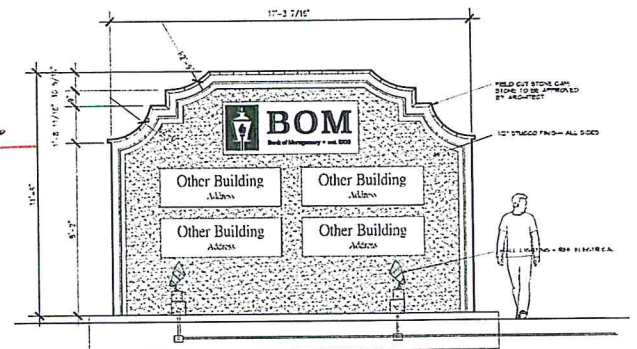
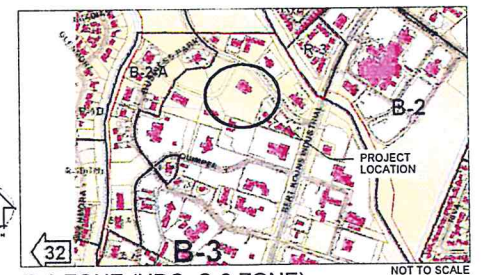


**EXECUTIVE
DIRECTOR
APPROVAL**

3/7/18
Date By *myj*



MONUMENT SIGNAGE ELEVATION
SCALE: 1/4" = 1'-0"



B-3 ZONE (UDC: C-3 ZONE)
EXISTING SITE IS ZONED B-3. THE NEW TENANT ZONING WILL ALSO BE B-3.

DIVISION 5 - B-3 COMMUNITY BUSINESS DISTRICTS
Sec. 106-876 - Generally.

The B-3 districts are composed of land and structures used to furnish, in addition to the retail goods and services found in neighborhood business districts, such less frequently needed goods as clothing and automobiles and such less frequently needed services as banking and theaters—the wider range of retail goods and services to satisfy all the household and personal needs of the residents of a group or community of neighborhoods. Usually located on a thoroughfare or near the intersection of two thoroughfares, these districts are large and are within convenient driving distance of the group of neighborhoods they will serve. The district regulations are designed to permit the development of the districts for their purpose in an open, spacious arrangement by requiring certain minimum yard and area standards to be met, standards that are comparable to those called for in residence districts. To protect the abutting and surrounding residential areas certain restrictions are placed on uses. It is intended that additional community business districts will be created in accordance with the amendment procedure set forth herein, as they are needed to serve groups of new neighborhoods. To ensure that such districts are actually developed to supply the business needs of the groups of neighborhoods, the amendment creating the district may set a time limit for its development.

(Ord. No. 184, 1957, § IIC.3, 1-14-58)



UDC: C-3 ZONE
SITE IS ZONED C-3 W/ THE UDC. THE NEW TENANT ZONING WILL ALSO BE C-3.

CITY OF SHREVEPORT UNIFIED DEVELOPMENT CODE

DIVISION 4

Sec. 4.3: Commercial Districts
A. Purpose Statements
3. C-3 General Commercial Zoning District

The purpose of the C-3 General Commercial Zoning District is to accommodate regional commercial centers. The C-3 District provides for medium- and large-scale development that may generate a sizeable amount of traffic and typically requires significant off-street parking. Higher density residential uses are also allowed to facilitate mixed-use development where appropriate.

WESLA FEDERAL CREDIT UNION
8650 FERN AVE.
SHREVEPORT, LA 71105
C-3 ZONE

All driveways and parking areas to be concrete or asphalt.

LEGAL DESCRIPTION:

1. EXISTING WALL CENTER LOT
2. PHASE II LOT (BANK AND TENANT SPACE)
3. PHASE III LOT (ADDITIONAL PARKING & FUTURE)
4. LOT ?? (RETENTION POND)

FINAL LEGAL DESCRIPTION TO BE PROVIDED BY CIVIL ENGINEER.

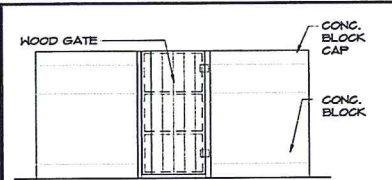
OWNER:
WALL INVESTORS, LLC
1400 East Bert Kouns, Suite 106
Shreveport, LA 71105

Date: _____
MPC Executive Director Signature: _____

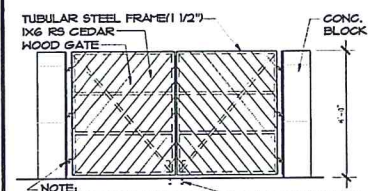
SITE PLAN

BUSINESS PARK PLAZA
TRACT 7-1, LOT 3
GROSS ACRES: 2.785 ACRES
SHREVEPORT
CADDO PARISH
LOUISIANA
SURVEY / ABSTRACT NAME: _____

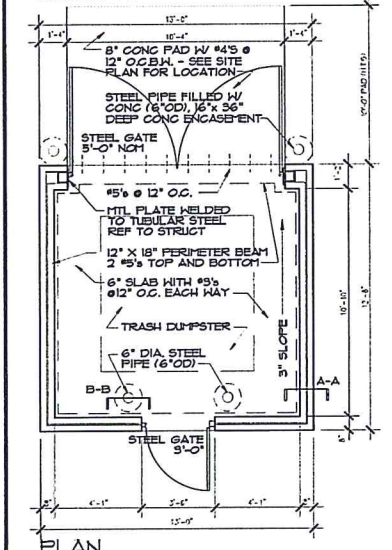
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01 of ?? Shts
8/28/17



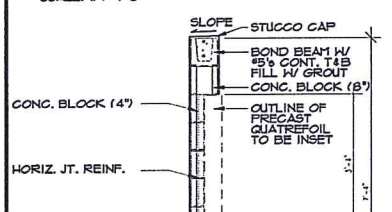
BACK ELEVATION
SCALE: 1/4" = 1'-0"



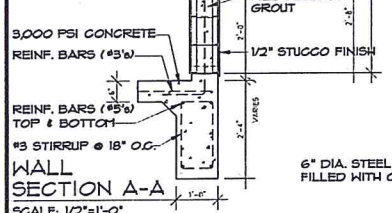
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



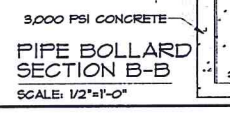
PLAN
SCALE: 1/4" = 1'-0"



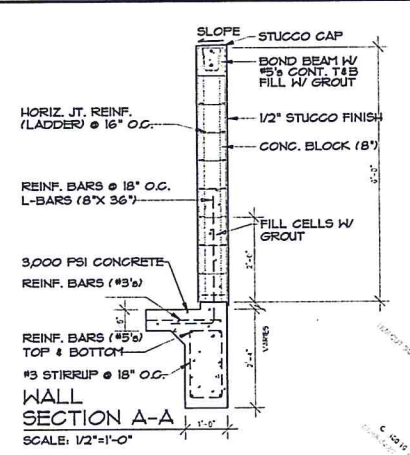
WALL SECTION A-A
SCALE: 1/2" = 1'-0"



WALL SECTION A-A
SCALE: 1/2" = 1'-0"



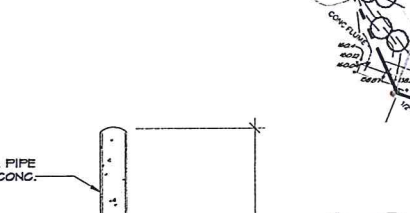
PIPE BOLLARD SECTION B-B
SCALE: 1/2" = 1'-0"



