trimmed flush to face of masonry. Where metal flashing is used, it shall be prefinished so as to prevent adverse corrosion due to galvanic action. Cellular head joint weeps/vents shall be provided at the bottom & top of cavity wall per code.
- Architectural cast stone shall comply with ASTM C1364.
- Refer to the site plan for trench drain locations at exterior doors. Coordinate trench drain locations w/ Civil sitework for direct connection
- Interior walls shall be 2x4 studs @ 16"OC UNO - provide 5/8" gypsum board each side (coordinate finish with owner), stagger all joints and use moisture resistant gypsum board in all bathrooms and within 4'-0" of all plumbing fixtures in kitchen.
- Provide blocking and bracing in walls for typical toilet accessories.
- Windows and Doors** - It is strongly recommended that windows and doors have SDL (Simulated Divided Lite) "grill" divisions for authentic and quality look. See details for typical exterior and interior trim, moldings, and arrangement. Exterior paint/color scheme should be decided and "approved" prior to placing window order (as window colors may contribute to color scheme).
- Window sizes indicated on plans are generic unit sizes and should be coordinated with actual manufacturer's sizes; ensuring egress and tempering is maintained in required spaces. If sizes do not match exactly, all effort should be made to select sizes that are similar in proportion to sizes shown. If size/proportion alterations must occur, all effort should be made to adjust size/proportion to more vertical rather than more squatly.
- Refer to plans and elevations for window types, sizes, and grill/lite pattern. Coordinate operability of windows and verify direction of swings of casements (if applicable) w/ Owner.
- Interior door frames shall be hollow metal unless noted otherwise. (Verify w/ Builder). See head/jamb/sill details for recommended typical interior casing. For potential variations, coordinate w/ Owner & Architect.
- Basis of design for windows is Quaker H450 aluminum windows w/ Low E glass & simulated divided light. Verify/coordinate final window selection/color prior to placing order with Architect & Owner. Verify final color selection w/ architect prior to placing order.
- Exterior trim to be 1 1/2" thick exterior grade wood or acceptable 1 1/2" thick PVC or fiber cement. See details for trim size and arrangement.
- Floors shall be polished concrete. Level of concrete finish & finish coating to be coordinated with owner.
- All wood framing shall be placed with appropriate nailing per Louisiana Building Code wood framing guidelines and/or with manufactured steel connectors per manufacturers' recommendations.
- Blocking shall be provided between all joists and rafters at supporting walls and beams. Unless otherwise called out in the drawings, squash blocking shall be provided within wall & roof framing to provide full end grain or stronger bearing for the full horizontal column projection.
- All wood in permanent contact with soil, concrete, or continuously exposed to water shall be decay resistant, pressure treated, or separated by an impervious barrier.
- Contractor/ builder shall coordinate all P Trap locations, supply, waste & fire suppression systems w/ concrete slab on grade foundation.
- The contractor/builder shall provide insulation as required by local and applicable codes. Insulation baffles are to be utilized in all common rafter/ceiling joist spaces to assure venting and airspaces remain unimpeded UNO. Coordinate required roof insulation with framing member depth to ensure adequate cavity space provided.
- Provide vapor barrier per local requirements and applicable codes to avoid water/moisture infiltration and the development of mold.
- All caulking/sealants shall be colored, painted, or finished per manufacturer's specifications to match adjacent trim color (doors and windows), or adjacent material color (wall or roof penetrations).
- The Contractor/Builder shall provide adequate metal flashing and counter flashing as required at all wall or roof intersections, roof penetrations, chimneys, etc. to prevent leaks. The Contractor/Builder shall supplement metal flashing/counter flashing with underlayment protection, eave protection membrane, "ice-guard", or other sticky back membrane where required. All work should follow manufacturers specifications for all flashing, counter flashing, and underlayment protection.
- All flashing referred to as prefinish mtl flashing shall be aluminum w/ Kynar 500 finish
- Contractor to provide rated doors wher indicated on schedule.
- Interior door panels shown for illustration purposes; Verify final door design w/ owner
- Contractor to ensure all materials part of rated construction meet UL requirements as specified per assembly.
- Where noted "Align" on drawings, finish face is referenced. Ensure continuous, flush & smooth transition
- Commercial spaces shall be "Whitebox" finished. Such finish shall include the following: 5/8" level 4 gypsum wallboard wall and ceiling finish, an independent electrical panel in the space, electrical power, minimal lighting w/ switches, exposed galvanized EMT conduit, boxes and fittings, an independently controlled HVAC system, water supply and wastewater line. Coordinate location of MEP services and equipment w/ building owner.

- Contractor to provide raised character braille exit signs complying with ANSI A117.1 adjacent to doors leading to an exit passageway or exit discharge.
- All electrical work in commercial spaces to have exposed, galv EMT conduit & boxes per electrical code. Provide panel & minimal power & lighting at each "whitebox" space.

