

PROPERTY:
8700 Block of Line Avenue, specifically:
A Tract of land consisting of a part of Lot 3, Grubbs Succn.,
Per Map S-126 DM Sec38 (17-13) Lying W. of Line Avenue,
Less Twisted Root Commercial Subdivision,
Geo. 71338017006000, Shreveport, Caddo Parish, Louisiana

OWNER:
1931 Enterprises, LLC
Mr. Jay Mitchell
4847 Line Avenue
Shreveport, LA 71106
T 318-865-5658

APPLICANT + ARCHITECT:
COE Architecture International
Mr. Christopher W. Coe, FAIA
940 College Street
Shreveport, LA 71104
T 318-507-7266



SHREVEPORT UDC INFORMATION

LOT DESCRIPTION

PARCEL ID:	171338017006000
ZONE:	C-2
OVERALL PROPERTY AREA:	3.21 ACRES
PROPOSED DEVELOPMENT AREA:	2.30 ACRES

SETBACKS	ADJACENT LOT	REQUIRED
FRONT	N/A	NONE
REAR	I-2	NONE
SIDE	C-2	NONE

PROPOSED BUILDING DESCRIPTION

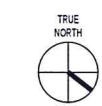
OCCUPANCY: RETAIL
AREA: 5,632 GSF
HEIGHT: 26'-8" MAX

OFF-STREET PARKING REQUIREMENTS

1 PER 300GSF: 17 STND + 2 ACC. SPACES (18 STND + 2 ACC. PROVIDED)
STALL DESIGN: 90 DEGREES, 10'-0" X 18'-0"
DRIVE AISLE: 24'-0" WIDE, MIN. 12'-0" LANES

**NEW LINE AVENUE
RETAIL DEVELOPMENT**
 8700 BLOCK OF LINE AVENUE
 SHREVEPORT, LA 71106

REVISIONS



SHREVEPORT MPC
SITE PLAN APPLICATION

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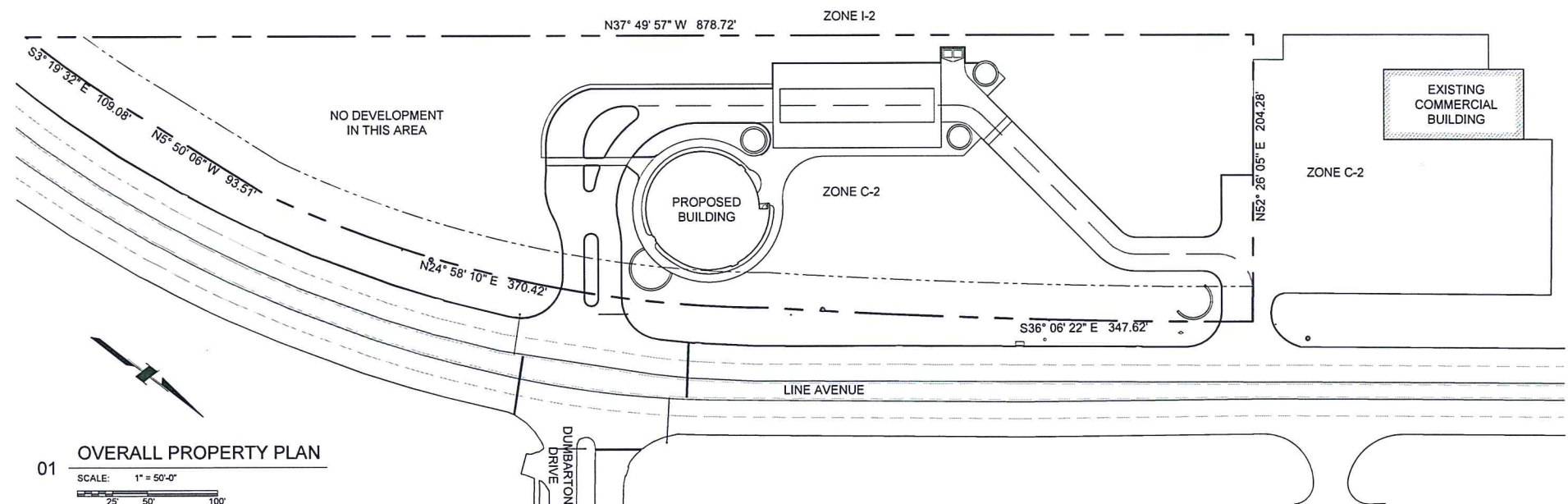
MPC SIGNATURE + DATE:

SHEET ISSUE DATE: JULY 24 2024

DRAWING NAME: **A100**

SITE PLAN

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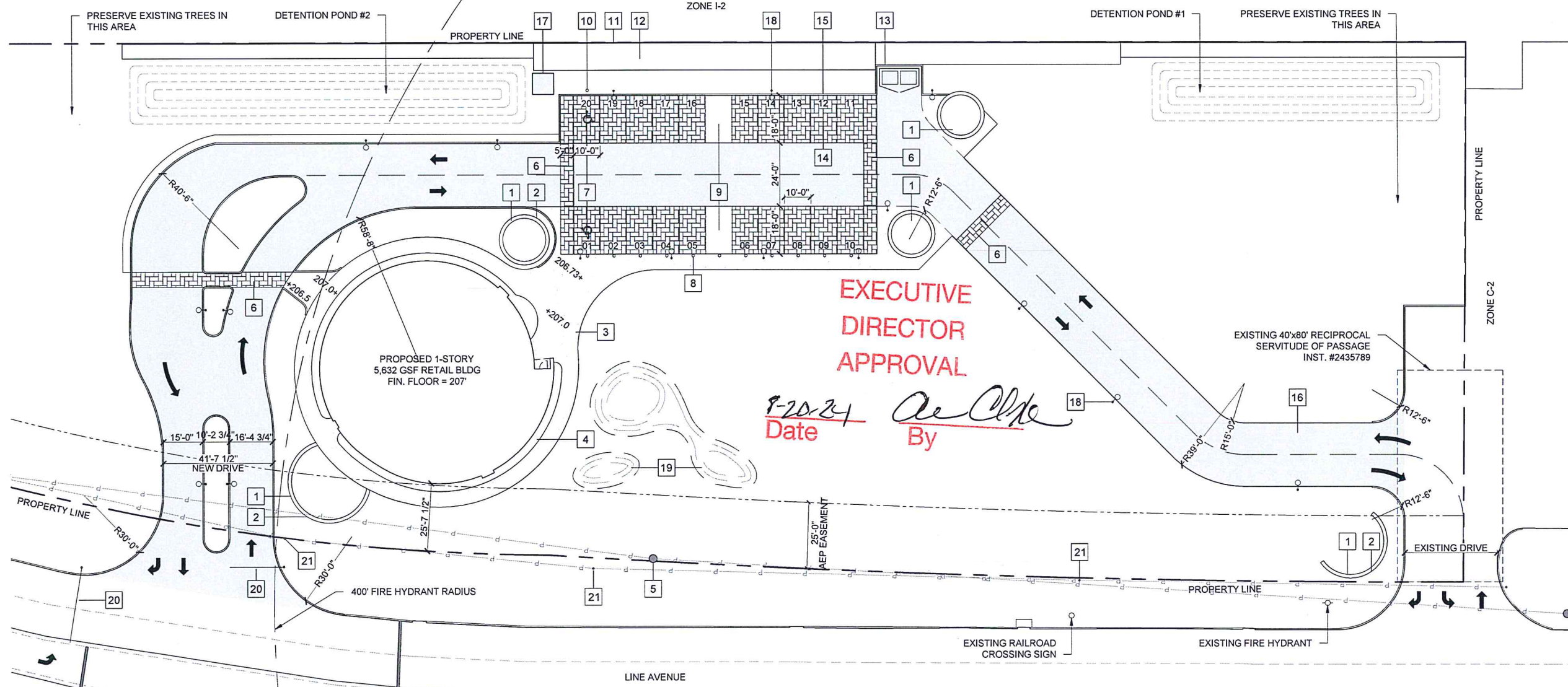


SITE PLAN KEY NOTES

- PLANTER BED WITH 36" TALL MASONRY WALL
- BUILDING SIGNAGE INSTALLED ON MASONRY WALL (SEPARATE PERMIT APPLICATION TO BE SUBMITTED)
- WALKWAY (ETCHED COLORED C.I.P. CONCRETE)
- GROUND PLANTER STRIP AROUND BUILDING
- EXISTING AEP TUBULAR STEEL POWER POLE
- ACCESSIBLE CROSS WALK (PAVERS)
- ACCESSIBLE PARKING WITH CONTRASTING COLOR SYMBOL
- 6" DIA. 42" TALL LIGHTED PARKING BOLLARD, @ SPACES 01-10 W/ ACCESSIBLE PARKING SIGN AT 01; SEE LIGHTING PLAN
- LANDSCAPED ISLAND (10' x 18')
- POLE MOUNTED ACCESSIBLE PARKING SIGN
- 6'-0" TALL WOOD FENCE
- 10' DEEP LANDSCAPE STRIP AGAINST ZONE I-2
- 8'-0" TALL CONCRETE BLOCK DUMPSTER ENCLOSURE
- 10' x 18' PARKING SPACES (PAVERS)
- 6" TALL CONCRETE CURB AT SPACES 11-20
- NEW DRIVEWAY (CONCRETE)
- 8' x 8' TRANSFORMER PAD
- POLE MOUNTED SITE LIGHTING
- LAWN FEATURES; SEE LANDSCAPING
- NEW POLE MOUNTED TRAFFIC SIGNALS
- EXISTING WOOD POLE SUPPORTED POWER LINES