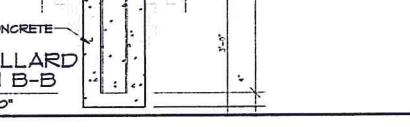
WALL SECTION A-A
SCALE: 1/2" = 1'-0"



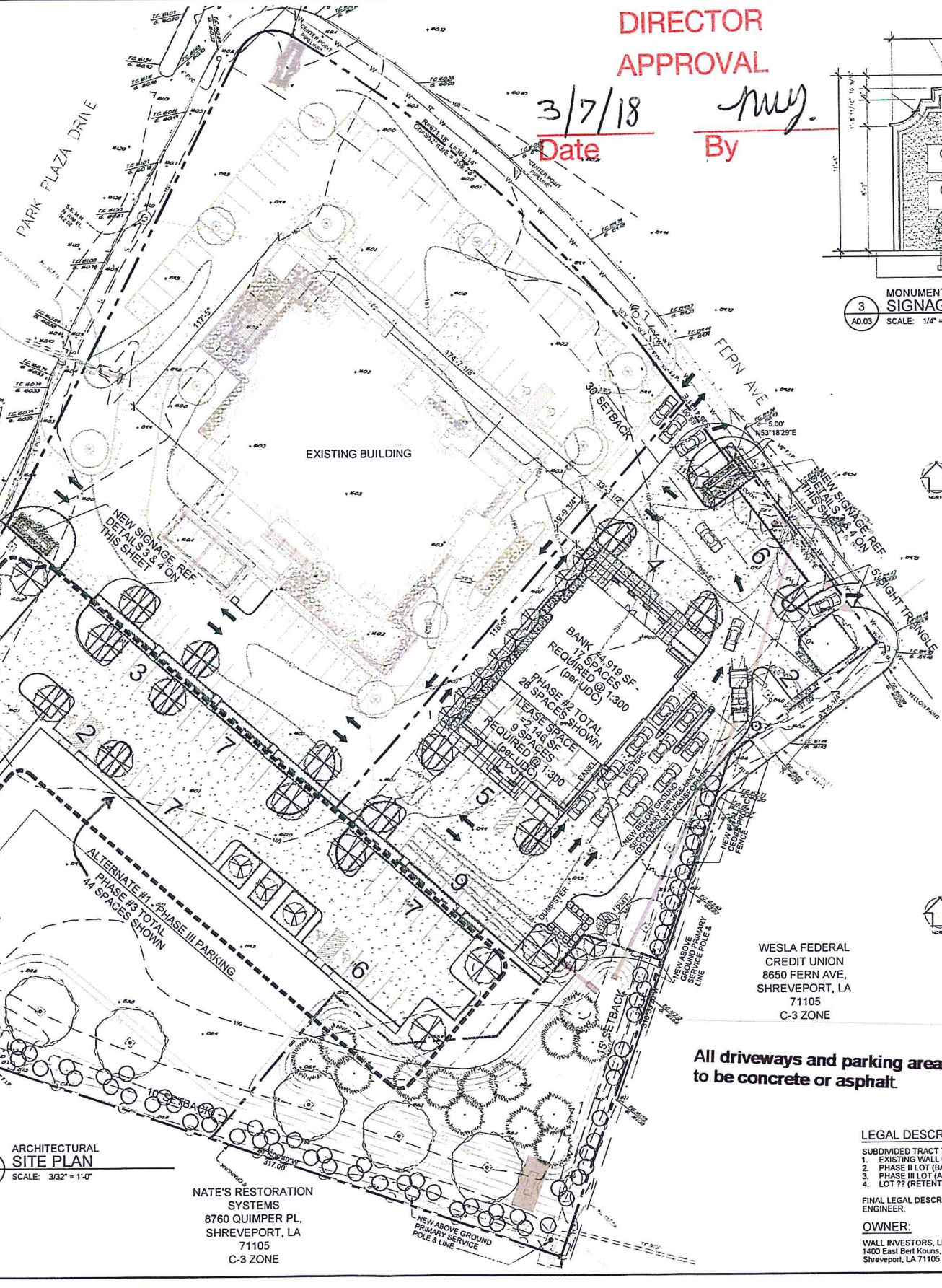
WALL SECTION A-A
SCALE: 1/2" = 1'-0"



WALL SECTION A-A
SCALE: 1/2" = 1'-0"



WALL SECTION A-A
SCALE: 1/2" = 1'-0"



ARCHITECTURAL SITE PLAN
SCALE: 3/32" = 1'-0"

