

**EXECUTIVE  
DIRECTOR  
APPROVAL**

7-7-2021  
Date *DeA*  
By



- PROPOSED LANDSCAPING LEGEND**
- SHADE TREE - 20 TOTAL
    - 7-SOUTHERN MAGNOLIA(MAGNOLIA GRANDIFLORA)
    - 7-BALD CYPRESS(TAXODIUM DISTICHUM)
    - 6-RIVER BIRCH(BETULA NIGRA)
  - ALL SIZES ARE 3" CALIPER
  - PLANTING AREA
  - SHRUB - 24 TOTAL
    - 8-AZALEA(RHODODENDRON SPP.)
    - 8-COMMON BOXWOOD(BUXUS SEMPERVIRENS)
    - 8-INDIAN HAWTHORN(RHAPHIOLEPIS INDICA)

PROPERTY AND ALL ADJACENT PROPERTY IS ZONED D-1-RMU. THERE IS NO REQUIRED NUMBER OF PARKING SPACES IN THIS ZONE.  
STREET SETBACK IN D-1-RMU IS A BUILD TO ZONE OF 0-20', 60%.  
PROPERTY IS OWNED BY CITY OF SHREVEPORT.

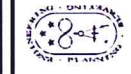
TOTAL NUMBER OF PARKING SPACES=70

**LEGAL DESCRIPTION**  
LOTS 36 THRU 45, 47 THRU 53 AND A PORTION OF LOTS 35 AND 46, COULTER'S SUBDIVISION, TAL No. 20, CITY OF SHREVEPORT, CADDO PARISH, LOUISIANA, AS PER MAP THEREOF RECORDED IN CONVEYANCE BOOK 5, AT PAGE 454 OF THE RECORDS OF CADDO PARISH, LOUISIANA.

TRACT IS LOCATED IN ZONE "X"  
AS PER FEMA MAP NUMBER 22017C0369H  
EFFECTIVE DATE MAY 19, 2014.

NO.	REVISIONS	DATE

**Mohr and Associates, Inc.**  
Consulting Civil Engineers & Land Surveyors  
1324 N. Hearne Ave., Ste 301 Phone : (318) 686-7100  
Shreveport, Louisiana 71107 Fax : (318) 402-4400



CITY OF SHREVEPORT  
DNA WORKSHOP  
SHREVEPORT, LA 71101  
FOR: MILLENNIUM APARTMENTS PHASE 5B

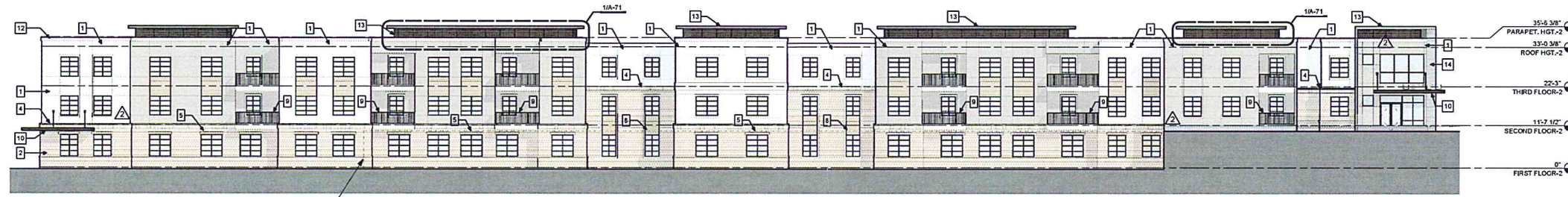
Date	10-02-2019
Scale	1"=30'
Job	37168
Drawn	DBA
Sheet	1
of	1 Sheets