**EXECUTIVE
DIRECTOR
APPROVAL**

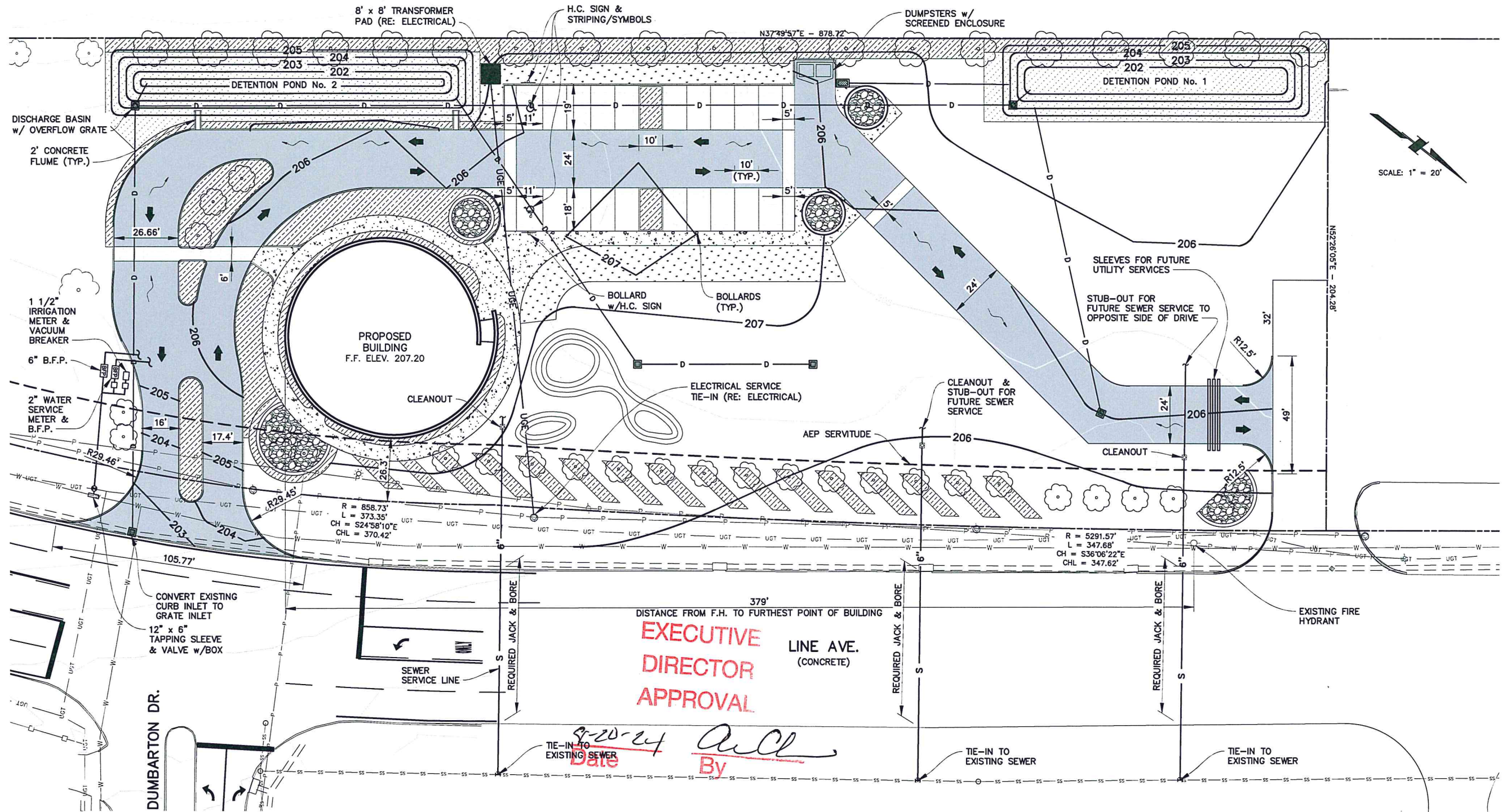
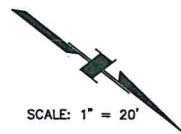
P-20-21
Date *[Signature]*
By



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NEW LINE AVENUE
RETAIL DEVELOPMENT
8700 BLOCK OF LINE AVENUE
SHREVEPORT, LA 71106

EXECUTIVE
DIRECTOR
APPROVAL

3-20-24
Date By *AVL*

REVISIONS

NO.	DESCRIPTION

LEGEND:

	EXISTING FIRE HYDRANT		PROPOSED WATER LINE		EXISTING CONTOUR
	EXISTING WATER VALVE		PROPOSED SEWER LINE		PROPOSED JUNCTION BOX
	EXISTING TRAFFIC POLE		PROPOSED DRAINAGE PIPING		PROPOSED GRATE INLET
	EXISTING POWER POLE		PROPOSED UNDERGROUND ELECTRICAL		PROPOSED CURB INLET
	EXISTING LIGHT POLE		PROPOSED SOD (RE: LANDSCAPING)		PROPOSED CLEANOUT
	EXISTING MANHOLE		PROPOSED LANDSCAPING (RE: LANDSCAPING)		PROPOSED BOLLARD w/ SIGN
	EXISTING CATCH BASIN		PROPOSED LANDSCAPING (RE: LANDSCAPING)		PROPOSED BOLLARD
	EXISTING INLET		PROPOSED LANDSCAPING (RE: LANDSCAPING)		DIRECTION OF TRAFFIC FLOW (VISUAL ONLY)
	EXISTING DRAINAGE PIPE/CULVERT		PROPOSED EROSION CONTROL SEEDED GRASS (RE: LANDSCAPING)		PROPOSED TREE
	EXISTING UNDERGROUND TELEPHONE		PROPOSED CONCRETE DRIVE		
	EXISTING POWER LINE		PROPOSED BRICK PAVERS		
	EXISTING SEWER LINE		PROPOSED CONCRETE WALKWAY		
	EXISTING WATER LINE		EXISTING CONCRETE DRIVE		
	CENTER LINE				
	PROPERTY LINE				
	PROPOSED 6" BARRIER				
	SWALE				
	DRAINAGE DIRECTION				

SETBACKS:

ZONED C-2
FRONT: NONE
SIDE: NONE
REAR: NONE

F.E.M.A. FLOOD INFORMATION:

MAP No. 22017C0486H
ZONE: X
BASE FLOOD ELEV.: NONE

SHREVEPORT MPC
SITE PLAN APPLICATION

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DATE: DECEMBER, 2023
FIRM NAME: BALAR ASSOCIATES, INC. ENGINEER'S NAME: ANDREW J. VERNER, P.E. REGISTRATION No.: 37263



BALAR ASSOCIATES, INC.
631 MILAM STREET, SUITE 300
SHREVEPORT, LOUISIANA 71101
PHONE: 318-221-8312
FAX: 318-424-6508
E-MAIL: balar@balar-engineers.com
WEB: www.balar-engineers.com
LOUISIANA REGISTRATION No. 64
TEXAS REGISTRATION No. F-11221

SHEET ISSUE DATE:

DRAWING NAME:

MPC SITE PLAN

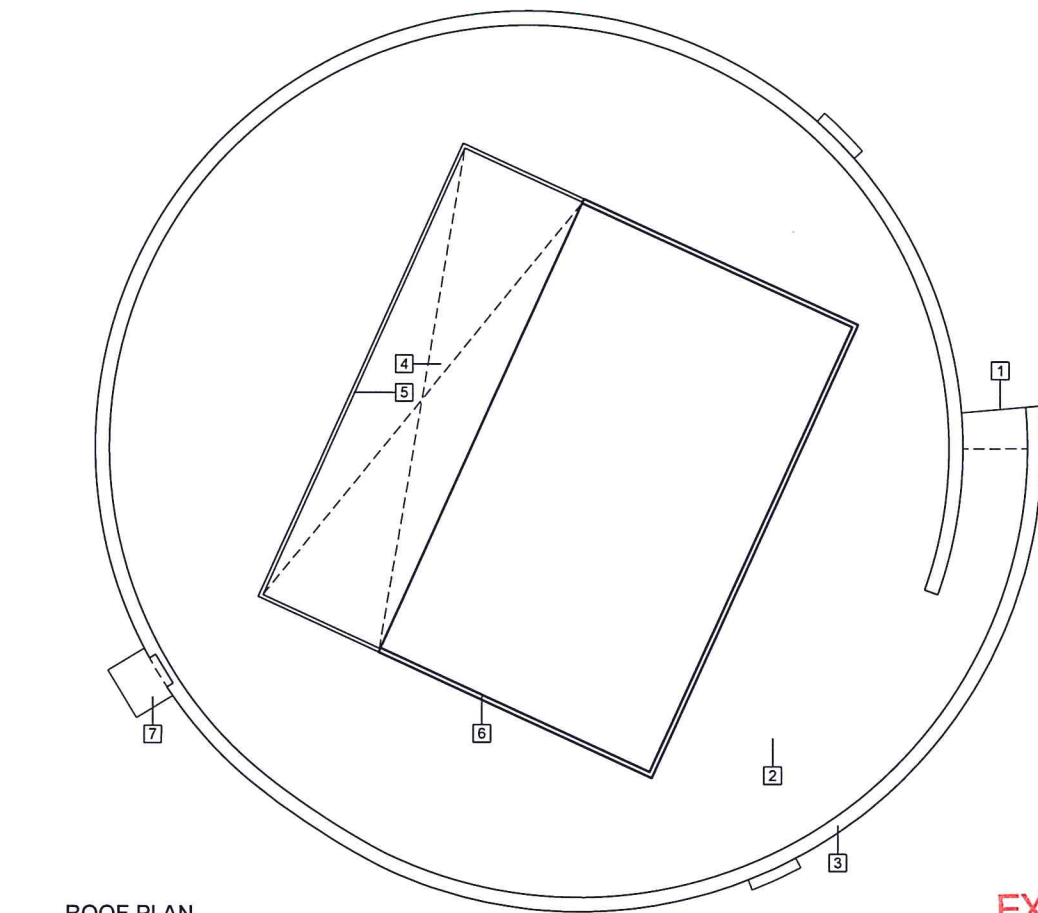
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BUILDING ROOF PLAN KEY NOTES

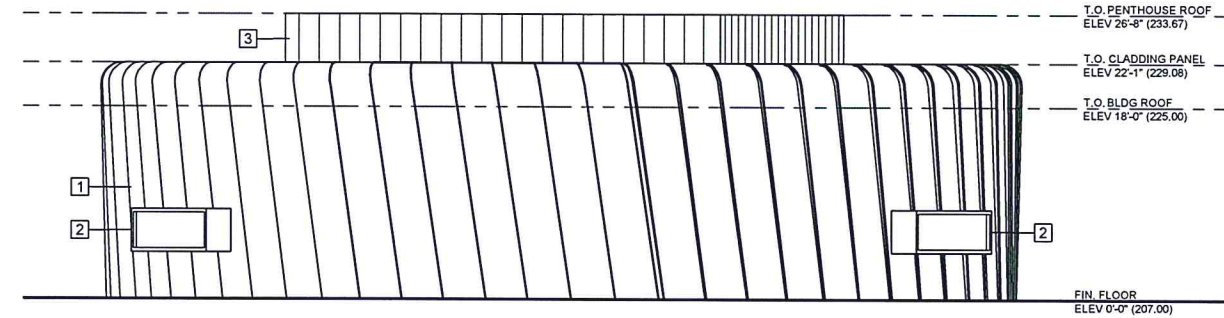
1. ENTRY CANOPY ROOF
2. MAIN ROO (WHITE TPO)
3. 24" TALL PARAPET
4. MECHANICAL EQUIPMENT YARD
5. ROOF EQUIPMENT SCREEN WALL (METAL PANEL)
6. UPPER ROOF (WHITE TPO) W/ 8" HIGH PARAPET
7. METAL FIN + CANOPY ROOF W/ BRONZE METALLIC PAINT FINISH