NATE'S RESTORATION SYSTEMS
8760 QUIMPER PL.
SHREVEPORT, LA 71105
C-3 ZONE

HOLIDAY INN EXPRESS
8751 PARK PLAZA,
SHREVEPORT, LA 71105
C-3 ZONE

BANK
4,919 SF
REQUIRED @ 1:300
LEASE SPACE
28 SPACES SHOWN
REQUIRED @ 1:300
LEASE SPACE
9,246 SF
REQUIRED @ 1:300

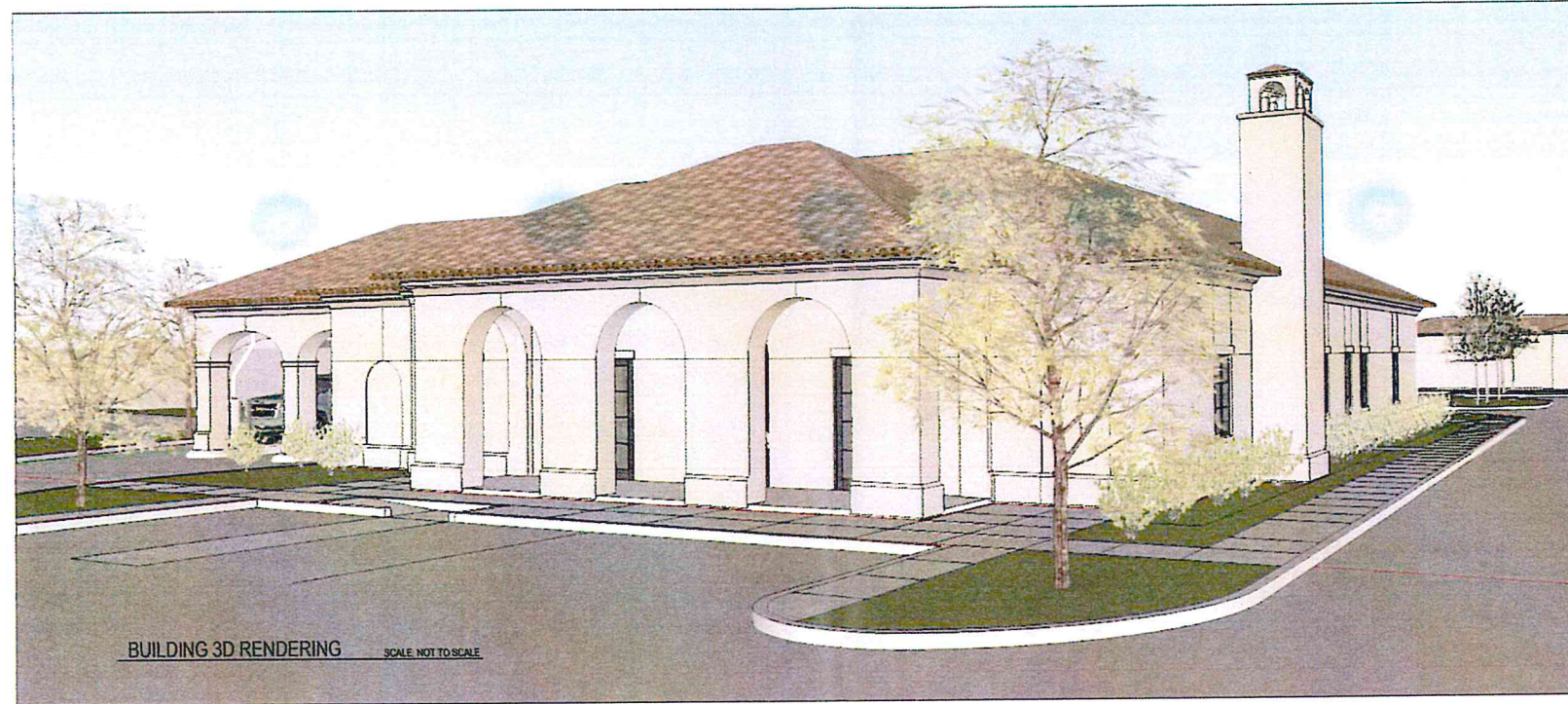
ALTERNATE PHASE II - PHASE III PARKING
PHASE II TOTAL
14 SPACES SHOWN

EXISTING BUILDING

PARK PLAZA DRIVE

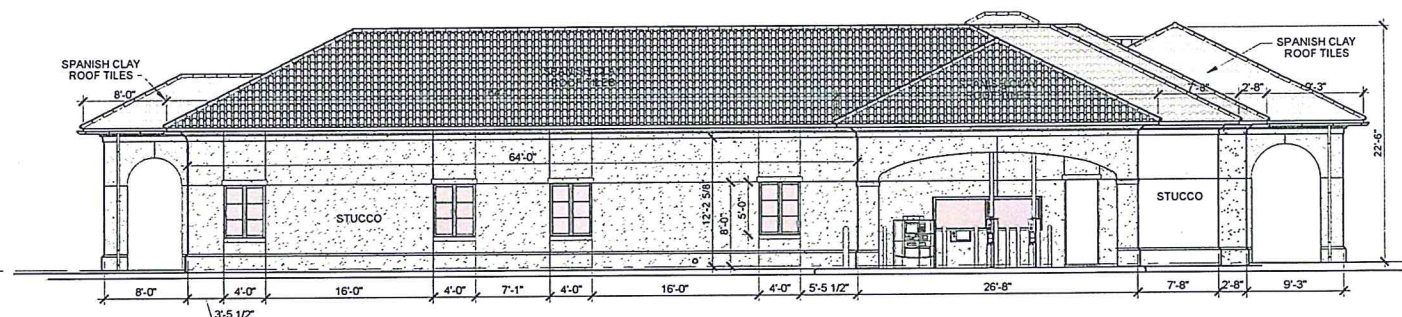
FERN AVE

3/7/18
Date By *myj*

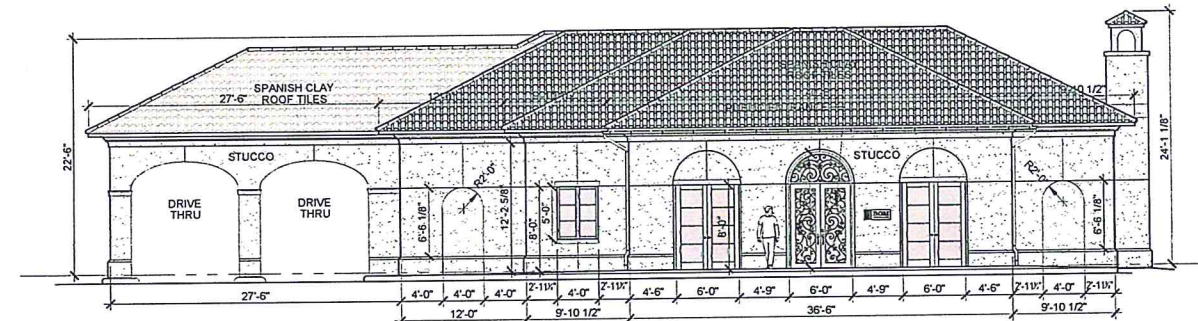


EXECUTIVE
DIRECTOR
APPROVAL

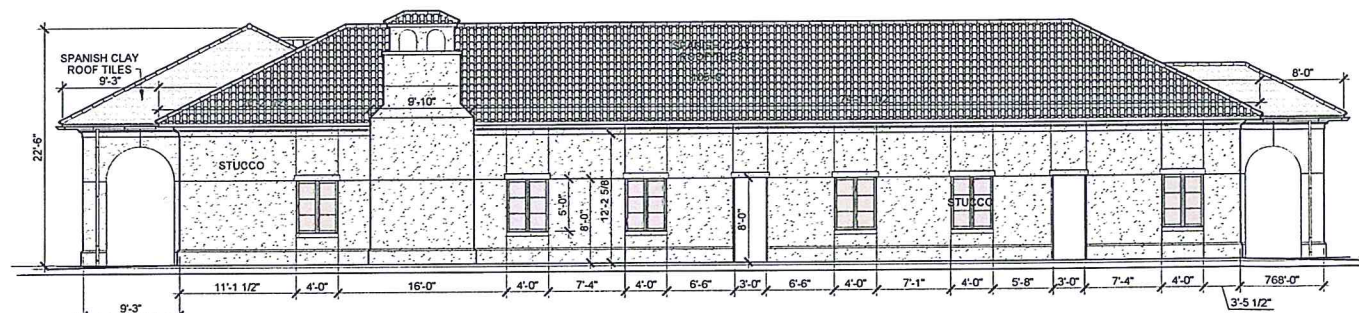
3/7/18
Date By *MJ*



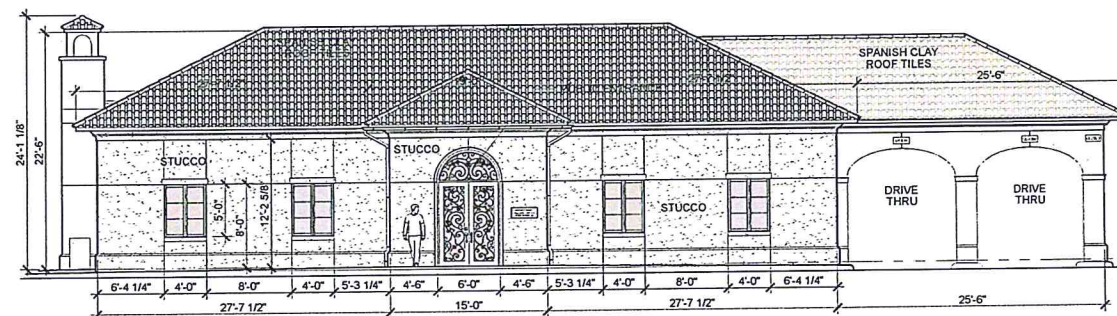
1 WEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0" FACES RIGHT-OF-WAY



3 EAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



4 SOUTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

LEGAL DESCRIPTION:

- 1. EXISTING WALL CENTER LOT
- 2. PHASE II LOT (BANK AND TENANT SPACE)
- 3. PHASE III LOT (ADDITIONAL PARKING & FUTURE)
- 4. LOT ?? (RETENTION POND)

FINAL LEGAL DESCRIPTION TO BE PROVIDED BY CIVIL ENGINEER.