21-93-c

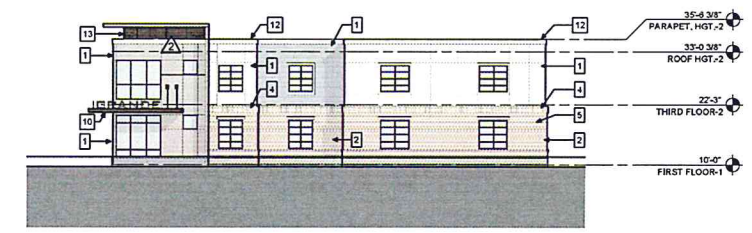
6/29/2021 8:46:50 AM A:\CADD\WHITE PLANS\MILLENNIUM APARTMENTS PHASE 5B\DRAWINGS\37168-1000-SITE PLAN.DWG



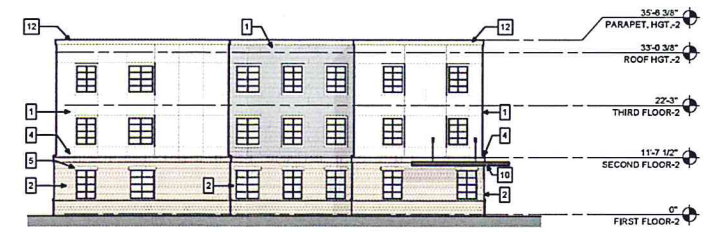
**1** BUILDING 5B - CHRISTIAN ST ELEVATION  
1/16" = 1'-0"



**2** BUILDING 5B - NORTH ST ELEVATION  
1/16" = 1'-0"



**3** BUILDING 5B - CADDO ST ELEVATION  
1/16" = 1'-0"



**4** BUILDING 5B - FANNIN ST ELEVATION  
1/16" = 1'-0"

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- ELEVATION KEYNOTES**
- 1 PAINTED FIBER CEMENT PANEL, SMOOTH SIDE
  - 2 BRICK VENEER
  - 3 BRICK ROWLOCK SILL
  - 4 BRICK ROWLOCK CAP
  - 5 BRICK SOLDIER LINTEL
  - 6 ALUMINUM GUTTER ON ALUMINUM WRAPPED FASCIA, SEE DETAIL 3A-34, TYP.
  - 7 ALUMINUM DOWNSPOUT
  - 8 PAINTED FIBER CEMENT PLANK SIDING, SMOOTH SIDE
  - 9 4" HIGH ALUMINUM GUARDRAIL
  - 10 METAL AWNING
  - 11 CURTAIN WALL SYSTEM
  - 12 FIBER CEMENT CORNICE, TYP.
  - 13 ROOFTOP EXTENSION, TYP.
  - 14 ALUMINUM FACED COMPOSITE WALL PANEL