BUILDING ELEVATION KEY NOTES

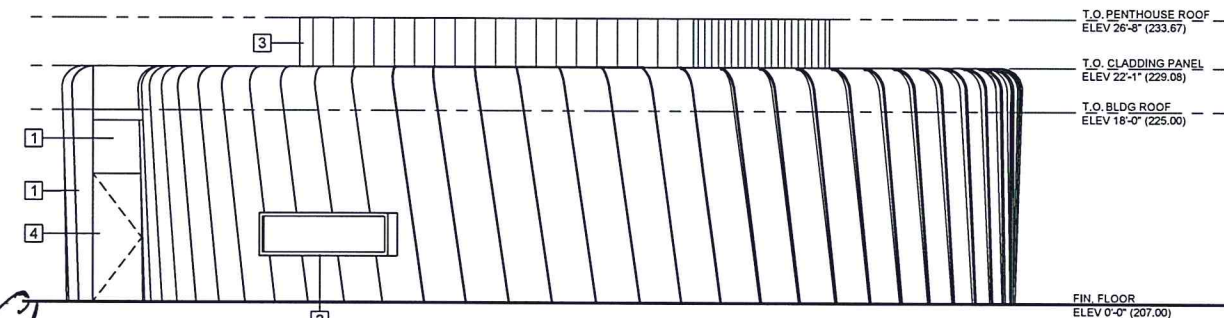
1. VERTICAL ALUMINUM PANELS W/ BRONZE METALLIC PAINT FINISH
2. PROTRUDING FIXED WINDOW W/ BRONZE COLOR FRAME
3. COMPOSITE METAL PANEL AT PENTHOUSE W/ BRONZE METALLIC FINISH
4. TINTED GLASS ENTRY DOOR
5. H.M. EGRESS DOOR W/ BRONZE METALLIC PAINT FINISH
6. METAL FIN + CANOPY ROOF W/ BRONZE METALLIC PAINT FINISH



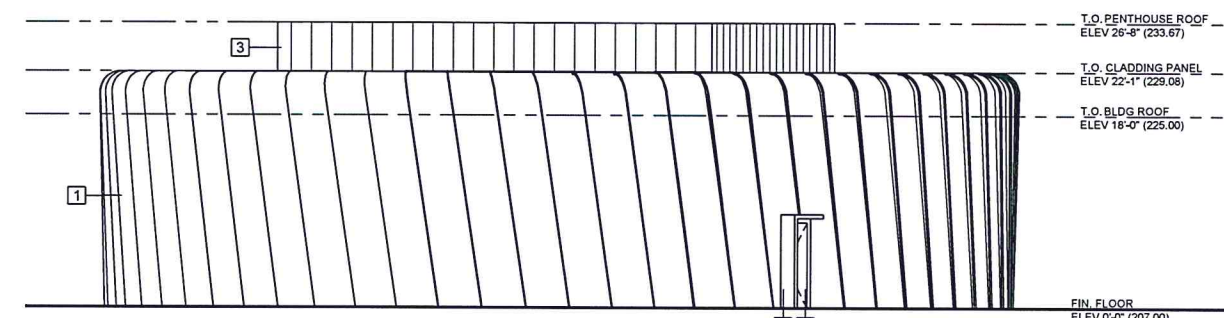
02 ROOF PLAN
SCALE: 1/8" = 1'-0"



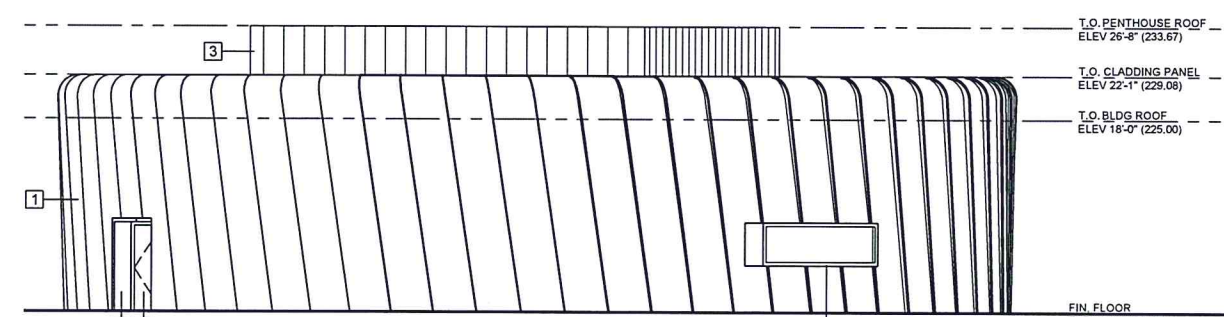
06 WEST ELEVATION
SCALE: 1/8" = 1'-0"



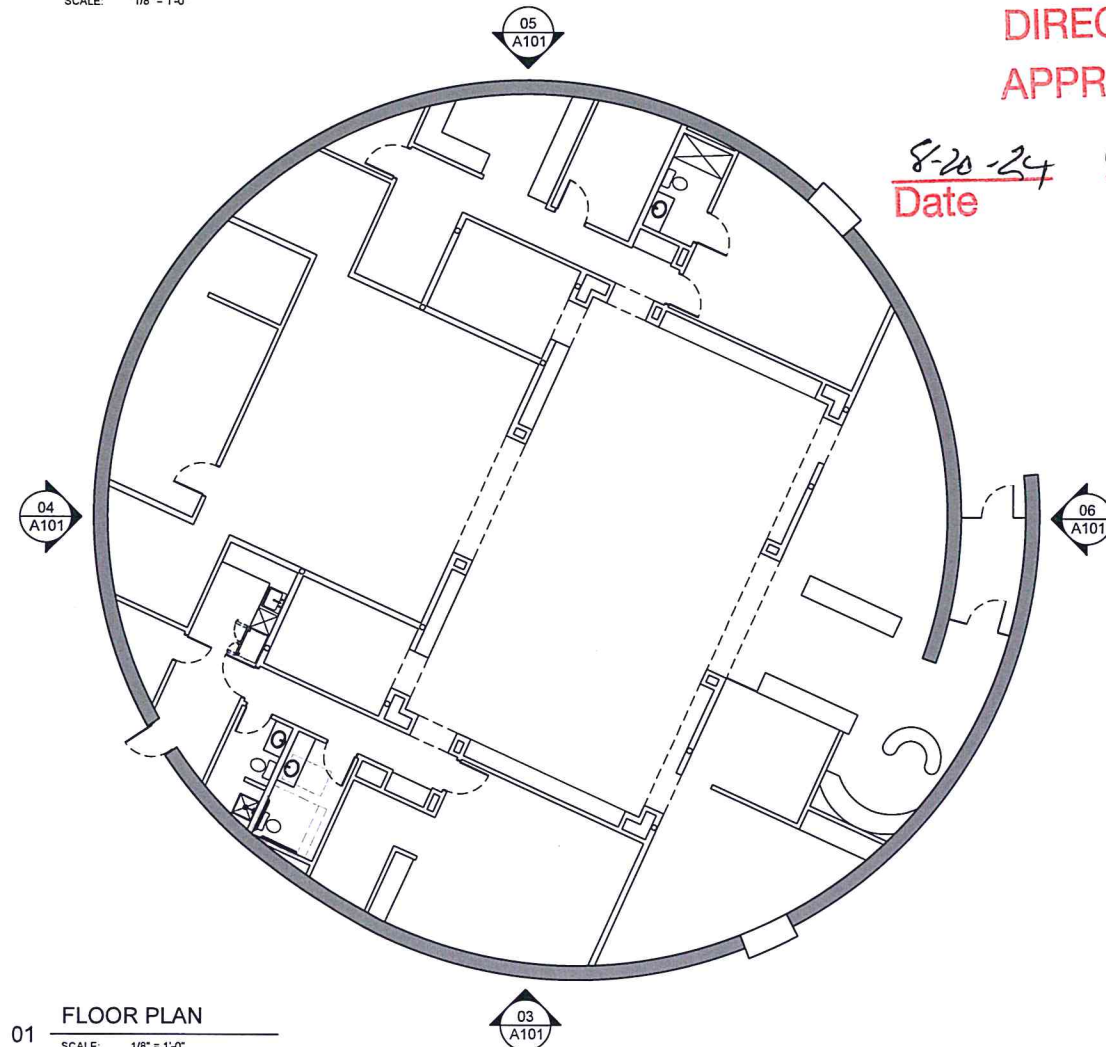
05 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



04 EAST ELEVATION
SCALE: 1/8" = 1'-0"



03 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



01 FLOOR PLAN
SCALE: 1/8" = 1'-0"

EXECUTIVE
DIRECTOR
APPROVAL

8-20-24
Date By *[Signature]*

NEW LINE AVENUE
RETAIL DEVELOPMENT
8700 BLOCK OF LINE AVENUE
SHREVEPORT, LA 71106

REVISIONS



SHREVEPORT MPC
SITE PLAN APPLICATION

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MPC SIGNATURE + DATE

SHEET ISSUE DATE: JULY 24 2024

DRAWING NAME: **A101**
BUILDING
PLANS + ELEVATIONS

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NEW LINE AVENUE
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SHREVEPORT, LA 71106



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DIRECTOR
APPROVAL

8-20-24
Date By *Chris*

01 BUILDING RENDERING
SCALE: NO SCALE

SHEET ISSUE DATE: JULY 24 2024
DRAWING NAME: A102

BUILDING RENDERING
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 940 College Street
 Shreveport, LA 71104
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NEW LINE AVENUE
 RETAIL DEVELOPMENT
 8700 BLOCK OF LINE AVENUE
 SHREVEPORT, LA 71106

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EXECUTIVE
 DIRECTOR
 APPROVAL

8-20-24
 Date By *A. Coe*

01 BUILDING RENDERING
 SCALE: NO SCALE

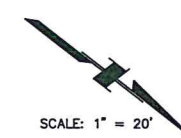
SHEET ISSUE DATE: JULY 24 2024
 DRAWING NAME: A103