OWNER:

WALL INVESTORS, LLC
1400 East Bert Kouns, Suite 106
Shreveport, LA 71105

Date:

MPC Executive Director Signature:

SITE PLAN

BUSINESS PARK PLAZA

TRACT 7-1, LOT 3

GROSS ACREAGE: 2.786 ACRES

SHREVEPORT

CADDO PARISH

LOUISIANA

SURVEY / ABSTRACT NAME:

Sheet:

A1.0

01 of ?? Shts

8/28/17

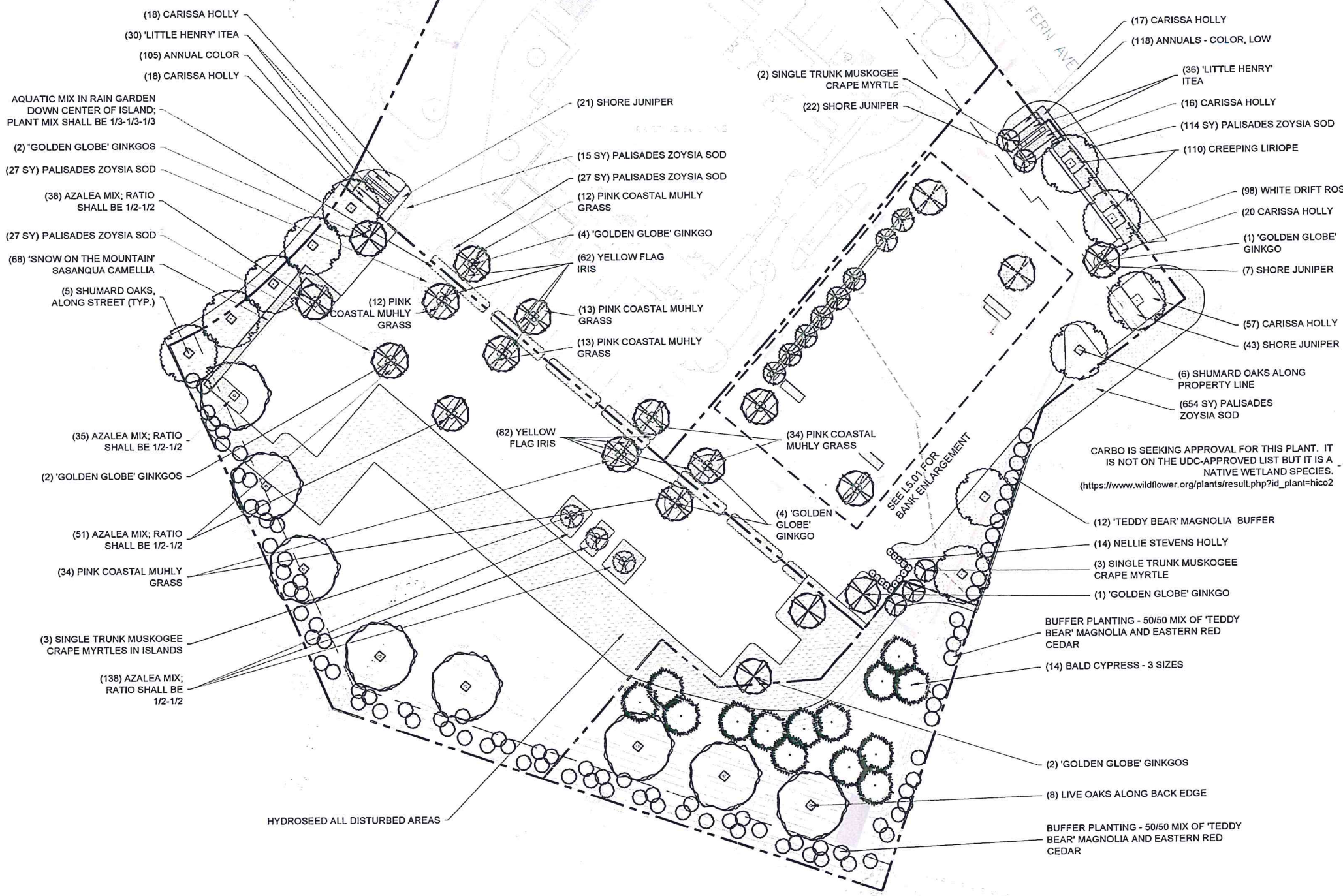


**EXECUTIVE
DIRECTOR
APPROVAL**

3/7/18 Date By Myg.

PLANT LIST

TREES	
8	LIVE OAK / <i>Quercus virginiana</i> 5'-10" HT. 1 1/2" - 2" CAL. SPECIMEN QUALITY, CONTAINER GROWN
11	SHUMARD OAK / <i>Quercus shumardii</i> 12" HT. 5" CAL. SPECIMEN QUALITY, CONTAINER GROWN, MATCHING
4	BALD CYPRESS / <i>Taxodium distichum</i> 12" HT. 2 1/2" CALIPER, CONTAINER GROWN
5	BALD CYPRESS / <i>Taxodium distichum</i> 18" HT. 2" CALIPER, CONTAINER GROWN
3	BALD CYPRESS / <i>Taxodium distichum</i> 6" HT. 1 1/2" CALIPER, CONTAINER GROWN
20	GOLDEN GLOBE GINKGO / <i>Ginkgo biloba 'Princeton Sentry'</i> 10" HT. 2" CAL. SPECIMEN QUALITY, CONTAINER GROWN, MATCHING
40	EASTERN RED CEDAR / <i>Juniperus virginiana</i> 6" HT., FULL TO GROUND, CONTAINER GROWN
52	TEDDY BEAR MAGNOLIA / <i>Magnolia grandiflora 'teddy bear'</i> 10" HT., FULL TO GROUND, SPECIMEN QUALITY
24	MUSKOGEE CREEP MYRTLE / <i>Lagerstroemia x 'Muskogee'</i> 10" HT., 2" CALIPER, SINGLE TRUNK, SPECIMEN QUALITY, MATCHING
14	NELLIE STEVENS HOLLY / <i>Ilex x 'Nellie Stevens'</i> 6" HT., FULL TO GROUND, SPECIMEN QUALITY
SHRUBS / GROUNDCOVERS	
73	AQUATIC MIX 3 - DWARF PALMETTO / <i>Sabal minor</i> 3 GAL. @ 30" O.C.
73	AQUATIC MIX 2 - TEXAS STAR Hibiscus / <i>Hibiscus coccineus</i> 1 GAL. @ 36" O.C.
103	AQUATIC MIX 3 - BLUE ARROWS JUNCUS / <i>Juncea inflexa 'Blue Arrows'</i> 3 GAL. @ 30" O.C.
48	SNOW ON THE MOUNTAIN SASANQUA CAMELLIA / <i>Camellia sasanqua 'Snow on the Mountain'</i> 7 GAL. 24" MIN. HT., FULL PLANT. @ 36" O.C.
52	DWARF PINK SASANQUA CAMELLIA / <i>Camellia sasanqua 'Sh-Shi Goshin' Dwarf SP.</i> 7 GAL. 24" MIN. HT., FULL PLANT. @ 36" O.C.
87	YELLOW BUTTERFLY IRIS / <i>Iris bicolor</i> 1 GAL. FULL PLANT. @ 24" O.C.
176	CARISSA HOLLY / <i>Ilex cornuta 'Carissa'</i> 3 GAL. FULL PLANT. @ 30" O.C.
144	YELLOW FLAG IRIS / <i>Iris pseudacorus</i> 1 GAL. FULL PLANT. @ 24" O.C.
46	LITTLE HENRY SWEETSPINE / <i>Itea virginica 'Little Henry'</i> 3 GAL. FULL PLANT. @ 30" O.C.
72	BLUE ARROWS JUNCUS / <i>Juncea inflexa 'Blue Arrows'</i> 1 GAL. @ 24" O.C.
93	SHORE JUNIPER / <i>Juniperus conferta 'Blue Pacific'</i> 1 GAL. FULL PLANT. @ 30" O.C.
110	CREEPING LIRIOPE / <i>Liriope spicata</i> 4" CLIP @ 15" O.C.
118	PINK COASTAL MUHLY GRASS / <i>Aluhimbergia capillaris 'Pink'</i> 1 GAL. FULL PLANT. @ 36" O.C.
98	WHITE DRIFT ROSE / <i>Rosa 'Metzlerland'</i> 3 GAL. FULL PLANT. @ 30" O.C.
172	AZALEA MIX 1 - AUTUMN ANGEL ENCORE AZALEA / <i>Rhododendron 'Robles' PP15217</i> 3 GAL. FULL PLANT. @ 30" O.C.
124	AZALEA MIX 2 - AUTUMN CHIFFON ENCORE AZALEA / <i>Rhododendron 'Robles' PP15862</i> 3 GAL. FULL PLANT. @ 30" O.C.
	ANNUAL COLOR LOW 5' CLIPS @ 12" O.C. Selection by owner and L.A.
SOD/METAL EDGING/BED PREPARATION	
475 ST	PALISADES ZOYSIA SOD / <i>Zoysia japonica 'Palisades'</i> CONTRACTOR RESPONSIBLE FOR VERIFICATION OF QUANTITIES
9343 SP	FULL BED PREP CONTRACTOR RESPONSIBLE FOR VERIFICATION OF QUANTITIES
770 LF	METAL EDGING - 3/16" x 4" BROWN POLYMER OR DURALDGE OR APPROVED EQUAL CONTRACTOR RESPONSIBLE FOR VERIFICATION OF QUANTITIES, CONTRACTOR TO SUBMIT SAMPLE FOR L.A. & OWNER APPROVAL.