**MILLENNIUM STUDIOS APARTMENTS**  
1107 CADDO STREET, SHREVEPORT, LA 71101

DYKE NELSON ARCHITECTURE 235 SOUTH 14TH ST., BATON ROUGE, LA 70802 DINA-WORKSHOP.COM (225) 224 3383

**REVISIONS**

NO.	DATE	DESCRIPTION
2	07/24/20	ADDENDUM #2

JOB NUMBER: 19-015  
ISSUED: 06/18/20  
**ISSUED FOR:  
CONSTRUCTION**



BUILDING 5B EXTERIOR ELEVATIONS  
**A-20**  
PHASE: CD

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PHASE  
E0.0

PHOTOMETRIC SITE  
PLAN

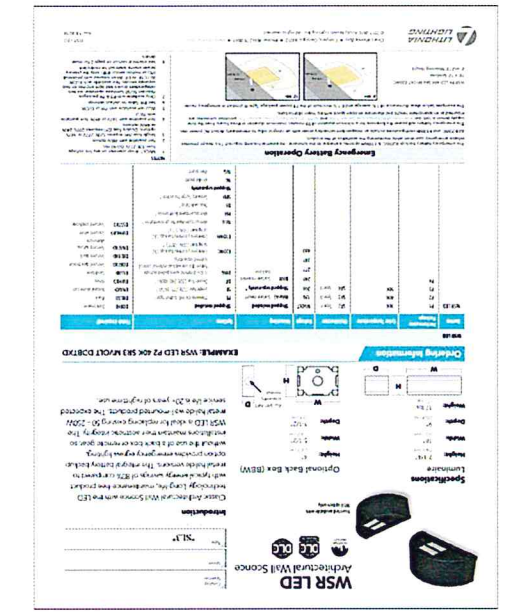
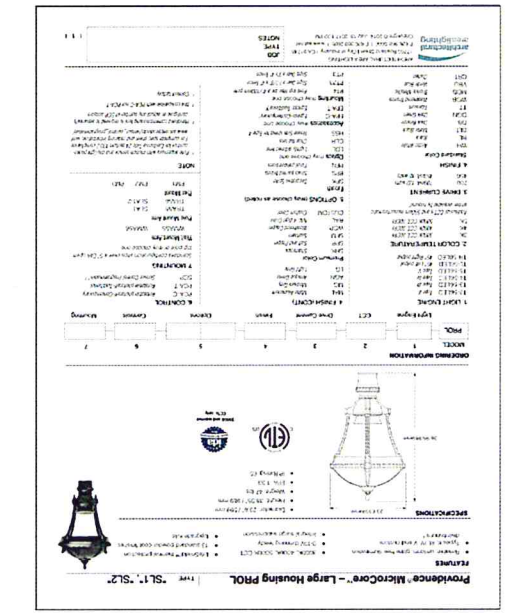


