

- PROPOSED LANDSCAPING LEGEND**
- ORNAMENTAL TREE - 19 TOTAL
 - 10-CRAPE MYRTLE(LAGERSTROEMIA INDICA)
 - 9-REDBUD, EASTERN(CERCIS CANADENSIS)
 - SHADE TREE - 16 TOTAL
 - 6-SOUTHERN MAGNOLIA(MAGNOLIA GRANDIFLORA)
 - 5-RIVER BIRCH(BETULA NIGRA)
 - 5-GREEN ASH(FRAXINUS PENNSYLVANICA)
- ALL SIZES ARE 3" CALIPER

**EXECUTIVE
DIRECTOR
APPROVAL**

7-7-2021 *ae*
Date By

PROPERTY AND ALL ADJACENT PROPERTY IS ZONED D-1-RMU. THERE IS NO REQUIRED NUMBER OF PARKING SPACES IN THIS ZONE.

STREET SETBACK IN D-1-RMU IS A BUILD TO ZONE OF 0-20', 60% OF FACADE.

PROPERTY IS OWNED BY CITY OF SHREVEPORT.

TOTAL NUMBER OF PARKING SPACES=57

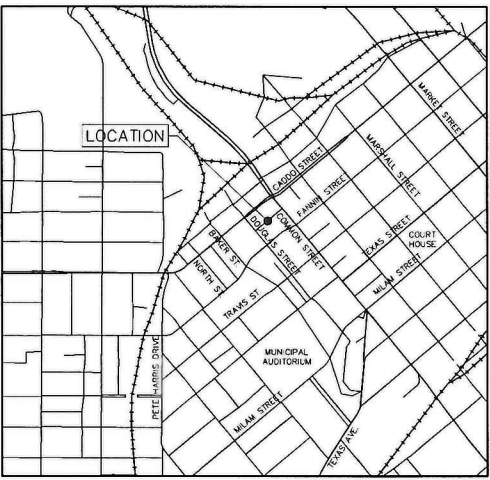
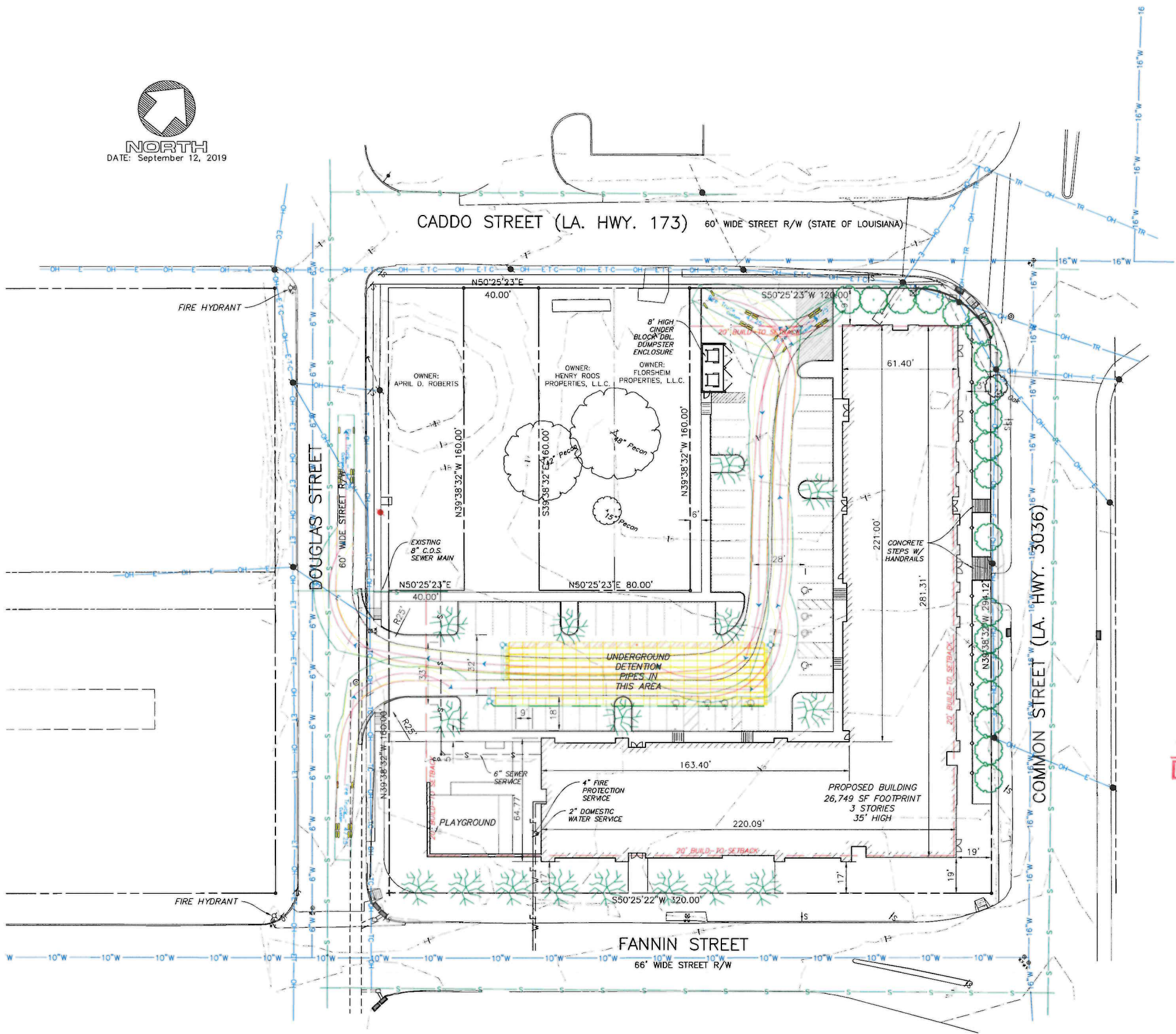
LEGAL DESCRIPTION