LANDSCAPE
SITE PLAN
SCALE: 1" = 30'-0"



CARBO LANDSCAPE ARCHITECTURE
200 LAUREL ST. SUITE 100
BATON ROUGE, LA 70801
225 302 7452

LEGAL DESCRIPTION:

- SUBDIVIDED TRACT 7-1 & LOT 3 into (4) Lots:
- 1. EXISTING WALL CENTER LOT
- 2. PHASE II LOT (BANK AND TENANT SPACE)
- 3. PHASE III LOT (ADDITIONAL PARKING & FUTURE)
- 4. LOT ?? (RETENTION POND)

FINAL LEGAL DESCRIPTION TO BE PROVIDED BY CIVIL ENGINEER.

OWNER:
WALL INVESTORS, LLC
1400 East Bert Kouns, Suite 106
Shreveport, LA 71105

SITE PLAN	
BUSINESS PARK PLAZA TRACT 7-1, LOT 3 GROSS ACREAGE: 2.786 ACRES	Sheet: 01 01 of ?? Shls
SHREVEPORT CADDO PARISH LOUISIANA	9/18/17
SURVEY / ABSTRACT NAME:	

RECEIVED

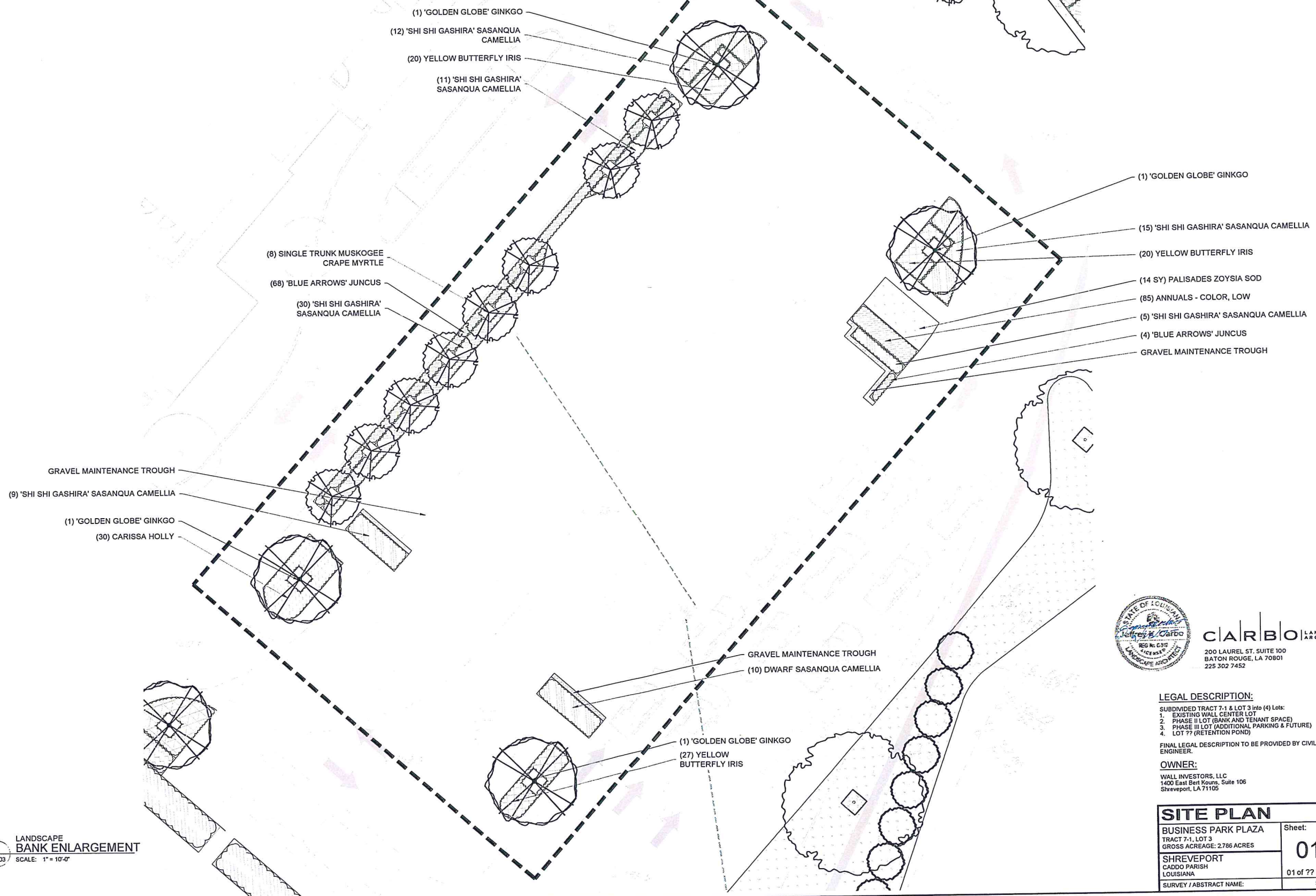
MAR 06 2018

METROPOLITAN PLANNING
COMMISSION

Printed On: Tuesday, March 06, 2018 8:10:08 AM. Plotted By: ZACHARY BROUSSARD
File Location: C:\Users\zbroussard\Dropbox\Project Plans\Commercial\Wall - Bank Of Montgomery\CADD\CSheets\LS.0 - Landscape.dwg

