

EXECUTIVE DIRECTOR APPROVAL

Arkansas & North Louisiana 71118 Ronald McDonald House

CLIENT CONTACT
RONALD MCDONALD HOUSE

OWP PROJECT NO. DATE OF ISSUE

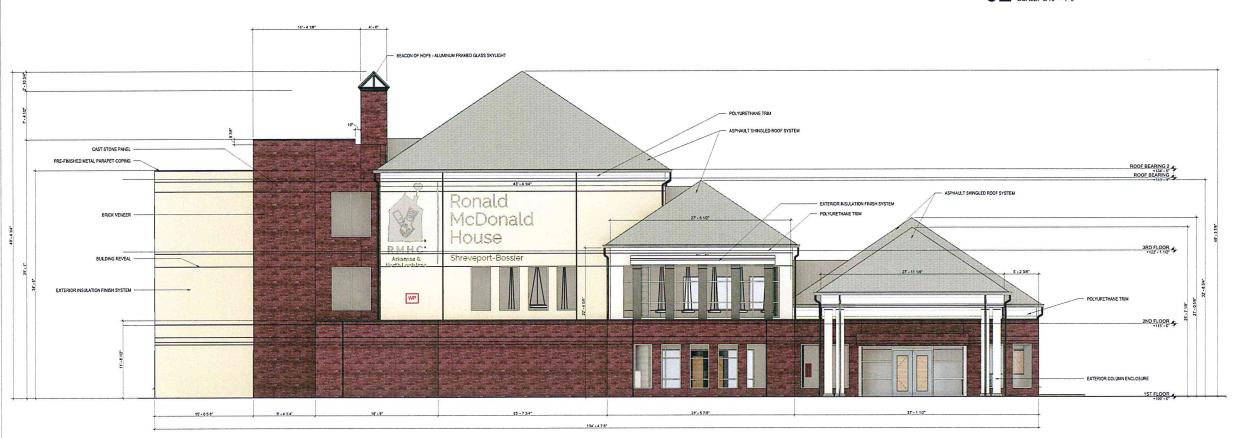
SHEET CONTENTS

EXTERIOR ELEVATIONS

E-1



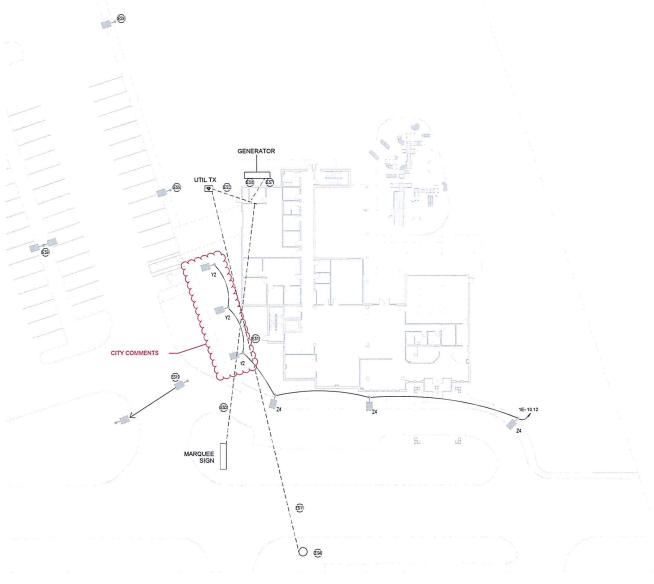
 $02 \underset{\text{scale: 3/16"}}{\text{NORTH EXTERIOR ELEVATION}}$



01 SOUTH EXTERIOR ELEVATION SCALE: 3/16" = 1'-0"

Updated "Y2" fixture

1° = 20'-0"



ELECTRICAL SITE PLAN GENERAL NOTES

CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY LOCATION, CONDUCT TEST AND INSPECTIONS, COORDINATE WITH UTILITIES, OWNER'S REPRESENTATIVES, AND CHECK FOR ALL UNDERGROUND UTILITIES AND LINES BEFORE DITCHING TAKES PLACE. CONTRACTOR AND SUBCONTRACTORS PERFORMING THESE DUTIES SHALL BE RESPONSIBLE FOR ANY REPAIRS OF CUT OR DAMAGED LINES AND UTILITIES NOT SHOWN ON PLANS.
PROVIDE SEPARATE CONTACTORS FOR INDEPENDENT CONTROL OF EXTERIOR LIGHTING GROUPS PER LIGHTING CONTROL DETAIL.