LOTS 5 THRU 12, 28, 31, 32, 33, A PORTION OF LOT 34 AND A PORTION OF ADJOINING ABANDONED ALLEY, TAL No. 2, CITY OF SHREVEPORT, CADDO PARISH, LOUISIANA, AS PER MAP THEREOF RECORDED IN CONVEYANCE BOOK 0, AT PAGE 538 OF THE RECORDS OF CADDO PARISH, LOUISIANA.

TRACT IS LOCATED IN ZONE "X" AS PER FEMA MAP NUMBER 22017C0369H EFFECTIVE DATE MAY 19, 2014.

NO.	REVISIONS	DATE
<p>Mohr and Associates, Inc. Consulting Civil Engineers & Land Surveyors 1324 N. Hearne Ave., Ste 301 Phone : (318) 686-7190 Shreveport, Louisiana 71107 Fax : (318) 402-4400</p>		
<p>CITY OF SHREVEPORT DNA WORKSHOP SHREVEPORT, LA 71101</p>		
<p>FOR: MILLENNIUM APARTMENTS PHASE 5A</p>		
Date	10-02-2019	
Scale	1"=30'	
Job	37168	Drawn DBA
Sheet	1	
of	1 Sheets	

20-38-C



Vicinity Map

PROPOSED LANDSCAPING LEGEND

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6/28/2021 5:28:00 PM E:\CIVIL\SITE PLANS\MILLENNIUM STUDIOS\PHASE 5A\DRAWINGS\37337-MPC SITE PLAN.DWG

NO.	REVISIONS	DATE

Mohr and Associates, Inc.
Consulting Civil Engineers & Land Surveyors
1324 N. Hearne Ave., Ste 301 Phone: (318) 686-7190
Shreveport, Louisiana 71107 Fax: (318) 402-4400

CITY OF SHREVEPORT
DNA WORKSHOP
SHREVEPORT, LA 71101

FOR: **MILLENNIUM APARTMENTS PHASE 5A**

Date	10-02-2019
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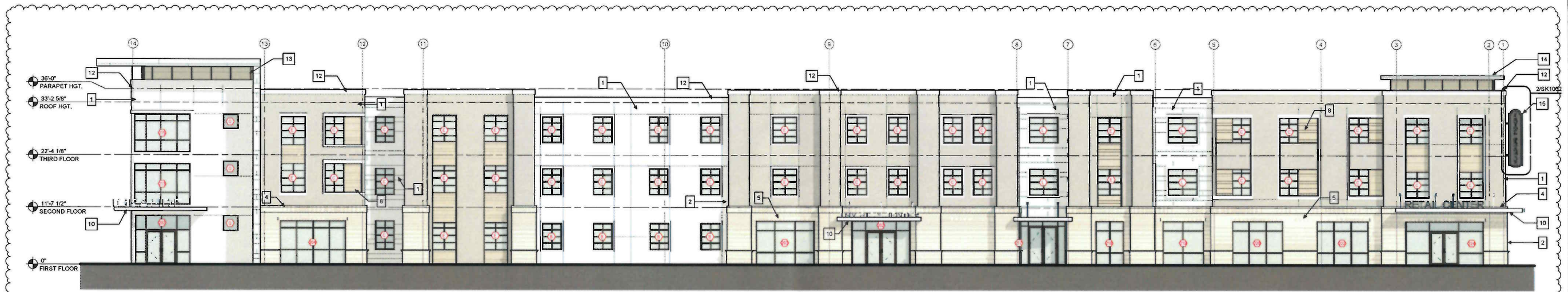
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20-38-C