BUILDING RENDERING
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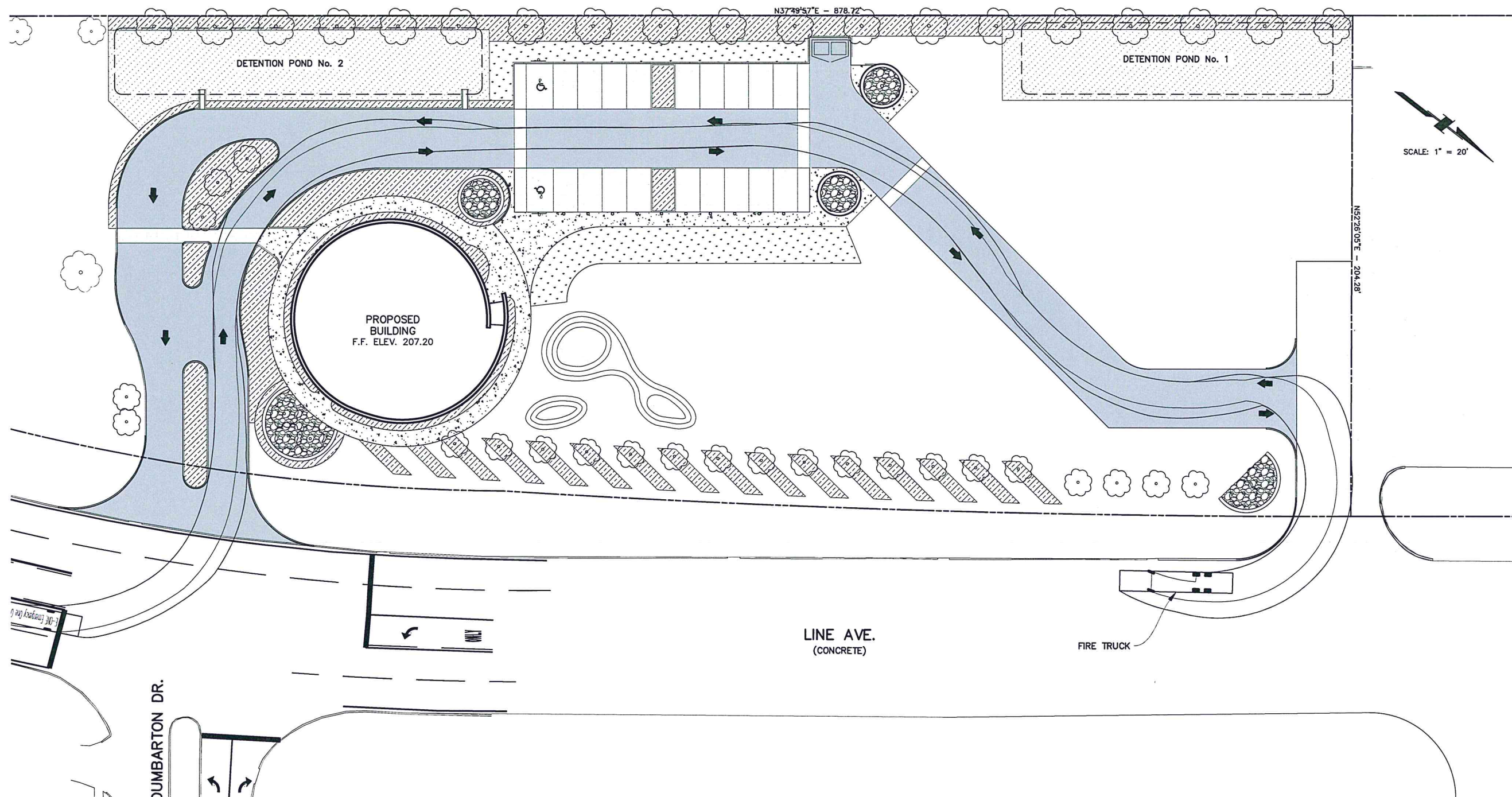
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SCALE: 1" = 20'



NEW LINE AVENUE
RETAIL DEVELOPMENT
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5-20-24
Date By *A. Cole*

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FIRM NAME: BALAR ASSOCIATES, INC. ENGINEER'S NAME: ANDREW J. VERNER, P.E. REGISTRATION No.: 37263 DECEMBER, 2023

BALAR
CONSULTING ENGINEERS

BALAR ASSOCIATES, INC.
631 MILAM STREET, SUITE 300
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WEB: www.balar-engineers.com
LOUISIANA REGISTRATION No. 64
TEXAS REGISTRATION No. F-11221

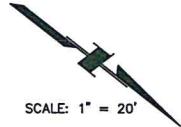
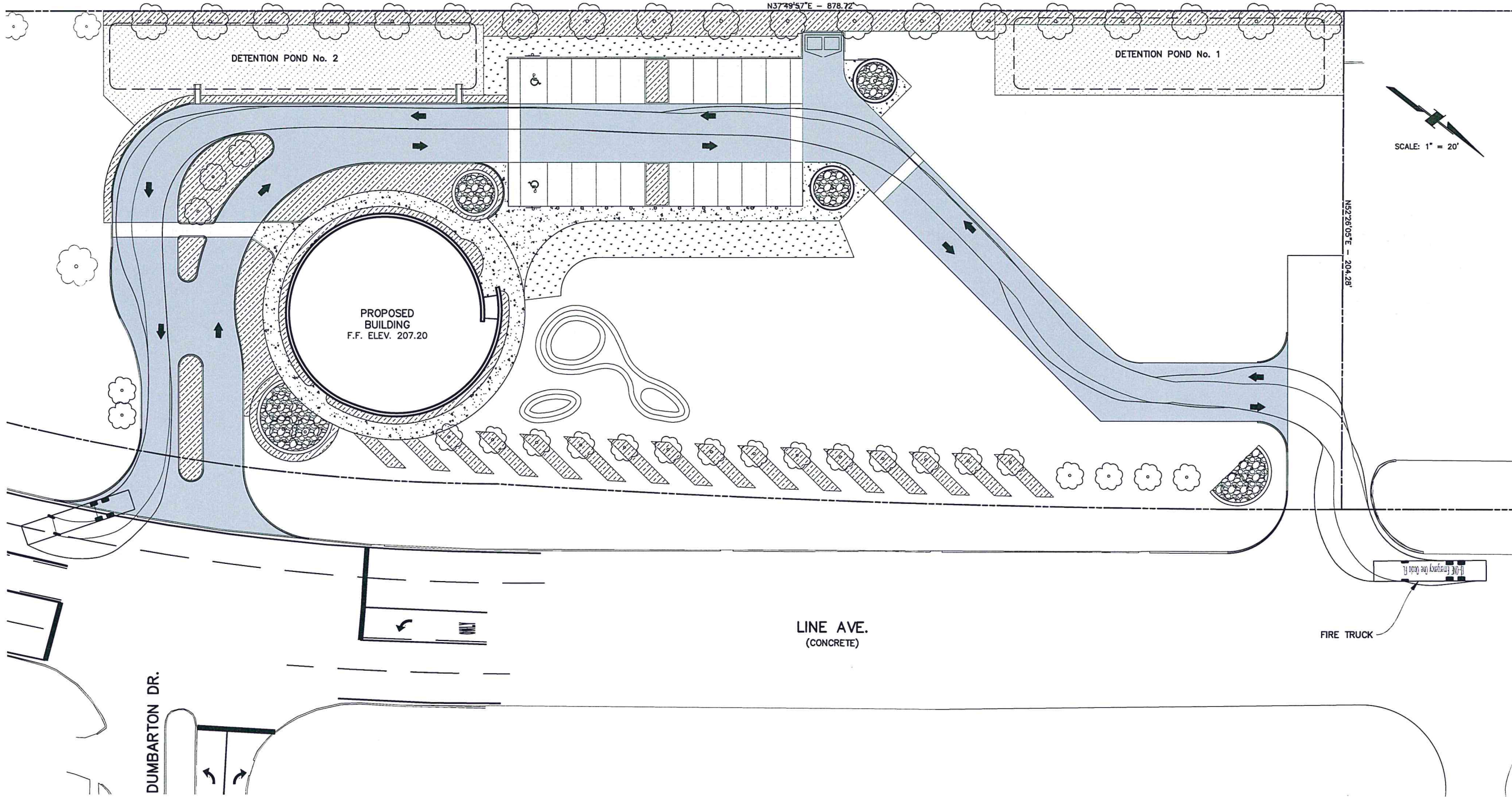
SHEET ISSUE DATE:
DRAWING NAME:
MPC VEHICLE TRACKING PLAN
1 OF 3

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MPC SIGNATURE + DATE:

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DRAWING NAME:
MPC VEHICLE TRACKING PLAN
2 OF 3

**EXECUTIVE
DIRECTOR
APPROVAL**

4-20-24 *Andrew J. Verner*
Date By

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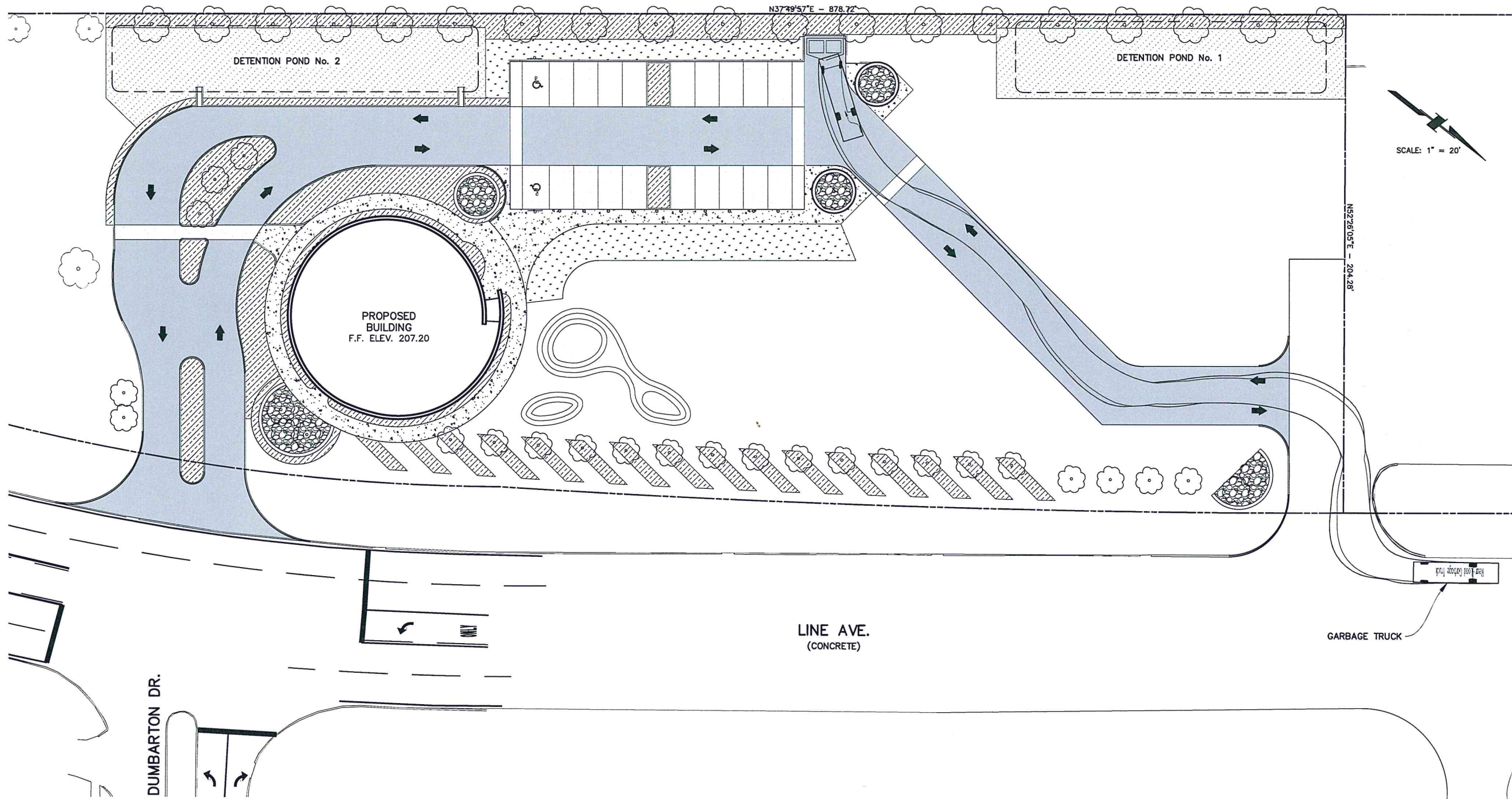
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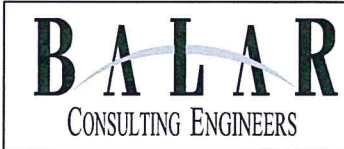
DRAWING NAME:
**MPC VEHICLE
TRACKING PLAN**
3 OF 3

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8-20-24
Date Andrew J. Verner
By

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TEXAS REGISTRATION NO. F-11221



REVISIONS	
NO.	DESCRIPTION

SEALED SIGNATURE DATE _____



PROJECT NUMBER _____
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.