ELECTRICAL SITE PLAN NOTES

- PROVIDE AND RUN UNDERGROUND TWO 6" CONDUITS FROM UTILITY TRANSFORMER TO ELECTRICAL SERVICE AT THE STREET. PROPOSED LOCATION IS SHOWN. VERIFY AND COORDINATE EXACT LOCATION AND ROUTING WITH UTILITY PROVIDER.
- PROVIDE AND ROUTE UNDERGROUND SERVICE CONDUCTORS FROM UTILITY TRANSFORMER LOAD SIDE TO ELECTRICAL SERVICE DISCONNECT(S). REFER TO RISER DIAGRAM FOR MORE INFORMATION. ES2
- PROVIDE AND RUN UNDERGROUND TWO 2" CONDUIT FROM ELECTRICAL ROOM TO MARQUEE/SIGN FOR POWER AND LIGHTS, CAP AND MARK CONDUIT.
- ES4 EXISTING 3PH UTILITY POWER POLE AT THIS APPROXIMATE LOCATION.
- PROVIDE AND ROUTE UNDERGROUND GENERATOR CONDUCTORS FROM GENERATOR TO ELECTRICAL ATS. REFER TO RISER DIAGRAM FOR MORE INFORMATION.
- PROVIDE NEW GENERATOR AT THIS APPROXIMATE LOCATION, REFER TO GENERATOR DETAIL FOR MORE INFORMATION. ES8
- ES9 EXISTING PARKING LOT LIGHTING TO REMAIN IN PLACE.
- ES11 BORE UNDER ROAD OR SAW CUT AS REQUIRED.

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903 spring st





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onald McDonald Hous Ronald McDonald F Shreveport-Bossier

CLIENT CONTACT RONALD MCDONALD HOUSE

OWP PROJECT NO. DATE OF ISSUE 2023_064 01.24.2024

REVISIONS

ELECTRICAL SITE PLAN

ES1.1

AGENCY NO.

Lexas Irim Registration No. F-931

DESIGN SOLVE ENHANCE www.EMAengineer.com

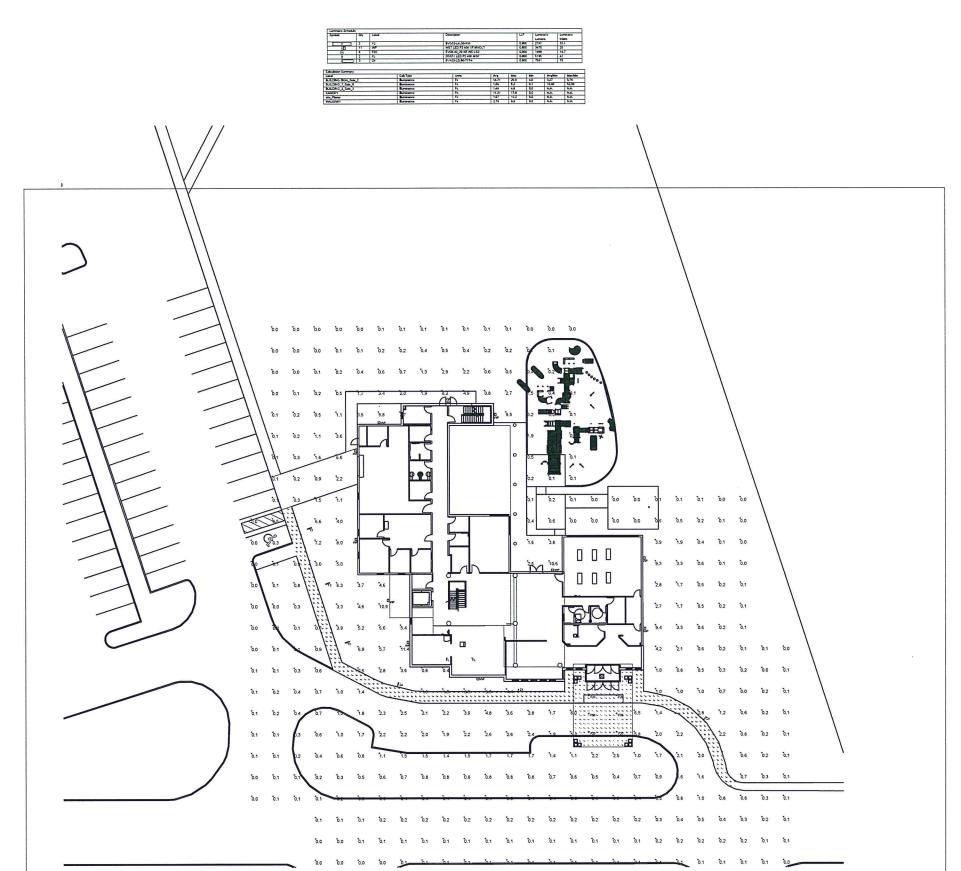
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CONTRACTOR NAS VISITED THE SITE AND NAS VERIFIED ALL EXISTING JOB

CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING

AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND

1/16" = 1'-0"



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EMA Engineering & Consulting, Inc.
Tyler | Austin | Houston | EI Paso
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EXECUTIVE

DIRECTOR APPROVAL

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CLIENT CONTACT RONALD MCDONALD HOUSE

Ronald McDonald House Shreveport-Bossier

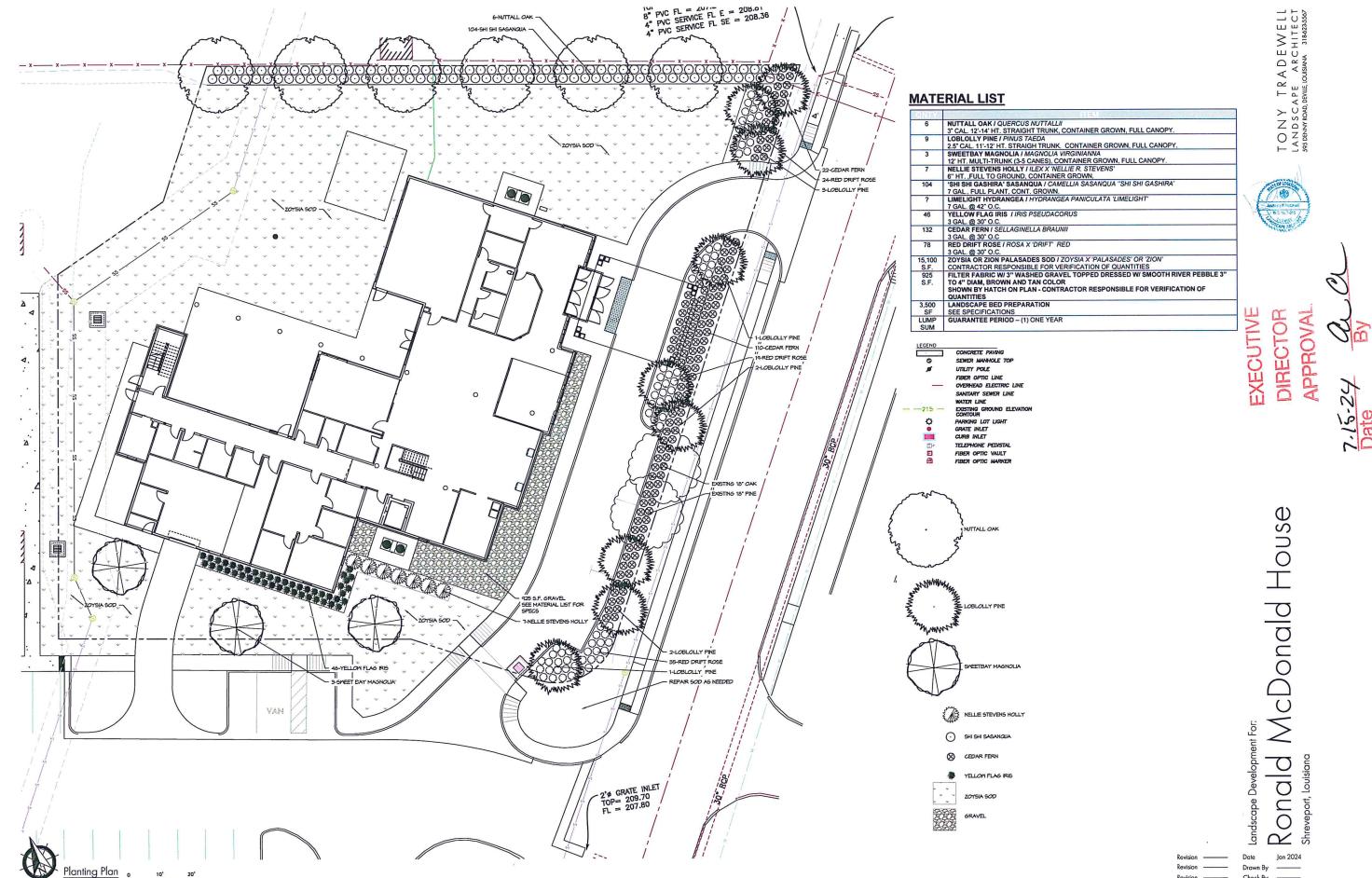
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 DATE OF ISSUE

 2023_064
 01.24.2024

REVISIONS

SHEET CONTENTS
PHOTOMETRIC SITE PLAN

EL9.1 AGENCY NO.