ISSUED FOR:  
CONSTRUCTION

ISSUED: 07/02/21  
JOB NUMBER: 19,015

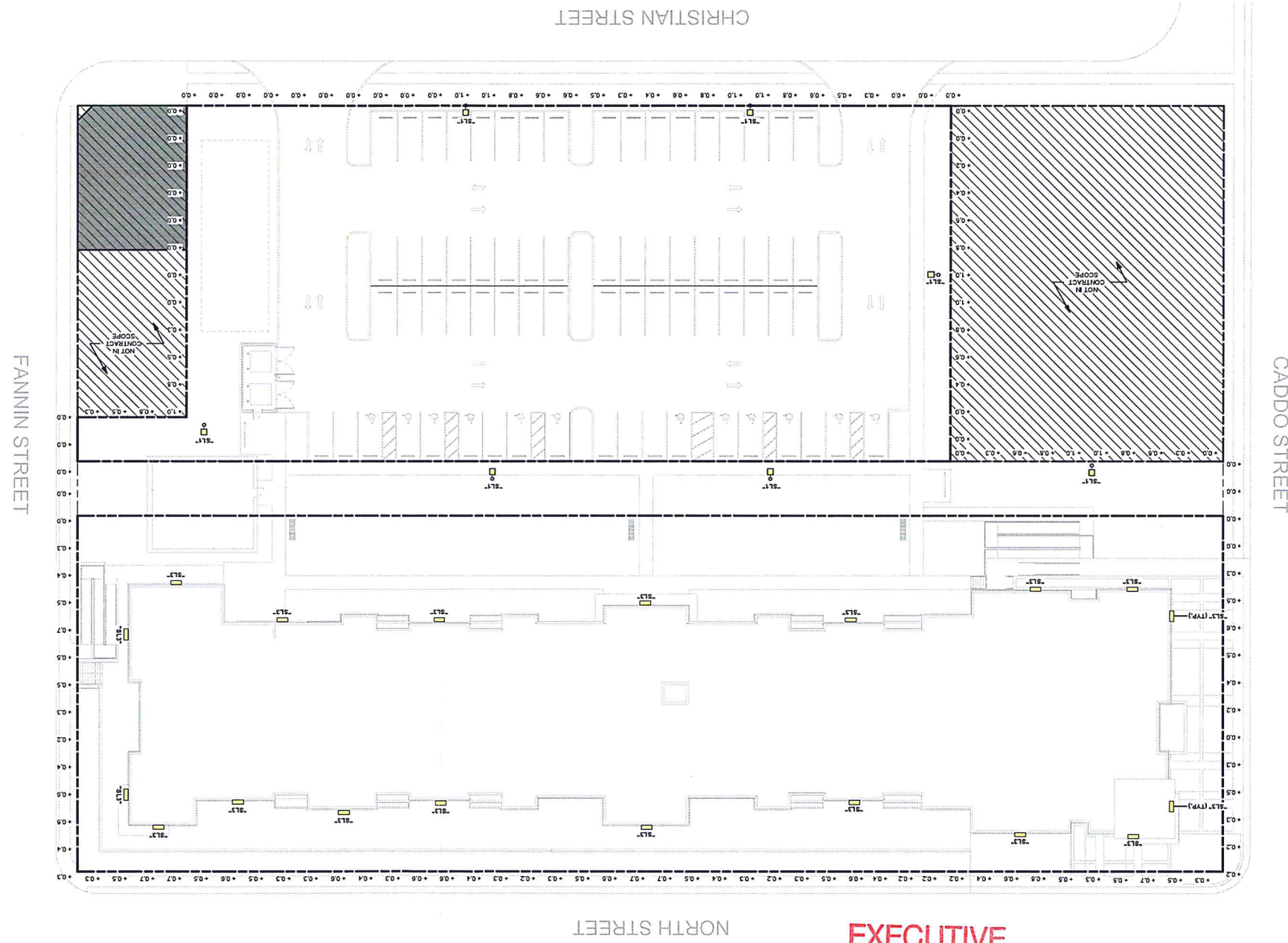
REVISIONS

**MILLENNIUM STUDIOS APARTMENTS**  
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DYNE NELSON ARCHITECTURE 235 SOUTH 14TH ST. BATON ROUGE, LA 70802 DNAWORKSHOP.COM [225] 224 3369



REMARKS:

- 1- PROVIDE WITH (1) HEAD.
- 2- MOUNT ON 20" HSS POLE, WITH HANGCKE AND BASE COVER.
- 3- PROVIDE WITH (2) HEADS AT 90° FROM EACH OTHER.
- 4- MOUNT AT 12' AIG.