MILLENNIUM STUDIOS APARTMENTS
 830 FANNIN STREET, SHREVEPORT, LA 71106

DYKE NELSON ARCHITECTURE 235 SOUTH 14TH ST. BATON ROUGE, LA 70802 DNA-WORKSHOP.COM [225] 224.3363



1 PHASE 5A - COMMON ST ELEVATION
 3/32" = 1'-0"

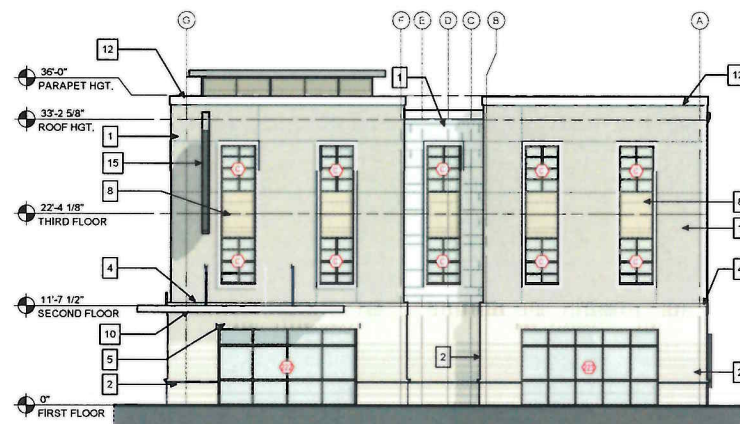
**EXECUTIVE
 DIRECTOR
 APPROVAL**

7.7.2021
 Date

ac
 By



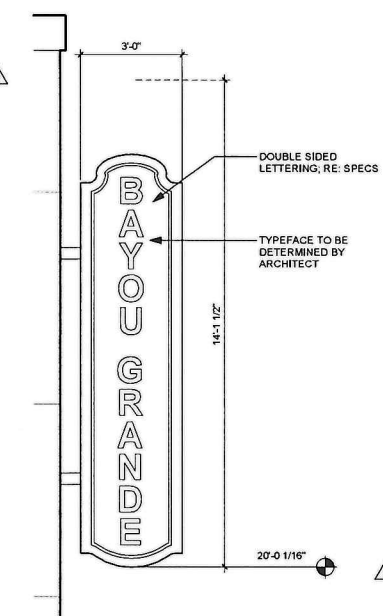
2 PHASE 5A - FANNIN ST ELEVATION
 3/32" = 1'-0"



3 PHASE 5A - CADDO ST ELEVATION
 3/32" = 1'-0"



4 PHASE 5A - NORTH ST ELEVATION
 3/32" = 1'-0"



5 EXT. SIGNAGE ELEVATION
 3/8" = 1'-0"

ELEVATION KEYNOTES

- 1 PAINTED FIBER CEMENT PANEL, SMOOTH SIDE
- 2 BRICK VENEER
- 3 BRICK ROWLOCK SILL
- 4 BRICK ROWLOCK CAP
- 5 BRICK SOLDIER LINTEL
- 6 ALUMINUM GUTTER ON ALUMINUM WRAPPED FASCIA. SEE DETAIL 3A-34, TYP.
- 7 ALUMINUM DOWNSPOUT
- 8 PAINTED FIBER CEMENT PLANK SIDING, SMOOTH SIDE
- 9 42" HIGH ALUMINUM GUARDRAIL
- 10 METAL AWNING
- 11 ALUMINUM STOREFRONT WALL SYSTEM
- 12 FIBER CEMENT CORNICE, TYP.
- 13 ROOFTOP EXTENSION, TYP.
- 14 ALUMINUM FACED COMPOSITE WALL PANEL
- 15 EXTERIOR SELF-ILLUMINATED SIGN