Scale - 1"-10'-0"

Check By -Revision — Sheet # L - 1

PLANTING NOTES

- TOPSOIL. Topsoil shall be fertile, friable soil obtained from well drained arable land. It shall be free draining, non-toxic and capable of sustaining healthy plant growth. Topsoil shall be reasonably free of calcium carbonate, subsoil, refuse, roots, and other deleterious substances. The contractor shall furnish a written soil analysis prepared by an accredited soil analysist. The analysis shall indicate pH, total soluble salts, and plasticity index and particle size gradation.
 SAND. Sand shall be loose, granular soil containing particles smaller than gravel but coarser than silt. Sandy soil shall obtain a minimum of 90% sand and no greater than 5% clay.
- Coarser than 9ff. Sandy 90ff shall obtain a minimum of 10.00 said at the ground than 5% clay.

 3. PEAT MOSS. Peat moss shall be imported Canadian sphagnum peat moss, brown, low in content of woody material and free of any mineral matter harmful to plant life. Peat moss shall have an acid rating of approximately 4.5 pH and have a water absorbing capacity of 1100 to 1200 % by weight. Peat moss shall be thoroughly pulverized before use except when used as a top-dressing. No native or sedge peats shall be approximately approximately approximately approximately service and the approximately service and the service of t
- pulverized before use except when used as a top-dressing. No native or sedge peats shall be approved.

 4. ORGANIC SOIL CONDITIONER. Organic soil conditioner shall be partially decomposed ground pine bark. Saudust will not be accepted. Particle size and surface area shall be such as to resist displacement by wind or by surface storm water or irrigation runoff for two growing seasons.

 5. COMMERCIAL FERTILIZER. Fertilizer shall be a complete, slow release, 6-12-6 fertilizer or approved alternate delivered in original unopened containers bearing the manufacturer's guaranteed analysis.

 6. HERBICIDE. Snapshot brand pre-emergent herbicide manufactured by Dow Agra or approved equal, applied at manufacturer's recommendations

 7. TOPRESSING. Topdressing shall be pine straw mulch of sufficient character to resist displacement by wind or storm water or by irrigation runoff. Pine straw shall be applied at a min. depth of 3" and spread evenly over the entire bed area to retain moisture and protect root systems.

 8. PLANTING MIX. The Planting Mix for all bed areas and pits shall consist of:

- ☐ 1 CY Organic Soil Conditioner per 50 SF of bed area☐ 1 3.8 CF Bale of Peat Moss per 50 SF of bed area☐
- ☐ Sandy Topsoli may be added to be planting mix if the existing soil is of poor ☐ quality. The Landscape Architect will make this determination prior to the
- $\hfill \square$ Sandy Topsoil may also be required to raise certain areas of the bed up to grade.
- $\hfill \square$ Commercial Fertilizer and Pre-emergent Herbicide per manufacturer's $\hfill \square$ recommendations.

GENERAL NOTES

- 1. Contractor shall coordinate with Louisiana one-call, the location of all underground utilities, prior to beginning work. Any disruption of underground utilities shall be repaired at no expense to Owner or the Landscape Architect.

 2. Contractor shall be responsible for positive drainage of all newly built bed and lawn areas and shall turtle-back or slope bed areas as directed or noted on plans and/or details. Contractor shall also provide drainage corridors through new bed areas as needed to promote positive drainage of adjacent areas. Coordinate with Landscape Architect.

 3. Landscape Architect will act to the provide of the contractor of the cont
- Architect.

 3. Landscape Architect will not be responsible for drainage of site components that are not within the design scope of work le. existing paved areas.

 4. Contractor will be responsible for damage to existing landscape and hardscape as a result of his work. Repairs shall be made at no expense to the Owner or Landscape Architect.

- a result of his work. Repairs shall be made at no expense to the Owner or Landscape Architect.