Plotted On: Tuesday, March 06, 2018 9:10:12 AM. Plotted By: ZACHARY BROUSSARD
 File Location: C:\Users\broussard\OneDrive\Projects\BusinessPark\Bank Of Montgomery\CAD\CD\Sheets\LS.0 - Landscape.dwg


LANDSCAPE BANK ENLARGEMENT
 2 A0.03 SCALE: 1" = 10'-0"



CARBO LANDSCAPE ARCHITECTURE
 200 LAUREL ST. SUITE 100
 BATON ROUGE, LA 70801
 225 302 7452

LEGAL DESCRIPTION:
 SUBDIVIDED TRACT 7-1 & LOT 3 into (4) Lots:
 1. EXISTING WALL CENTER LOT
 2. PHASE II LOT (BANK AND TENANT SPACE)
 3. PHASE III LOT (ADDITIONAL PARKING & FUTURE)
 4. LOT ?? (RETENTION POND)
 FINAL LEGAL DESCRIPTION TO BE PROVIDED BY CIVIL ENGINEER.
OWNER:
 WALL INVESTORS, LLC
 1400 East Bert Kouns, Suite 106
 Shreveport, LA 71105

SITE PLAN		Sheet: 01	
BUSINESS PARK PLAZA TRACT 7-1, LOT 3 GROSS ACREAGE: 2.786 ACRES			
SHREVEPORT CALDO PARISH LOUISIANA		01 of ?? Shts	9/18/17
SURVEY / ABSTRACT NAME:			

RECEIVED
 MAR 06 2018
 METROPOLITAN PLANNING

GENERAL LANDSCAPE NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE DRAINAGE OF ALL NEWLY BUILT BED AND LAWN AREAS AND SHALL TURTLE-BACK OR SLOPE BED AREAS AS DIRECTED OR NOTED ON PLANS AND / OR DETAILS. CONTRACTOR SHALL ALSO PROVIDE DRAINAGE SWALES THROUGH NEW BED AREAS AS NEEDED TO PROMOTE POSITIVE DRAINAGE OF ADJACENT AREAS. COORDINATE WITH LANDSCAPE ARCHITECT.
2. LANDSCAPE ARCHITECT WILL NOT BE RESPONSIBLE FOR DRAINAGE OF SITE COMPONENTS THAT ARE NOT WITHIN THE DESIGN SCOPE OF WORK IE. EXISTING PAVED AREAS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING, SIDEWALKS, STRUCTURES, OR LANDSCAPING TO REMAIN AS A RESULT OF HIS WORK. REPAIRS SHALL BE MADE AT NO EXPENSE TO OWNER OR LANDSCAPE ARCHITECT. ANY REPAIRS SHALL MEET OR EXCEED THE ORIGINAL CONDITIONS OF THE DAMAGED AREA(S) AND SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
4. WRITTEN QUANTITIES SHALL TAKE PRECEDENCE OVER DRAWN QUANTITIES.
5. CONTRACTOR TO SUBMIT PRICE WITH UNIT COSTS FOR EACH ITEM ON THE MATERIAL LIST.
6. CONTRACTOR SHALL COORDINATE ALL ACTIVITIES WITH GENERAL CONTRACTOR AND IRRIGATION CONTRACTOR.
7. ALL TREE LOCATIONS AND BED LINES SHALL BE FLAGGED BY LANDSCAPE CONTRACTOR FOR APPROVAL BY THE LANDSCAPE ARCHITECT, PRIOR TO PROCEEDING. UPON COMPLETION OF BEDS, ALL SHRUBS SHALL BE PLACED IN CONTAINERS FOR APPROVAL BY LANDSCAPE ARCHITECT.
8. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING LANDSCAPE MATERIAL WITHIN PROPOSED PLANTING AREAS PER LANDSCAPE PLANS. CARE SHALL BE TAKEN SO AS NOT TO DISTURB ROOT STRUCTURE OF ANY EXISTING TREES WITH TRENCHING OR FILL.
9. LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL NEW PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR, BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION.
10. LANDSCAPE CONTRACTOR SHALL REPORT ANY PLAN DISCREPANCIES TO LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
11. EXISTING SOIL CONDITIONS MAY REQUIRE EXCAVATION TO A MINIMUM DEPTH OF 6". EXACT DEPTH TO BE DETERMINED ON SITE W/ LANDSCAPE ARCHITECT. NEW SOIL MIX SHALL BE ADDED TO REPLACE DISPLACED SOIL AND BUILD UP AN ADDITIONAL 6"-9" TO ACCOUNT FOR EXCAVATION AND AID DRAINAGE.
12. SOIL PREPARATION DEPTHS FOR BED AND LAWN AREAS SHALL BE MODIFIED UNDER EXISTING TREE CANOPIES. COORDINATE WORK W/ LANDSCAPE ARCHITECT.
13. CONTRACTOR TO NOTIFY OWNER TO HAVE PEST CONTROL COMPANY RE-CHECK ALL AREAS WHERE SOIL HAS BEEN DISTURBED ADJACENT TO BUILDING SLAB.
14. ALL TREES ON THE PROJECT SHALL BE SPECIMEN QUALITY AND MATCHING. IF ANY TREE OR TREES DELIVERED TO THE SITE ARE NOT OF SUPERIOR QUALITY OR ARE DAMAGED IN THE OPINION OF THE LANDSCAPE ARCHITECT, THE TREE OR TREES WILL BE REJECTED.
15. ALL WORK SHALL BE SEQUENCED AND PERFORMED TO MINIMIZE THE DISRUPTION OF PEDESTRIAN OR VEHICULAR CIRCULATION THROUGH THE SITE.

PLANTING NOTES:

1. **TOPSOIL.** TOPSOIL SHALL BE FERTILE, FRIABLE SOIL OBTAINED FROM WELL DRAINED ARABLE LAND. IT SHALL BE FREE DRAINING, NON-TOXIC AND CAPABLE OF SUSTAINING HEALTHY PLANT GROWTH. TOPSOIL SHALL BE REASONABLY FREE OF CALCIUM CARBONATE, SUBSOIL, REFUSE, ROOTS, AND OTHER DELETERIOUS SUBSTANCES. THE CONTRACTOR SHALL FURNISH A WRITTEN SOIL ANALYSIS PREPARED BY AN ACCREDITED SOIL ANALYST. THE ANALYSIS SHALL INDICATE PH, TOTAL SOLUBLE SALTS, AND PLASTICITY INDEX AND PARTICLE SIZE GRADATION.
2. **SAND.** SAND SHALL BE LOOSE, GRANULAR SOIL CONTAINING PARTICLES SMALLER THAN GRAVEL BUT COARSER THAN SILT. SANDY SOIL SHALL OBTAIN A MINIMUM OF 90% SAND AND NO GREATER THAN 5% CLAY.
3. **PEAT MOSS.** PEAT MOSS SHALL BE IMPORTED CANADIAN SPHAGNUM PEAT MOSS, BROWN, LOW IN CONTENT OF WOODY MATERIAL AND FREE OF ANY MINERAL MATTER HARMFUL TO PLANT LIFE. PEAT MOSS SHALL HAVE AN ACID RATING OF APPROXIMATELY 4.5 PH AND HAVE A WATER ABSORBING CAPACITY OF 1100 TO 1200 % BY WEIGHT. PEAT MOSS SHALL BE THOROUGHLY PULVERIZED BEFORE USE EXCEPT WHEN USED AS A TOP-DRESSING. NO NATIVE OR SEDGE PEATS SHALL BE APPROVED.
4. **ORGANIC SOIL CONDITIONER.** ORGANIC SOIL CONDITIONER SHALL BE PARTIALLY DECOMPOSED GROUND PINE BARK. SAWDUST WILL NOT BE ACCEPTED. PARTICLE SIZE AND SURFACE AREA SHALL BE SUCH AS TO RESIST DISPLACEMENT BY WIND OR BY SURFACE STORM WATER OR IRRIGATION RUNOFF FOR TWO GROWING SEASONS.
5. **COMMERCIAL FERTILIZER.** FERTILIZER SHALL BE A COMPLETE, SLOW RELEASE, 12-6-6 FERTILIZER OR APPROVED ALTERNATE DELIVERED IN ORIGINAL UNOPENED CONTAINERS BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS. TO BE APPLIED AT MANUFACTURERS RECOMMENDED RATE.
6. **HERBICIDE.** SNAPSHOT PRE-EMERGENT HERBICIDE MANUFACTURED BY DOW AGRA OR APPROVED EQUAL - APPLIED AT MANUFACTURER'S RECOMMENDATIONS.
7. **TOPDRESSING.** TOPDRESSING SHALL BE PINESTRAW (UNLESS OTHERWISE SPECIFIED ON PLANS) OF SUFFICIENT CHARACTER TO RESIST DISPLACEMENT BY WIND OR STORM WATER OR BY IRRIGATION RUNOFF. PINESTRAW SHALL BE APPLIED AT A MIN. DEPTH OF 3" AND SPREAD EVENLY OVER THE ENTIRE BED AREA TO RETAIN MOISTURE AND PROTECT ROOT SYSTEMS. PINESTRAW TO BE FRESHLY HARVESTED, UNIFORM IN COLOR, AND FREE OF DELETERIOUS MATERIALS. CONTRACTOR IS REQUIRED TO SUBMIT A SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLACING.
8. **COMPOSTED COW MANURE.** COMPOSTED COW MANURE SHALL BE A MINIMUM OF 50% COW MANURE BY WEIGHT. CONTRACTOR TO PROVIDE SAMPLE AND ANALYSIS FOR APPROVAL BY LANDSCAPE ARCHITECT.
9. **STANDARD PLANTING MIX (FULL BED PREPARATION).** THE PLANTING MIX FOR ALL NORMAL BED AREAS AND PITS SHALL CONSIST OF:
 - 1 CY ORGANIC SOIL CONDITIONER PER 50 SF OF BED AREA
 - 1 CY COMPOSTED COW MANURE PER 150 SF OF BED AREA
 - 3.8 CF BALE OF PEAT MOSS PER 50 SF OF BED AREA
 - SANDY TOPSOIL MAY BE ADDED TO BE PLANTING MIX IF THE EXISTING SOIL IS OF POOR QUALITY. THE LANDSCAPE ARCHITECT WILL MAKE THIS DETERMINATION PRIOR TO THE BEGINNING OF WORK.
 - COMMERCIAL FERTILIZER AND PRE-EMERGENT HERBICIDE PER MANUFACTURER'S RECOMMENDATIONS.
 - SUBSTITUTIONS MAY BE MADE ON THE ADVICE OF THE LANDSCAPE ARCHITECT.
10. **MODIFIED BED PREPARATION**
 - MODIFIED BED PREPARATION SHALL BE UTILIZED WITHIN THE DRIP LINE OF EXISTING TREES.
 - BEGIN BY CLEARING UNDERBRUSH AND DEBRIS. EXISTING MULCH SHALL ALSO BE RAKED BACK AND STOCKPILED FOR REUSE.
 - APPLY HERBICIDE APPROVED BY LSU LANDSCAPE SERVICES FOR USE UNDER LIVE OAKS TO ELIMINATE EXISTING GRASS AND WEEDS. ALLOW TWO WEEKS FOR COMPLETE KILL.
 - PLANTING MIX. THE PLANTING MIX FOR ALL BED AREAS AND PITS SHALL CONSIST OF:
 - (1) CY ORGANIC SOIL CONDITIONER / 100 SF OF BED AREA
 - (1) 3/4 CF BALE OF PEAT MOSS / 100 SF OF BED AREA
 - ADD ORGANIC SOIL CONDITIONER AND PEAT MOSS TO A MAXIMUM OF 2" DEPTH. TILLING SHALL BE PROHIBITED WITHIN DRIP LINE.
 - PLANT MATERIAL SHALL BE PIT PLANTED IN THESE AREAS
 - HERBICIDE, FERTILIZER, AND TOP DRESSING AS LISTED IN FULL BED PREPARATION.
11. **PIT PLANTING.** MULCH SURROUNDING, PREPARE PIT FOR NEW PLANT MATERIAL, AND AMEND SOIL WITHIN HOLE WITH NEW PLANTING MIX. ENTIRE AREA SHALL BE TOPDRESSED WITH A 3" MIN. LAYER OF PINESTRAW OR DECOMPOSED SHREDDED HARDWOOD MULCH. SEE PLAN FOR MULCH TYPE.

LEGAL DESCRIPTION:

- SUBDIVIDED TRACT 7-1 & LOT 3 into (4) Lots:
 1. EXISTING WALL CENTER LOT
 2. PHASE II LOT (BANK AND TENANT SPACE)
 3. PHASE III LOT (ADDITIONAL PARKING & FUTURE)
 4. LOT ?? (RETENTION POND)

FINAL LEGAL DESCRIPTION TO BE PROVIDED BY CIVIL ENGINEER.

OWNER:

WALL INVESTORS, LLC
 1400 East Bert Kouns, Suite 106
 Shreveport, LA 71105

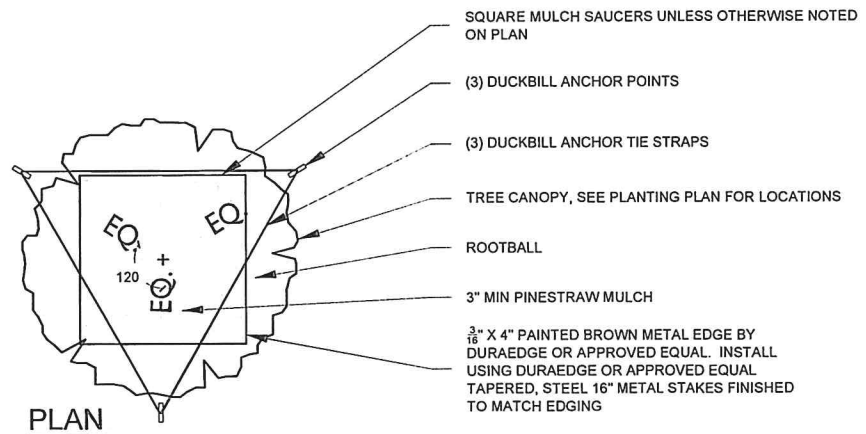
SITE PLAN	
BUSINESS PARK PLAZA TRACT 7-1, LOT 3 GROSS ACREAGE: 2.786 ACRES	Sheet: L5.02
SHREVEPORT CADDO PARISH LOUISIANA	03 of ?? Shts
SURVEY / ABSTRACT NAME:	8/23/17