REVISIONS

2	07/24/20	ADDENDUM 2
3	10/22/20	ADDENDUM 3

JOB NUMBER: 19-015

ISSUED: 06/18/20

ISSUED FOR:
CONSTRUCTION

THESE DRAWINGS ARE THE PROPERTY OF DYKE NELSON ARCHITECTURE, LLC AND ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART. THEY ARE ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. SCALES STATED HEREON ARE VALID ON THE ORIGINAL DRAWINGS ONLY. CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN AND REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED. THESE PLANS WERE PREPARED IN THIS OFFICE UNDER OUR PERSONAL SUPERVISION AND TO THE BEST OF OUR KNOWLEDGE, COMPLY WITH STATE AND LOCAL CODES.

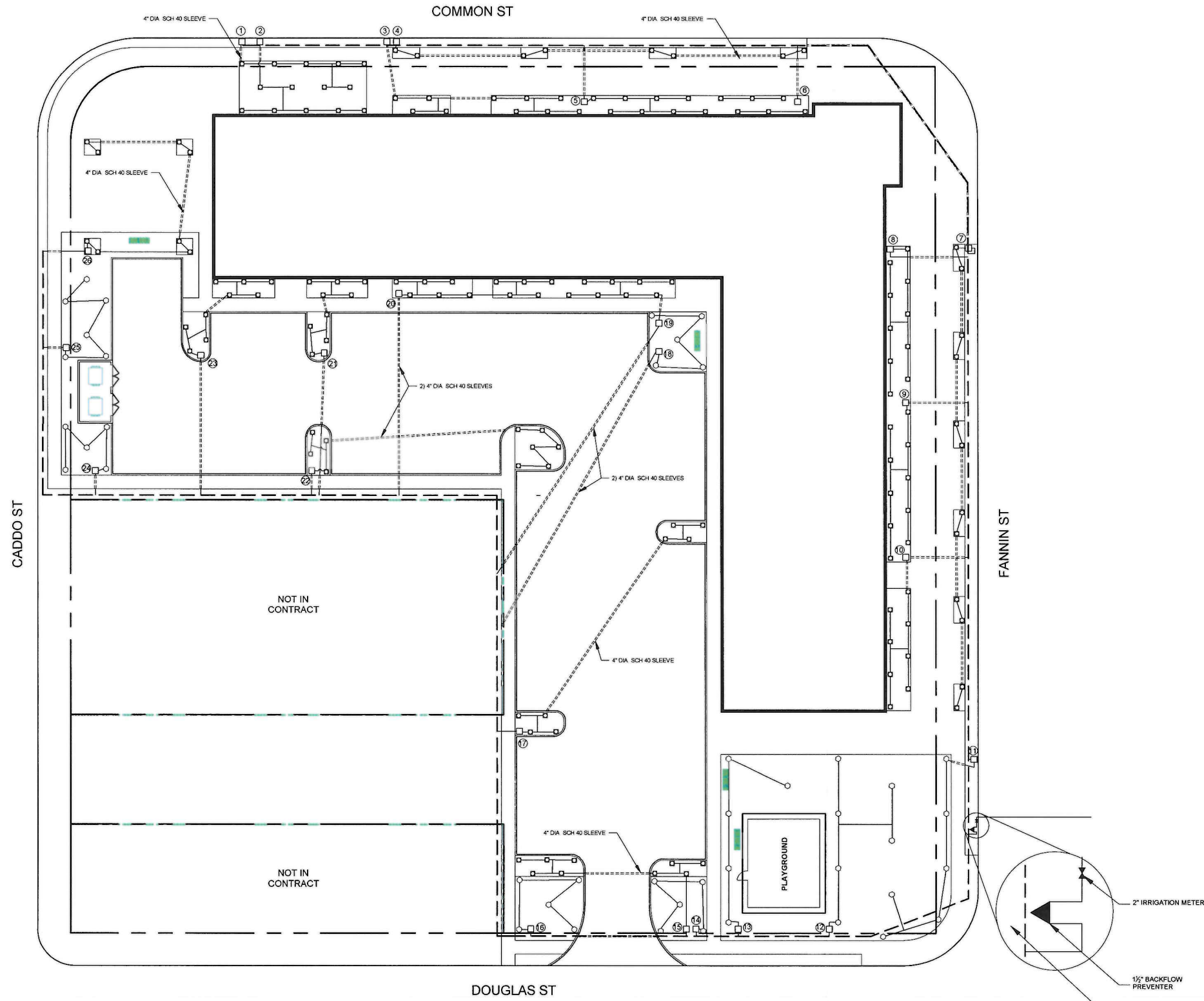


PHASE 5A EXTERIOR ELEVATIONS

A-20

PHASE: CD

20-38-C



IRRIGATION NOTES

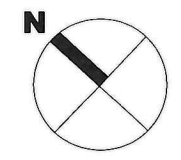
1. Contractor shall coordinate with Louisiana one-call, the location of all underground utilities, prior to beginning work. Any disruption of underground utilities shall be repaired at no expense to Owner or the Landscape Architect.