 5. Written quantities shall take precedence over drawn quantities.

 6. Contractor to submit price with unit costs for each item on the material list.

 7. Contractor shall coordinate all activities with General Contractor and irrigation Contractor.

 8. All tree locations and bed lines shall be flagged by Landscape Contractor for approval by the Landscape Architect, prior to proceeding, Upon completion of beds, all shrubs shall be placed in containers for approval by Landscape Architect.

 9. In locations where bed edges meet lawn areas, a maintenance trench shall be constructed. See Detail.

 10. All pit planted trees or shrubs shall have a 3'-0' wide muiched saucer.

 11. Care shall be taken so as not to disturb root structure of any existing trees with trenching or fill.

- trenching or fill.

 12. Landscape Contractor shall guarantee all new plant material for a period of one (1) year, beginning at the date of substantial completion.

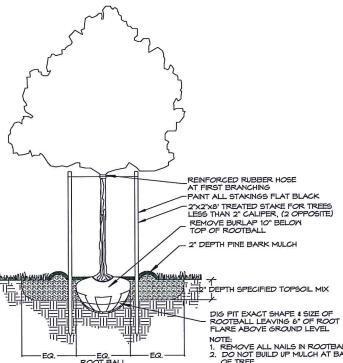
 13. Landscape Contractor shall report any plan discrepancies to Landscape Architect for clarification prior to proceeding. Written dimensions take precedence over

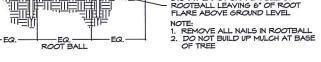
- scaled dimensions.

 14. Material may be stored on site in designated areas approved by Owner and Landscape Architect. Security and protection of materials from damage and theft is the responsibility of the Landscape Contractor.

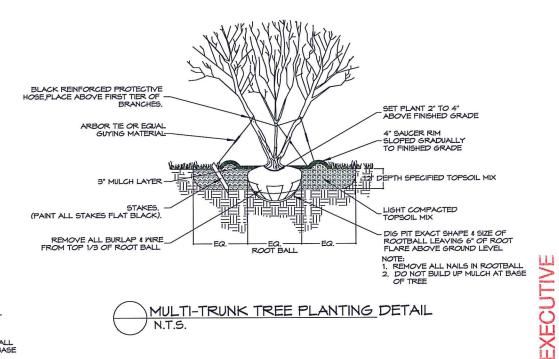
 15. Confer with the Owner as to the installation of cypress (all bark) or pine straw mulch.

 16. Existing soil conditions may require excavation to a minimum depth of 6° to possibly 9°. Exact depth to be determined on site w/ Landscape Architect. New soil mix shall be added and built up and additional 3-4° to account for compaction and ald drainage.

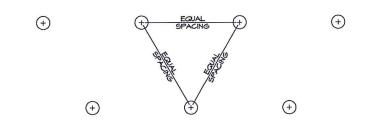




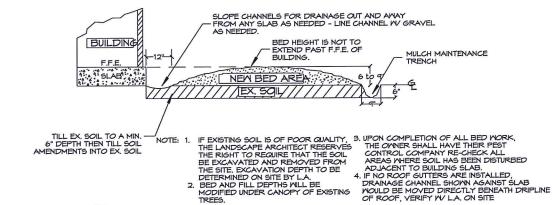
MULTI-TRUNK TREE PLANTING DETAIL



MULTI-TRUNK TREE PLANTING DETAIL



TYPICAL GROUNDCOVER LAYOUT



BED / MAINTENANCE TRENCH DETAIL

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MULCH MAINTENANCE TRENCH

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Planting Details

Date Jan 2024 Drawn By Check By Sheet # L-2

SHRUB PLANTING DETAIL DRIVE FLUSH W GRADE. ARBOR TIE OR EQUAL GUYING MATERIAL

NOTE: STAKES TO BE SPACED EUQALLY AT 120° AROUND TREE 2 GUYING MATERIAL ON UPHILL SIDE. (PAINT ALL STAKES FLAT BLACK)

SAUCER RIM 3" ABOVE FINISHED GRADE. SLOPE GRADUALLY TO FINISHED GRADE,

GROUNDCOVER AND PERENNIAL BEDS TO RECIEVE 1"DEPTH TOPDRESSING PREPARED PLANTING MIX AS SPECIFIED

SET PLANT 2" ABOVE FINISHED GRADE

REMOVE BURLAP OR TIES FROM B&B SHRUBS AND TREES

UNDISTURBED EARTH

LIGHTLY COMPACTED TOPSOIL MIX

3" MULCH IN PLANTING BED

TREE STAKING PLAN

THE WAY