GENERAL FOUNDATION PLAN NOTES

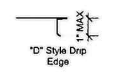
- Use dimensions shown. In no case shall dimensions be scaled from drawings. It shall be the contractor/builder's responsibility to cross check details and dimensions shown on architectural drawings with related requirements on the civil, structural, mechanical, electrical, plumbing and other drawings as applicable. If dimensions are in question, the contractor/builder shall be responsible for obtaining clarification from the architect BEFORE CONTINUING WITH CONSTRUCTION. The builder shall verify all dimensions and conditions at jobsite. THE BUILDER SHALL CONDUCT A COMPLETE REVIEW OF THE PLANS AND CHECK FOR DIMENSIONAL OR COMPLIANCE RELATED CONFLICTS PRIOR TO THE START OF CONSTRUCTION.
- All structural information shown is for reference purposes only. The builder shall have a local licensed structural engineer review actual site conditions and design all structural elements such as footings, foundation walls, slabs, and shear-walls.
- Foundations and foundation drainage if necessary shall comply with IBC section 1805.4.2. Provide drains around all concrete or masonry foundations that retain earth and enclose habitable or usable spaces below grade. Drainage shall be in accordance with IBC section 1805.
- All wood framing in contact with concrete or masonry shall be pressure treated, per IBC section 2304.12. Verify and coordinate proper use of appropriate metal fasteners which are in contact with pressure treated wood to minimize or avoid potential corrosion and/or adverse reactions.
- The builder shall review all floor finishes selected and shall adjust subfloor levels so there is a smooth and level transition between all adjacent dissimilar floor finish materials.
- Stone Veneer (if applicable) to be of local native stone (UNO). It is recommended that the Stone pattern should be installed in a "horizontal/load bearing" appearance.

ROOF PLAN NOTES

- Membrane Roof: Min Class B TPO roof covering installed in accordance w/ MFR instructions. Consult MFR installation instructions and details for all roof edge, corner & exposed termination details. Verify roof covering with Owner.
- Metal Roofing: Class C Min. Metal Roofing System - Metal roofing to be installed per manufacturer's specifications, unless noted otherwise and approved by manufacturer. Metal Roofing Shall be true galvanized corrugated metal w/ exposed fasteners. Installation sub-contractor shall be responsible for all roofing work.
- Paint or use matching materials for all roof mounted accessories to match roof color/finish. All metal flashing, metal gutters, metal downspouts and metal roofing, and drip edge shall be prefinished aluminum.
- All eave and rake conditions required to receive metal drip edge flashing w/ hemmed drip edge (max. 1" face dimension). See details for location and application.
- Gutters and Downspouts are not shown for clarity. Where gutters and downspouts are used, locate to allow direct drainage to storm system per civil. Coordinate downspout locations and below grade piping with site design. Gutters shall be half-round w/ full round downspouts at covered gallery and prefinished alum box gutters for primary roof; size per SMACNA guidelines.
- Roof vent terminals shall be 12' away from and 2' above any air intake, door, or window, 18" away from any vertical wall extending above roof vent, and not below any roof eave, or as required by local codes. Effort should be made to route roof penetrations to non primary street facing sides of roof.
- It is recommended that all plumbing and HVAC vents through the roof shall be grouped in the attic to minimize the number of roof penetrations. All roof penetrations are recommended to be located on the rear of the building if possible and/or secondary roof location with minimum visibility from the frontage.
- Contractor/builder to verify and comply with any applicable ventilation requirements. If ventilation strategy requiring exterior exposed components, effort should be made to minimize the visual impact of such elements. Provide insulation baffles at ventilated eaves as required to assure min. 1" clear air space at bottom of roof deck.
- Provide roof ventilation as applicable per Louisiana Building Code.

**EXECUTIVE
DIRECTOR
APPROVAL**

9/9/2021
Date By



NOT FOR SUBMISSION
NO FOR PERMIT & CONSTRUCTION

COMMERCIAL GALLERY
PROVENANCE PLACE BOULEVARD, SHREVEPORT, LOUISIANA

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DATE
JULY 15, 2021
PROJECT NUMBER
21-014
PROJECT NOTES

NOTES A0.01

21-124-C

PROVENANCE WINDRUSH VILLAGE PH II (A)

Annotations

- ① 9-foot lattice screen wall with arched opening.
- ② Large feature, shade tree centered on arched opening.
- ③ Smaller decorative trees.
- ④ Raised landscaping bed with flowers or ground cover.
- ⑤ At-grade landscaping bed with flowers or ground cover.
- ⑥ Sculpture/fountain/miche.
- ⑦ Existing Trees to be saved.
- ⑧ Dumpster enclosed with solid wall a minimum of 6 feet in height and gated, surrounded by hedges.
- ⑨ Low hedge.