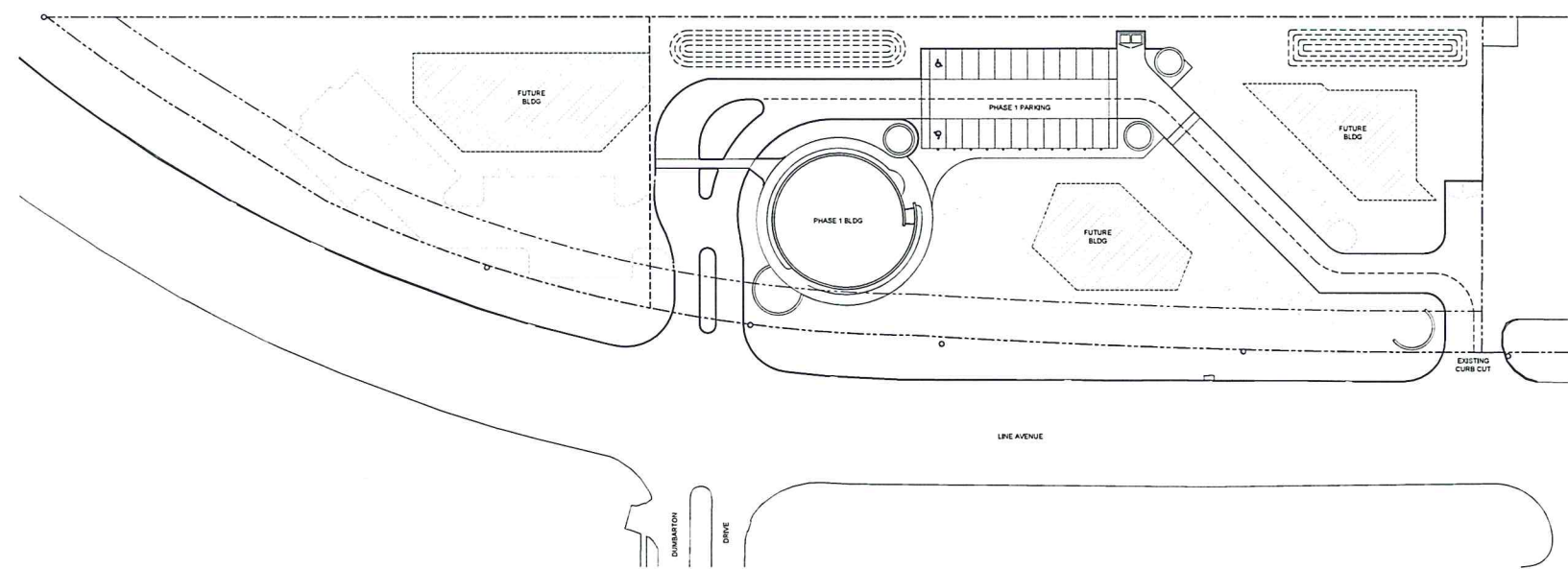
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SHEET ISSUE DATE 06.28.24

DRAWING NAME

LANDSCAPE ANALYSIS PLAN

L-1.0



1 FUTURE SITE DEVELOPMENT PLAN
SCALE: 1" = 50'

CODE ANALYSIS
City of Shreveport Uniform Development Code
ARTICLE 10 - LANDSCAPE AND TREE PRESERVATION

ANNOTATIONS

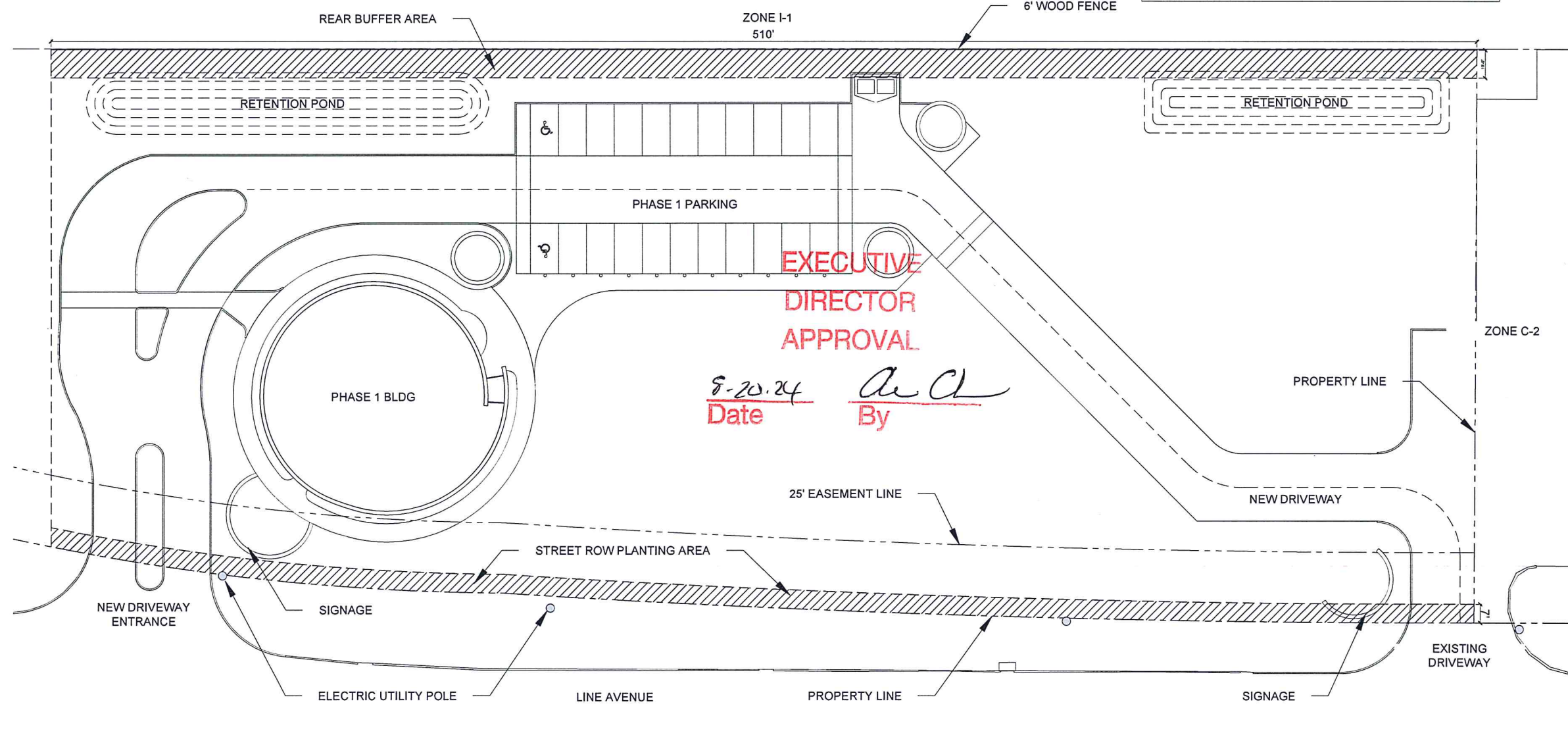
- No shade trees are required for the site, located in Zoning District C-1 (Table 10-2: Required Shade Tree Planting).
- The site's location in Zone C-1 requires the frontage planting area to be the minimum of 7' wide (Table 10-9.B.2.a).
- Due to the existence of overhead utilities on Line Avenue frontage, no trees higher than 25' high at maturity are allowed within 20' of the utility lines (Section 10-2.C.3).
- A landscape buffer is required at the rear of the property because of the adjacent property is in Zoning District I-2. (Section 10-9.A.1.c)
- The required buffer yard is the minimum of 10' wide (Section 10-9.A.2.a).
- The buffer must consist of 1 shade tree for every 30 linear feet (Section 10-9.A.2.b), a solid fence that is a minimum of 6' high (Section 10-9.A.2.c), and 1 shrub for every 3 linear feet (Section 10-9.A.3).
- Parking for the first phase of the project is not adjacent to the street right-of-way. Therefore, the requirement for shrubs (10-9.C) does not apply.
- A planted island is required in each row of 10 parking spaces with 2 ornamental trees per island (10-9.C.2).

CALCULATIONS

Street Right-of-Way Planting (10-9.B)
 Length of row 510'
 Width of row x 7'
 Planting area = 3570 sf
 Tree requirements + 500 sf
 Total # of trees 8 x 3 (small trees) = 24
 Diversity requirements 3 species (Table 10-1)

Rear Buffer Planting (10-9.A)
 Buffer yard length 510'
 Shade trees (1 per 30') + 30'
 Total # of trees 17
 Diversity requirements 3 species (Table 10-1)

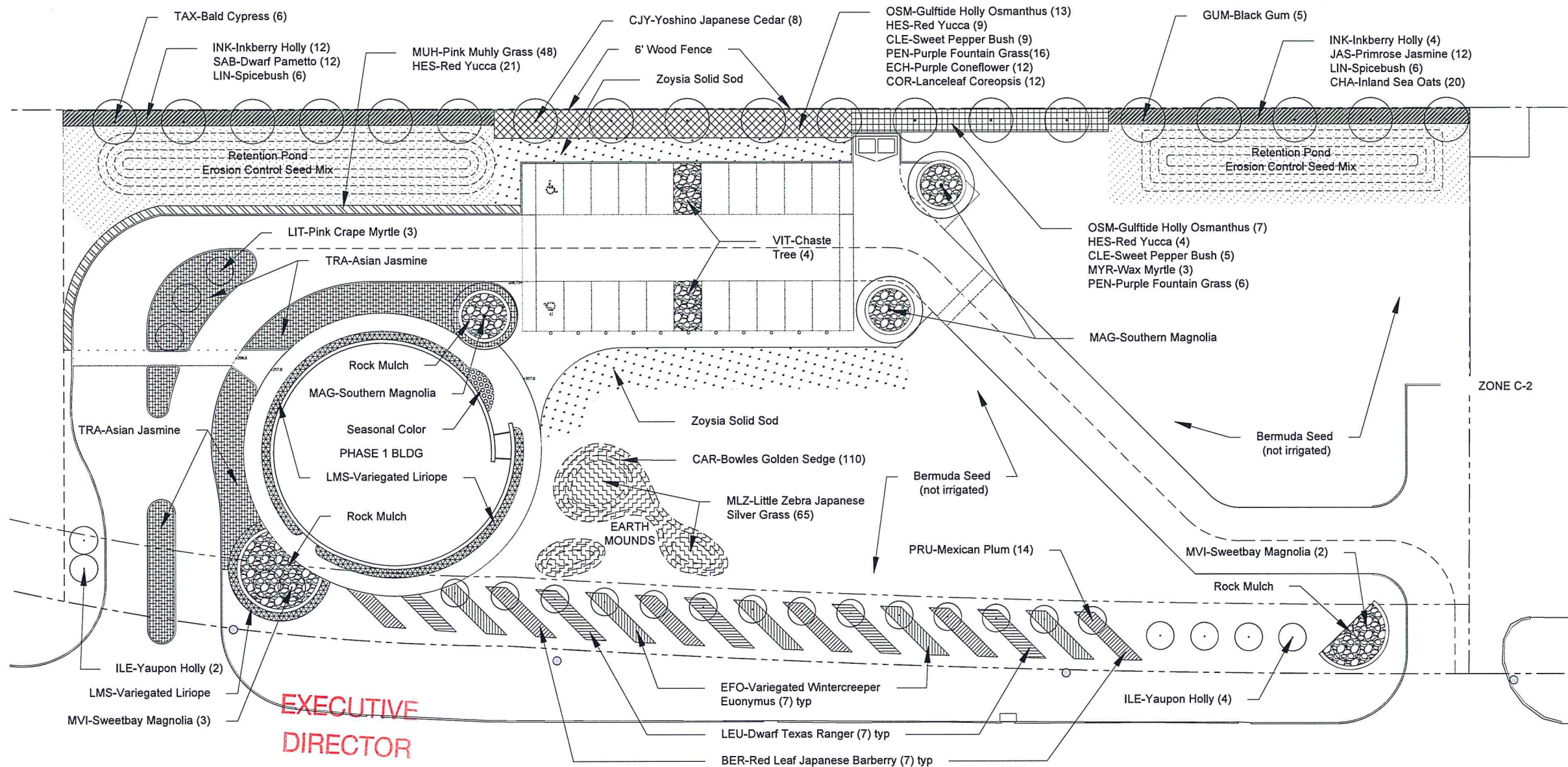
Phase 1 Planting
 Buffer yard length 510'
 Shrubs (1 per 3') + 3'
 Total # of shrubs 170 (10-9.A.3)
 Diversity requirements 7 species (Table 10-1)