2. Contractor to coordinate with Landscape Contractor. Plant locations take priority over pipe locations.
3. Locate controller on exterior of building as shown on plan.
4. All pipe and control wire under pavement to be in 4" diameter Schedule 40 PVC.
5. Irrigation Contractor responsible for irrigation sleeves.

IRRIGATION LEGEND

- HUNTER PRO 4
- HUNTER PRO 12
- HUNTER PGJ ULTRA ROTOR
- 1" VALVE
- 1 1/2" BACK FLOW PREVENTER
- 2" METER
- HUNTER CONTROLLER
- 1" PVC LINE
- 1 1/2" CLASS 200 MAINLINE
- 4" DIA. SCH 40 PVC SLEEVE

**EXECUTIVE
DIRECTOR
APPROVAL**

7-7-2021 AC
Date By



20-38-C

Date:	1/17/2020	Revisions:	5/11/2020
Drawn By:	LO	Revisions:	6/12/2020
Checked By:	L-3.1	Revisions:	
Sheet No.:		Revisions:	

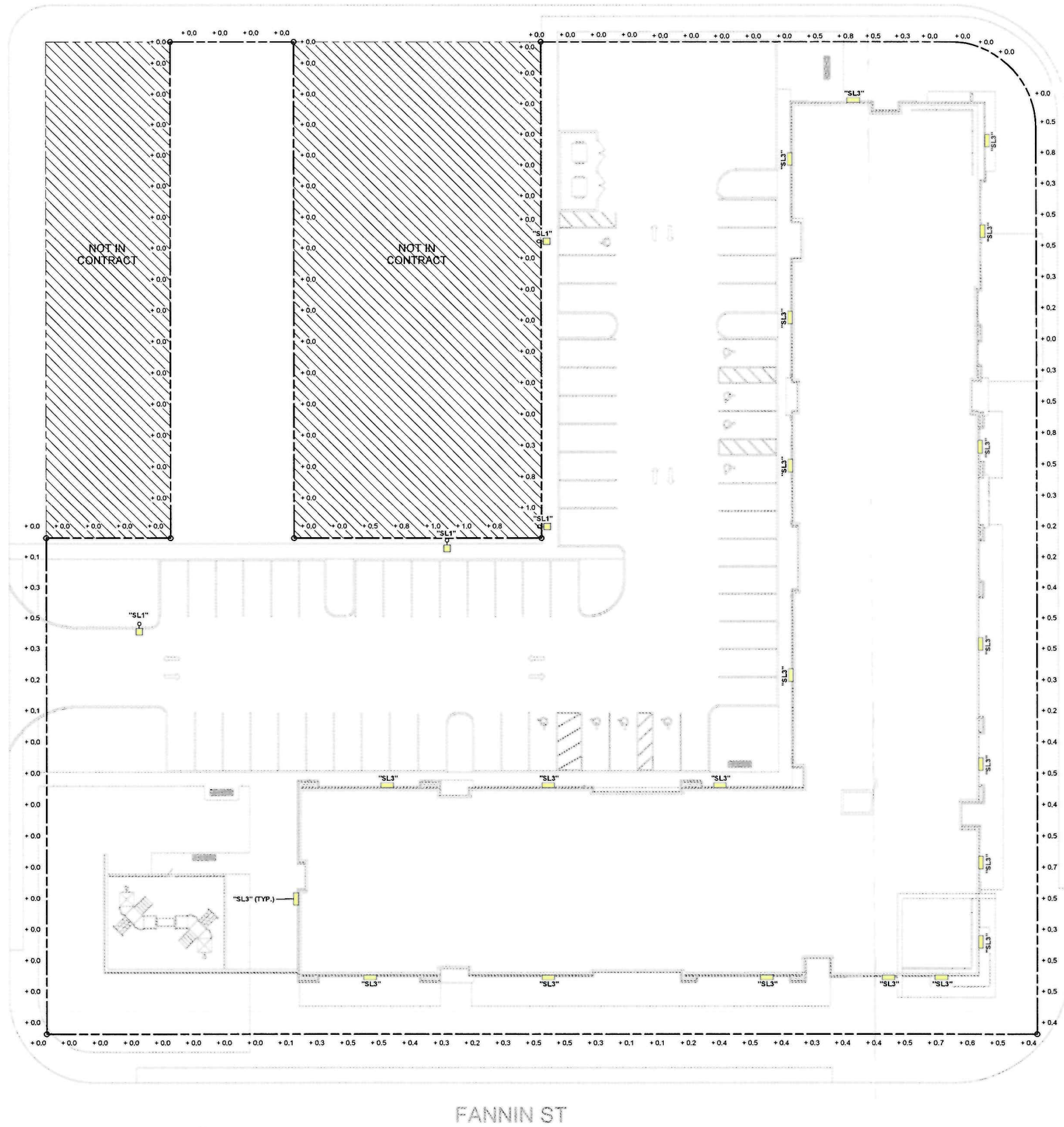
**Millennium Studios
Apartments**
Shreveport, Louisiana