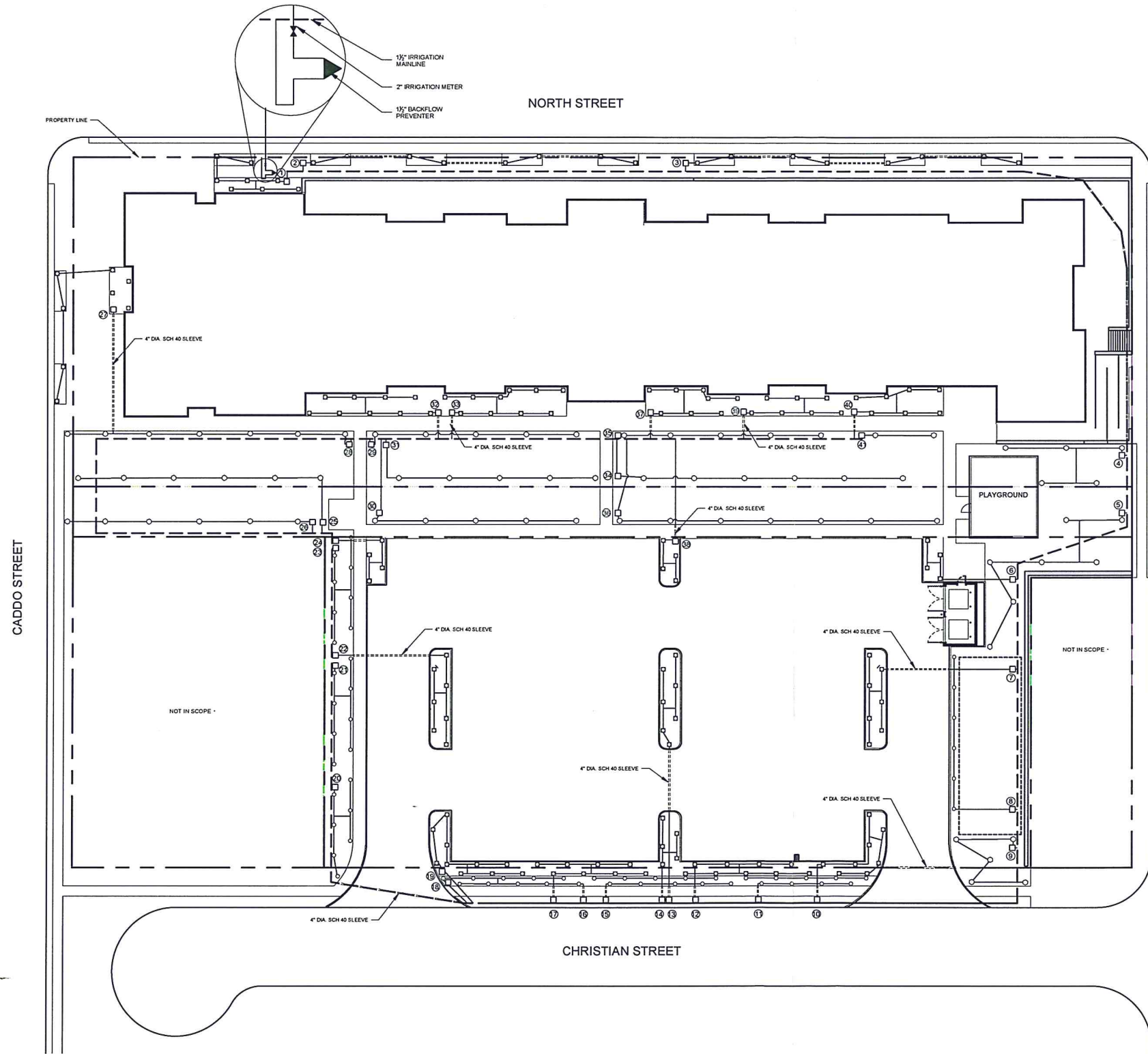


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**IRRIGATION NOTES**

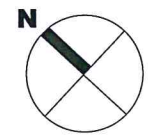
1. Contractor shall coordinate with Louisiana one-call, the location of all underground utilities, prior to beginning work. Any disruption of underground utilities shall be repaired at no expense to Owner or the Landscape Architect.
2. Contractor to coordinate with Landscape Contractor. Plant locations take priority over pipe locations.
3. Locate controller on exterior of building as shown on plan.
4. All pipe and control wire under pavement to be in 4" diameter Schedule 40 PVC.
5. Irrigation Contractor responsible for irrigation sleeves.

**IRRIGATION LEGEND**

- HUNTER PRO 4
- HUNTER PRO 12
- HUNTER PGP ULTRA ROTOR
- 1" VALVE
- 1 1/2" BACK FLOW PREVENTER
- 2" METER
- HUNTER CONTROLLER
- 1" PVC LINE
- 1 1/2" CLASS 200 MAINLINE
- 4" DIA. SCH 40 PVC SLEEVE

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DIRECTOR  
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2-7-2021 ACA  
Date By



21-93-c

Revisions:	5/11/2020
Revisions:	6/12/2020
Date:	1/17/2020
Drawn By:	LO
Checked By:	L-3.2
Sheet No.:	

**Millennium Studios  
Apartments**  
Shreveport, Louisiana

**Lloyd Overdyke** Landscape Architect LLC  
lloydoverdyke@gmail.com 318.550.6055

**Irrigation Plan Phase 5B**  
SCALE: 1"= 20'-0"