1 SITE ANALYSIS PLAN
SCALE: 1" = 20'



EXECUTIVE DIRECTOR APPROVAL
 Date 8-20-24 By [Signature]



EXECUTIVE
DIRECTOR
APPROVAL

8-28-24
Date By

1 PLANTING PLAN
SCALE: 1" = 20'

PLANT MATERIAL LISTS

TREES						
Qty	Sym	Common Name	Botanical Name	Size	Notes	
8	CJY	Yoshino Japanese Cedar	<i>Cryptomeria japonica 'Yoshino'</i>	5' ht	#25 cont	Rear Buffer
5	GUM	Black Gum	<i>Nyssa sylvatica</i>	3" cal	12'-15' ht	Rear Buffer
6	TAX	Bald Cypress	<i>Taxodium distichum</i>	3" cal	12'-15' ht	Rear Buffer
19	Total Shade Trees at Rear Buffer					
6	ILE	Pride of Houston Yaupon Holly	<i>Ilex vomitoria 'Pride of Houston'</i>	8' ht	#15 cont	ROW Planting
5	MVI	Sweetbay Magnolia	<i>Magnolia virginiana</i>	8' ht	#15 cont	ROW Planting
14	PRU	Mexican Plum	<i>Prunus mexicana</i>	8' ht	#15 cont	ROW Planting
25	Total Small Trees at Street ROW					
3	LIT	Pink Crape Myrtle	<i>Lagerstroemia indica 'Tuscarora'</i>	10' ht	Multi-trunk	Driveway Median
3	MAG	Majestic Beauty Magnolia	<i>Magnolia grandiflora 'Majestic Beauty'</i>	#45 cont	12'-15' ht	Parking Lot Planters
4	VIT	Chaste Tree	<i>Vitex agnus-castus</i>	8' ht	#15 cont	Parking Lot Planters
10	Total Additional Trees					

SHRUBS/GROUNDCOVERS/TURF						
Qty	Sym	Common Name	Botanical Name	Size	Notes	
20	CHA	Inland Sea Oats	<i>Chasmanthium latifolia</i>	#1	Rear Buffer	
14	CLE	Sweet Pepper Bush Variety	<i>Clethra alnifolia 'September Beauty'</i>	#3	Rear Buffer	
15	COR	Lanceleaf Coreopsis	<i>Coreopsis lanceolata</i>	#1	Rear Buffer	
15	ECH	Purple Coneflower	<i>Echinacea purpurea</i>	#1	Rear Buffer	
10	HES	Red Yucca	<i>Hesperaloe parviflora</i>	#5	Rear Buffer	
10	ITE	Virginia Sweetspire	<i>Itea virginica</i>	#5	Rear Buffer	
16	INK	Inkberry Holly	<i>Ilex Glabra</i>	#5	Rear Buffer	
12	JAS	Primrose Jasmine	<i>Jasminum mesnyi</i>	#5	Rear Buffer	
6	LIN	Spicebush	<i>Lindera benzoin</i>	#5	Rear Buffer	
4	MYR	Wax Myrtle	<i>Myrica cerifera</i>	#5	Rear Buffer	
20	OSM	Gulfside Holly Osmanthus	<i>Osmanthus heterophyllus 'Gulfside'</i>	#5	Rear Buffer	
20	PEN	Purple Fountain Grass	<i>Pennisetum setaceum 'Rubrum'</i>	#5	Rear Buffer	
12	SAB	Dwarf Palmetto	<i>Sabal minor</i>	#10	Rear Buffer	
174	Total Shrubs at Rear Buffer					
41	BER	Red Leaf Japanese Barberry	<i>Berberis thunbergii 'Atropurpurea'</i>	#5		
110	CAR	Bowles Golden Sedge	<i>Carex elata 'Aurea'</i>	#1		
96	COL	Seasonal Color	<i>Blooming Annuals</i>	#SP3		
35	EFO	Variegated Wintercreeper Euonymus	<i>Euonymus fortunei 'Emerald 'n Gold'</i>	#5		
58	HEM	Stella de Oro Daylily	<i>Hemerocallis 'Stella de Oro'</i>	#1		
21	HES	Red Yucca	<i>Hesperaloe parviflora</i>	#5		
34	LEU	Dwarf Texas Ranger	<i>Leucophyllum frutescens 'Compacta'</i>	#5		
210	LMS	Variegated Liriope	<i>Liriope muscari 'Sivory Sunproof'</i>	#SP4		
48	MUH	Pink Muhly Grass	<i>Muhlenbergia capillaris</i>	#1		
65	MLZ	Little Zebra Japanese Silver Grass	<i>Miscanthus sinensis 'Little Zebra'</i>	#3		
220	TRA	Asian Jasmine	<i>Trachelospermum asiaticum</i>	#SP4		
938	Total Additional Container Material					
CYN	Common Bermuda	<i>Cynodon dactylon</i>	Seeded	8440 sf		
ERO	Erosion Control Seed Mix	<i>Mixed Grass Species</i>	Seeded	4350 sf		
ZOY	Emerald Zoysia	<i>Zoysia sp. 'Emerald'</i>	Solid Sod	4350 sf		
	Ornamental Rock		4"-8" Rock Boulders	1730 sf		

Architect:
COE Architecture International
2303 Line Avenue
Shreveport, LA 71104
T 318.570.7259

Landscape Architect:
William Hartman Landscape Architecture
1031 Dudley Dr
Shreveport, LA 71104
T 318.525.7023

MEP Engineers:
John J. Guth Associates, Inc.
256 Main Street
Shreveport, LA 71101
T 318.221.8538

Civil Engineer:
Baker Associates
831 Main Street, Suite 300
Shreveport, LA 71101
T 318.221.8521

Structural Consultant:
Adel, Farnor, Jolly, and McClain, Inc.
3033 Knight Street
Shreveport, LA 71105
T 318.425.7452

REVISIONS

NO.	DESCRIPTION	DATE

SEAU SIGNATURE/DATE

N

PROJECT NUMBER:

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.

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SHEET ISSUE DATE: 06.28.24

DRAWING NAME:

LANDSCAPE PLANTING PLAN

Architect: COE Architecture International 2303 Line Avenue Shreveport, LA 71104 T. 318.570.7266

Landscape Architect: William Hartman Landscape Architecture 1031 Dudley Dr Shreveport, LA 71104 T. 318.525.3923



MEP Engineers: John J. Guth Associates, Inc. 308 Main Street Shreveport, LA 71101 T. 318.221.6838

Civil Engineer: Blair Associates 631 Main Street, Suite 300 Shreveport, LA 71101 T. 318.221.6321

Structural Consultant: Albee, Fenner, Jolly, and McClellan, Inc. 3003 Knight Street Shreveport, LA 71105 T. 318.425.7452

REVISIONS table with 5 columns: No., Description, Date, By, Check



SEALED SIGNATURE/DATE and PROJECT NUMBER field

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS.

SHEET ISSUE DATE: 06.28.24

DRAWING NAME: LANDSCAPE NOTES AND PLANTING DETAILS

L-2.1

GENERAL NOTES

- 1. These plans reflect the scope of the Landscape Architect external services. For Architectural, Civil, please refer to the appropriate consultant documents.
2. The locations of plants, as shown in these plans, are approximate. The final locations may be adjusted to accommodate unforeseen field conditions to comply with safety criteria...

GENERAL GRADING NOTES

- 1. Rough grading and site preparation shall be completed for review by Landscape Architect / or owners representative prior to final grading.
2. Grading and calculations for retention areas to be provided by Civil Engineers.
3. All graded areas shall be dragged with a drag mat or hand rake to blend in small imperfections and round off any sharp lines that may have been constructed by equipment...