Lloyd Overdyke Landscape Architect LLC
lloydoverdyke@gmail.com 318.550.6055

Irrigation Plan Phase 5A
SCALE : 1"= 20'-0"

DOUGLAS ST

CADDO ST



1 PHOTOMETRIC SITE PLAN
1" = 20'-0"



MARK	MANUFACT.	MODEL NUMBER	MOUNTING		FINISH	JUMP	DIM	REMARKS
			HEIGHT	TYPE				
SL1	AAL	PROL-T3-56LFD-3K-**	POLE	WALL	DARK BRONZE	LFD, 3000K	1	1, 2
SL2	AAL	(2) PROL-T3-56LED-3K-**	POLE	WALL	DARK BRONZE	LFD, 3000K	2	2, 3
SL3	LITHONIA	WSR LED P1 SR2 30K MVOLT	X		DARK BRONZE	LFD 3000K	1	4

- REMARKS:
 1 - PROVIDE WITH (1) HEAD.
 2 - MOUNT ON 20' RSS POLE, WITH HANDHOLE AND BASE COVER.
 3 - PROVIDE WITH (2) HEADS AT 90° FROM EACH OTHER.
 4 - MOUNT AT 12 AIG

Description	STATISTICS				
	Avg	Max	Min	Max/Min	Avg/Min
Property Line	0.2 fc	1.0 fc	0.0 fc	N/A	N/A

WSR LED Architectural Wall Scones

Specifications
 Luminaire: [Blank]
 Height: 12"
 Width: 1"
 Depth: 1"
 Weight: 1 lb

Optional Back Box (BBW)
 Height: 4"
 Width: 1"
 Depth: 1"
 Weight: 1 lb

Introduction
 Classic Architectural Wall Scones with the LED technology... (text continues)

Ordering Information
 EXAMPLE: WSR LED #2 43K 513 VOLT DCBTRD

Item	Description	Quantity	Unit	Notes
WSR LED #2 43K 513 VOLT DCBTRD	WSR LED #2 43K 513 VOLT DCBTRD	1	EA	

EXECUTIVE
DIRECTOR
APPROVAL

7-7-2024 *aa*
Date By

Providence "MicroCore" - Large Housing PROL Type: "SL1", "SL2"

REMARKS
 • Provide fixture as shown
 • Provide fixture as shown
 • Provide fixture as shown

SPECIFICATIONS
 • Luminaire: [Blank]
 • Height: 12"
 • Width: 1"
 • Depth: 1"
 • Weight: 1 lb

ORDERING INFORMATION

MODEL	1	2	3	4	5	6	7
PROL	Lighting	SL1	SL2	SL3	SL4	SL5	SL6

CONTENTS
 1. LUMINAIRE
 2. LUMINAIRE
 3. LUMINAIRE
 4. LUMINAIRE
 5. LUMINAIRE
 6. LUMINAIRE
 7. LUMINAIRE



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PHOTOMETRIC SITE PLAN

E0.00

PHASE: CD

20-38-C