GENERAL LANDSCAPE NOTES

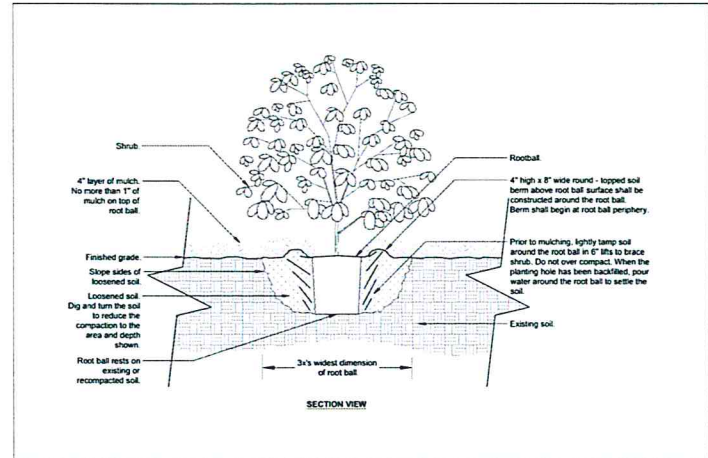
- 1. The Contractor shall be responsible for verifying all underground utilities prior to digging in any area. The contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions...
2. The contractor is responsible to ensure proper watering and maintenance of new and relocated plant materials during the one year warranty period.
3. Contractor is to report any discrepancies between the construction drawings and field conditions to the Owner's Representative immediately.
4. Landscape Contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others...
5. The Contractor shall bear all costs of testing of soils, amendments, etc. associated with the work. Prior to commencement of the landscape planting work the Contractor shall provide complete soil tests with recommendations for soil treatment in the construction area.
6. Landscape Contractor shall field stake the location of all plant material or field stake the plants prior to initiating installation for the review and approval of the Owner's representative and/or Landscape Architect. Note: No planting shall commence until there is a functional irrigation system in the area to be planted. No trees shall be planted on top of irrigation lines.
7. Landscape Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/or existing above ground elements. All changes required shall be completed at the Contractor's expense and shall be coordinated with Owner's Representative and the Landscape Architect.
8. Any substitutions in size and/or plant species must be approved by the Landscape Architect or Owner's Representative prior to modification of the contract, purchasing and delivery of plants. All plants will be subject to approval by Landscape Architect and/or Owner's Representative before planting can begin.
9. Landscape Contractor shall coordinate all planting work with permanent or temporary irrigation work. Landscape Contractor shall be responsible for all hand watering as required by Owner's Representative to supplement irrigation watering and rainfall. Landscape Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.
10. Landscape Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and deposited off-site or in an approved disposal area daily. All materials, products and equipment shall be stored in an organized fashion as directed by the Owner's Representative.
11. Guying/staking shall not permit nails, screws, wires, etc., to penetrate outer surface of any tree. Tree rejected due to this practice shall be replaced at the Contractor's expense.
12. Burlap material, wire cages, plastic straps, etc., must be cut and removed from top one-third (1/3) of root ball.
13. Trees grown in grow bags or grow bag type material are not allowed.
14. All planting materials shall meet or exceed local requirements as specified by local plant standards.
15. All landscape installations shall meet or exceed the minimum requirements as shown in appropriate municipal codes.
16. The Contractor shall be responsible for the guarantee of all plant material for a period of twelve (12) months from the date of substantial completion. Substantial completion constitutes the beginning of guarantee period.
17. Plant size specifications take precedence over container size.
18. Contractor to verify quantities and report any discrepancies to Owner's representative and/or Landscape Architect.
19. All proposed planting beds will be planted out correctly with proper spacing.

SOIL PREPARATION AND SOIL MIX

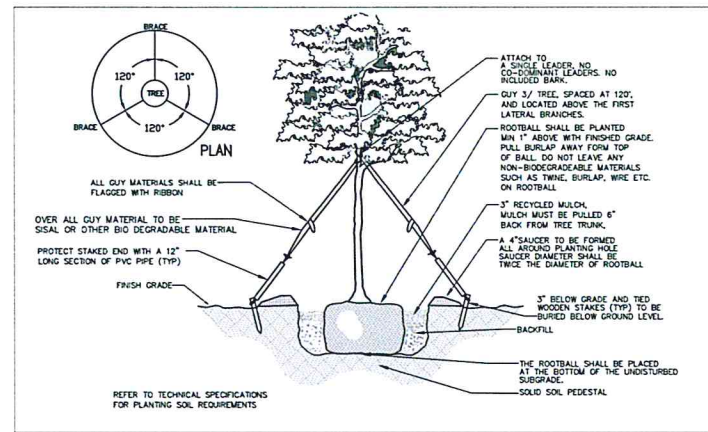
- 1. Plant holes should be dug and the sides and bottom of the hole should be stable, regardless of depth. Soil scaification is necessary if sides of the hole are compacted.
2. Contractor to apply approved pre-emergent herbicide in accordance with manufacturer's rate and specifications. Contractors to provide manufacturer's specifications for approval.
3. Planting soil mix for planters, trees, shrubs, and ground cover & grasses shall be determined by soil analysis prior to planting landscape.
4. The planting soil mix should be what comes out of the hole so the plant adapts to the surrounding/existing soil and grows into it. This is why the sides and the bottom of the planting hole should never be compacted with the digging implements. Never fertilize newly planted plants and trees. Please note that peat moss will eventually decompose and clog soil pores thereby inhibiting the plants water and oxygen consumption.
5. Topsoil shall be natural, fertile, agricultural soil capable of sustaining vigorous plant growth. It shall be of uniform composition throughout, with admixture of subsoil, it shall be free of stones, lumps, live plants and their roots, sticks, and other extraneous material. Top soil brought in should match as well as possible the existing soil texture and Ph. Planted material should never be "mounded" or raised; the soil will eventually wash away exposing the roots and it will be difficult to establish the plant material due to drought and excessive soil transpiration. All plant/tree material should be installed with the root collar exposed (approximately 1/2" to 1"). Landscape contractor should find the uppermost lateral root and plant that just below the soil surface.
6. Smooth topsoil without compaction to two inches (2") below finish grade in areas to be sodded without compaction.
7. Finish grade all topsoil areas to a smooth non-compacted, even surface assuring positive drainage away from the structures and eliminate any low areas except in retention areas where water may collect.
8. Contractor to remove debris and excess material immediately from job site while keeping in mind that heavy equipment will compact soil to the detriment of water drainage and the health of the newly installed plants. All planting areas with compacted soil will have surfaces scarified to a min. of 6" in depth.

PLANTING SPECIFICATIONS

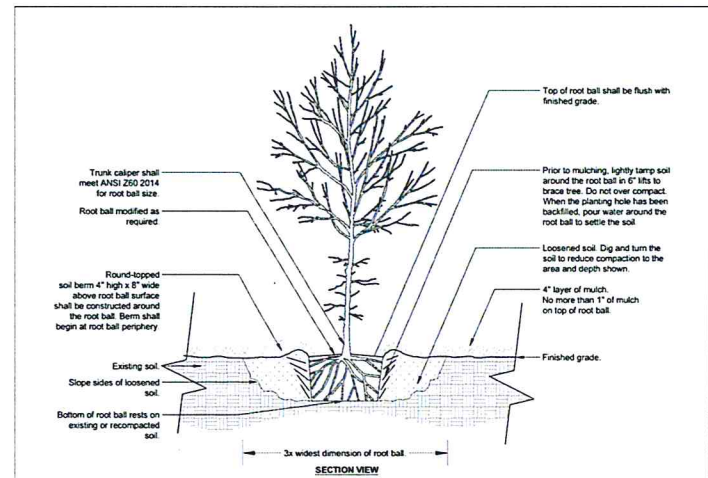
- 1. The contractor is responsible for maintaining, in full, all planting areas (including watering, spraying, mulching, mowing, fertilizing, etc.) Until the job is accepted, in full, by the owner, its representative and Landscape Architect.
2. All plant material shall be protected during transport and delivery to final location with shade cloth or other acceptable means of windburn prevention. Plant/tree material shall conform to ANSI Z60, published by American Horticulture Industry Association.
3. All trees 30 gallons or larger must be guyed or staked as shown in details.
4. When plant material is delivered onsite, it shall not be laid down for more than two hours. Plant material when stored onsite shall be placed and maintained in good condition in a vertical position. All plants held onsite shall be kept watered regularly in sufficient amounts to permit continuous and vigorous growth.
5. Installation of all plant material shall be installed in a sound, workmanlike manner and according to accepted good planting and tree relocation procedures with the quality of plant materials as hereinafter described. All elements of landscaping shall be installed so as to meet all applicable ordinances and code requirements.
6. There shall be no chains or cables used directly on trees, handle with 2" minimum width nylon straps or equal.
7. Contractor shall assure drainage and percolation of all planting pits. Prior to installation of plant material, contractor shall fill all tree pits with water before planting to assure that proper drainage and percolation is available. Correct if required to assure percolation. Contractor is responsible for replacement of all plants lost due to inadequate drainage conditions. Plant/tree material that has bark scraped off due to shipping, handling, and installation issues may be rejected upon inspection by the L.A.
8. Contractor to request inspection of project in writing. If all work is satisfactory and complete in accordance with conditions of contract documents, then the owner, its representative, and landscape architect shall declare the project substantially complete.
9. Substantial completion constitutes the beginning of guarantee period.
10. Contractor to replace rejected plant within two (2) weeks of notice.
11. Crown pruning of any trees is generally not approved by the national arborist association standards. When it is approved, it must be done in writing.



SHRUB PLANTING DETAIL SCALE: N=Not To Scale



SMALL TREE PLANTING DETAIL SCALE: N=Not To Scale



LARGE TREE PLANTING DETAIL SCALE: N=Not To Scale

EXECUTIVE DIRECTOR APPROVAL

8-20-24 Date By [Signature]

PROPERTY:
8700 block of Line Avenue, specifically:
A Tract of land consisting of a part of Lot 3, Grubbs Succn.,
Per Map S-126 OM Sec/38 (17-13) Lying W. of Line Avenue,
Less Twisted Root Commercial Subdivision,
Geo. 71336017006000, Shreveport, Caddo Parish, Louisiana

OWNER:
1931 Enterprises, LLC
Mr. Jay Mitchell
4847 Line Avenue
Shreveport, LA 71106
T 318-865-5658

APPLICANT:
COE Architecture International
Mr. Christopher W. Coe, FAIA
940 College Street
Shreveport, LA 71104
T 318-507-7266

NEW LINE AVENUE
RETAIL DEVELOPMENT
8700 BLOCK OF LINE AVENUE
SHREVEPORT, LA 71106

REVISIONS
MPC SUBMISSION - 7/9/2024



SHREVEPORT MPC
SITE PLAN APPLICATION

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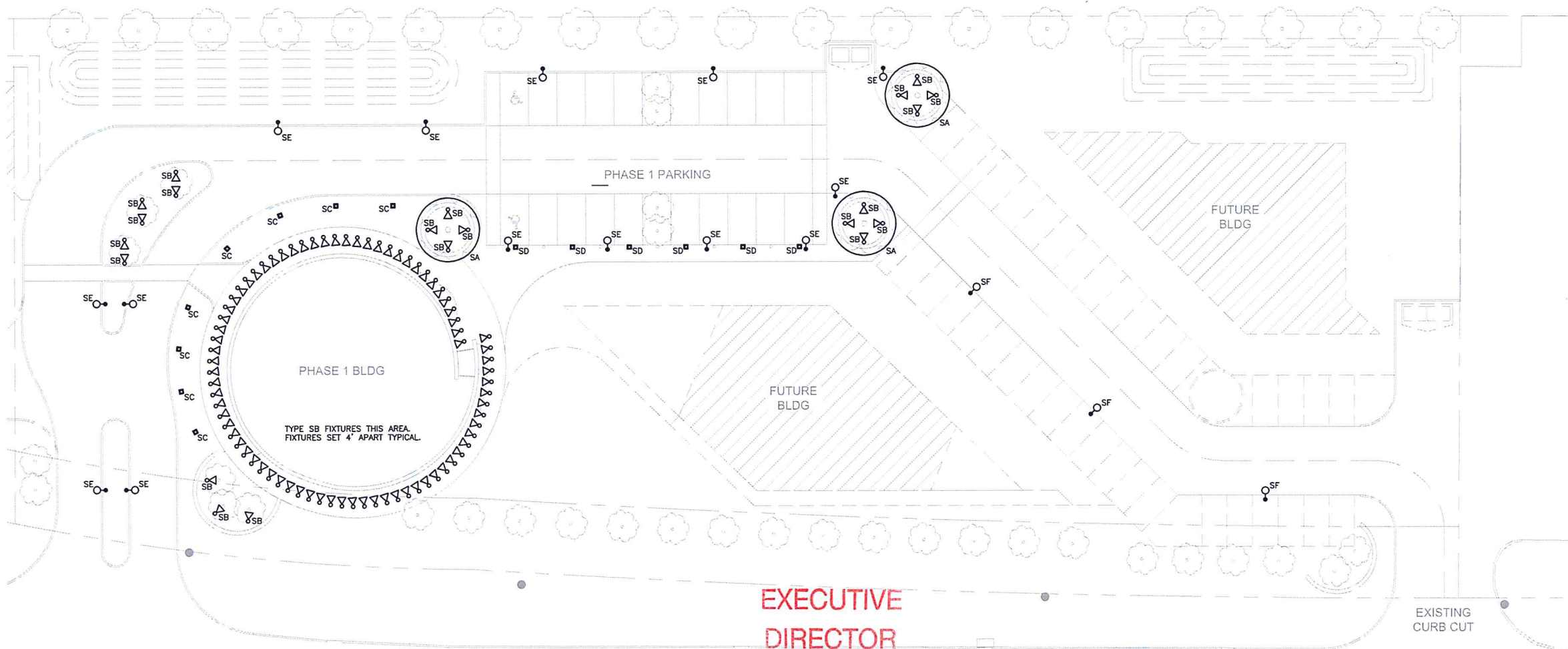
MPC SIGNATURE + DATE:

SHEET ISSUE DATE: JULY 9, 2024

DRAWING NAME:
E1.1

MARK	MANUFACTURER	CATALOG NO.	LAMP	MTG.	REMARKS
SA	ACOLYTE BL LIGHTING	RB-90-SWDR20-6.030- (8')-AS13-DRV-W-2460 ELVMVLY BLFLEXFORMD1-4000KIP65	L.E.D. 129 LUMENS PER FOOT	COVE	L.E.D. RIBBON LIGHT, 6.0W/FT, 700 LUMENS/FT, 3000K COLOR TEMPERATURE, LOW PROFILE EXTRUDED ALUMINUM SURFACE CHANNEL WITH ROUND OPAL LENS, 60W DRIVER, MOUNT IN COVE.
SB	HYREL	ASPENRFP180CRI40K12055 DEGFLOCKMSTK	L.E.D. 1007 LUMENS	SPIKE MOUNTED	ACCENT FLOOD LIGHT COMPLETE WITH ALUMINUM HOUSING, KNUCKE, ALUMINUM REFLECTOR WITH 55' DISTRIBUTION, ELECTRONIC DIMMING DRIVER, INTEGRAL HEAT SINK AND MOUNTING ACCESSORIES AS REQUIRED. LUMINAIRE SHALL BE UL LISTED FOR WET LOCATIONS.
SC	BEGA	77-263	L.E.D. 132 LUMENS	GRADE	27" BOLLARD COMPLETE WITH DIE CAST ALUMINUM HOUSING, ELECTRONIC DIMMING DRIVER, INTEGRAL HEAT SINK, SHIELDED POLYCARBONATE DIFFUSER, ANODIZED ALUMINUM REFLECTOR AND MOUNTING ACCESSORIES AS REQUIRED. LUMINAIRE SHALL BE UL LISTED FOR WET LOCATIONS.
SD	BEGA	77-221	L.E.D. 645 LUMENS	GRADE	39" BOLLARD COMPLETE WITH DIE CAST ALUMINUM HOUSING, ELECTRONIC DIMMING DRIVER, INTEGRAL HEAT SINK, SHIELDED POLYCARBONATE DIFFUSER, ANODIZED ALUMINUM REFLECTOR AND MOUNTING ACCESSORIES AS REQUIRED. LUMINAIRE SHALL BE UL LISTED FOR WET LOCATIONS.
SE	BEGA	77-520	L.E.D. 7881 LUMENS	POLE	AREA LIGHTING FIXTURE COMPLETE WITH DIE CAST ALUMINUM HOUSING, CLEAR ACRYLIC DIFFUSER, ANODIZED ALUMINUM REFLECTOR, ELECTRONIC DIMMING DRIVER, INTEGRAL HEAT SINK, 20' ROUND STEEL POLE AND MOUNTING ACCESSORIES AS REQUIRED. LUMINAIRE SHALL BE UL LISTED FOR WET LOCATIONS.
SF	AMERICAN ELECTRIC	ATBMP05MVOLTR35KHSS	L.E.D. 9366 LUMENS	POLE	AREA LIGHTING FIXTURE COMPLETE WITH DIE CAST ALUMINUM HOUSING, LED ARRAY, ELECTRONIC DRIVER, INTEGRAL HEAT SINK, 20' WOOD POLE AND MOUNTING ACCESSORIES AS REQUIRED. LUMINAIRE SHALL BE UL LISTED FOR WET LOCATIONS.

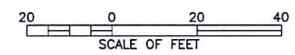
SYMBOL	DESCRIPTION
	POLE MOUNTED FLOOD LIGHTING FIXTURE
	POLE MOUNTED LIGHTING FIXTURE
	FLOOD LIGHTING
	BOLLARD - SIZE AS INDICATED



**EXECUTIVE
DIRECTOR
APPROVAL**

8-20-24
Date By

SITE PLAN 1"=20'-0"
ELECTRICAL



STATE OF LOUISIANA
J. P. FOREMAN
REG. NO. 22378
REGISTERED
PROFESSIONAL ENGINEER
ELECTRICAL ENGINEERING
7/9/2024

JOHN J. GUTH ASSOCIATES, INC.
CONSULTING MECHANICAL AND ELECTRICAL ENGINEERS
208 MELAM STREET
SHREVEPORT, LOUISIANA 71101 7235

DESIGNER: J. PATRICK FOREMAN, P.E.

CHECKED BY:
JPF

THESE DRAWINGS DO NOT INCLUDE
NECESSARY COMPONENTS FOR
CONSTRUCTION SAFETY.

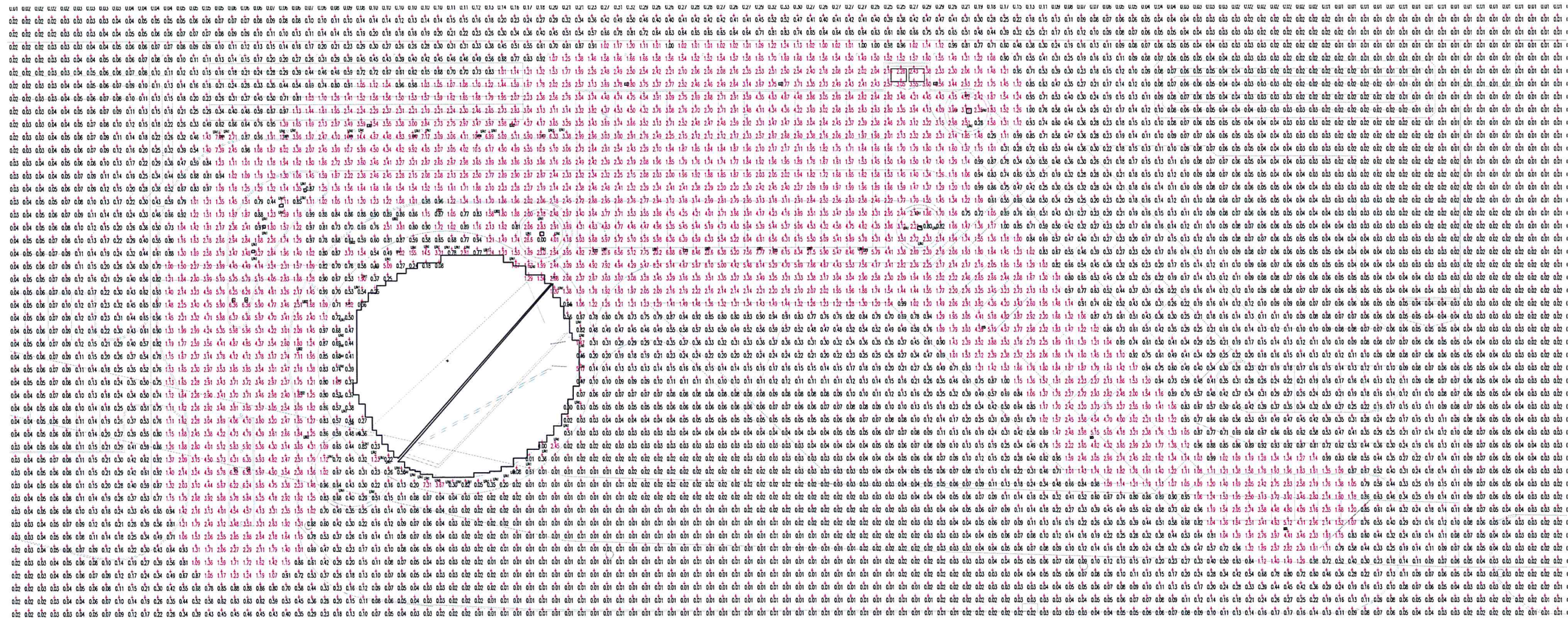
DATE DRAWING LAST PLOTTED: 07/09/24 TIME: 16:21:33
DATE DRAWING LAST SAVED: 07/09/24 TIME: 13:30:01

PROPERTY: 8700 block of Line Avenue, specifically: A Tract of land consisting of a part of Lot 3, Grubbs Succn., Per Map S-126 OM Sec/38 (17-13) Lying W. of Line Avenue, Less Twisted Root Commercial Subdivision, Geo. 71338017006000, Shreveport, Caddo Parish, Louisiana

OWNER: 1931 Enterprises, LLC Mr. Jay Mitchell 4847 Line Avenue Shreveport, LA 71106 T 318-865-5658

APPLICANT: COE Architecture International Mr. Christopher W. Coe, FAIA 940 College Street Shreveport, LA 71104 T 318-507-7266

NEW LINE AVENUE RETAIL DEVELOPMENT 8700 BLOCK OF LINE AVENUE SHREVEPORT, LA 71106



SITE PLAN PHOTOMETRIC DATA 1"=20'-0" N

EXECUTIVE DIRECTOR APPROVAL

8-10-24 Date By [Signature]

DXF file created by LitePro 2.030 on 7/8/2024 3:08:43 PM

Table with 10 columns: DIMENSIONS, GRID / TYPE, # PIS, SPAC, GROUP, AVE, MAX, MIN, MAX/MIN AVE/MIN, rev parking

Table with 6 columns: LAMP, LUMENS, MOUNTING/BALLAST, LUF, QTY. Lists lighting fixtures like BGA 77203, BGA 77221, BGA 77263.

Table with 5 columns: LUMENS / CASKS, MATS / SQ FT, QTY. Lists lighting fixtures like LA1, LA5, LB01, LB02, LFA1.

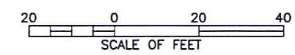


Table with 2 columns: REVISIONS, MPC SUBMISSION - 7/9/2024



SHREVEPORT MPC SITE PLAN APPLICATION

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MPC SIGNATURE + DATE:

SHEET ISSUE DATE: JULY 9, 2024

DRAWING NAME:

E1.2

Professional Engineer seal for J.P. Foreman, State of Louisiana, License No. 22378, and project information for John J. Guth Associates, Inc.