CLARBO LANDSCAPE ARCHITECTURE
 200 LAUREL ST. SUITE 100
 BATON ROUGE, LA 70801
 225 302 7452

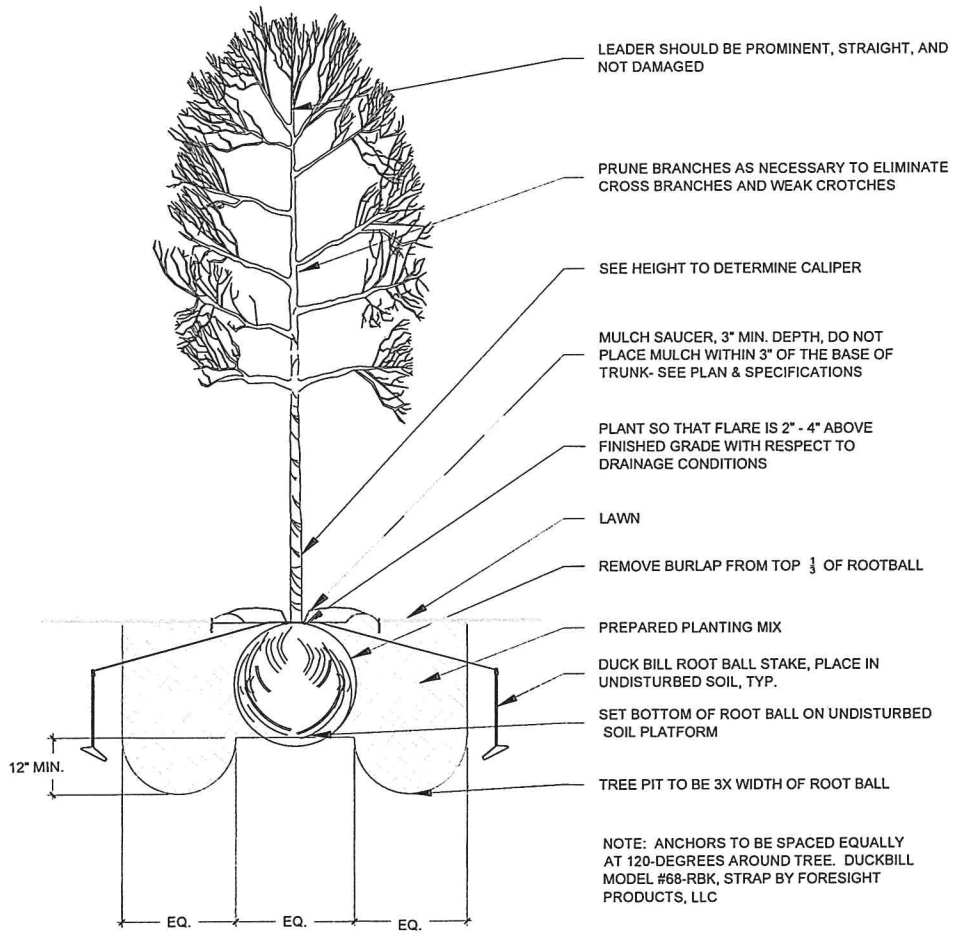
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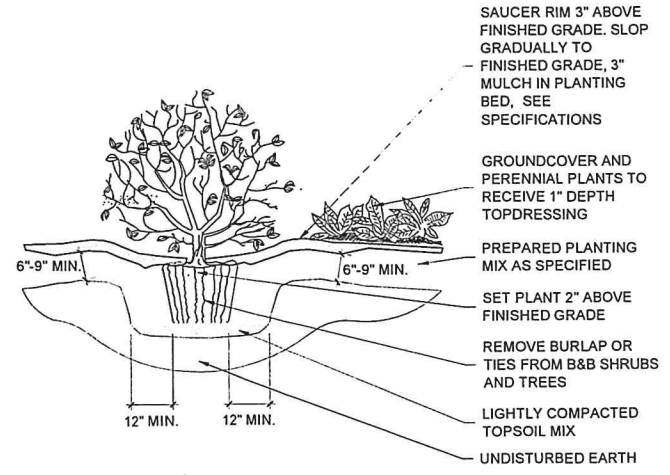


PLAN

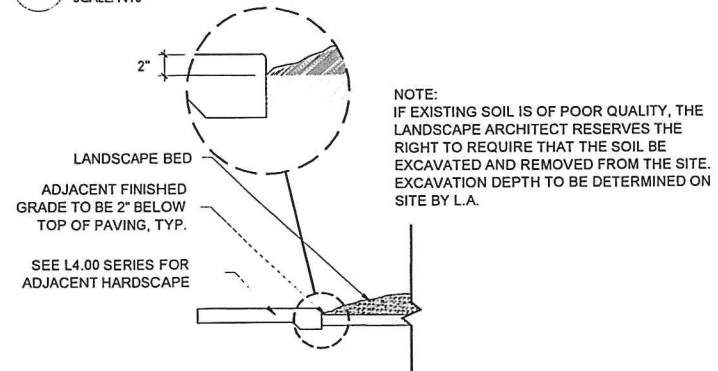


SECTION

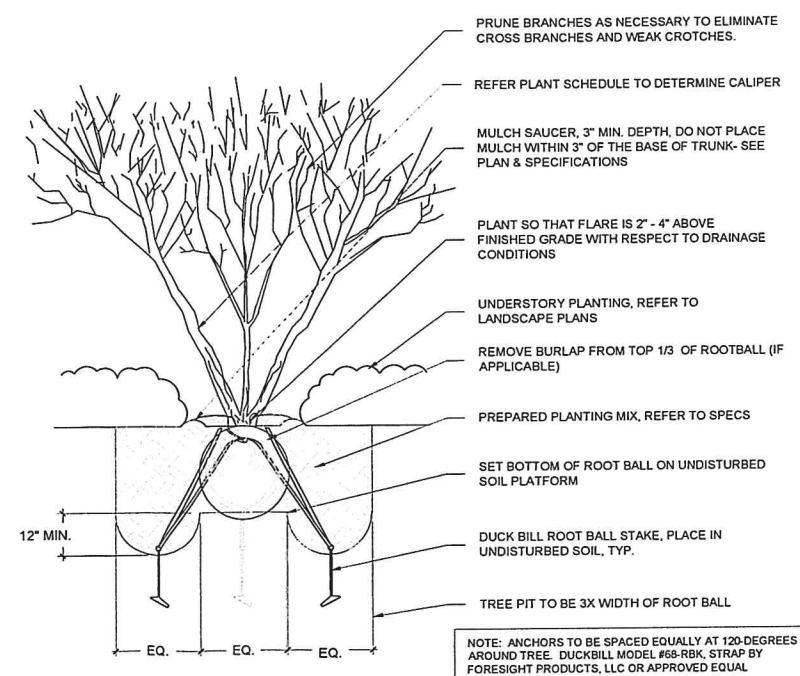
A TYPICAL TREE PLANTING
SCALE: NTS



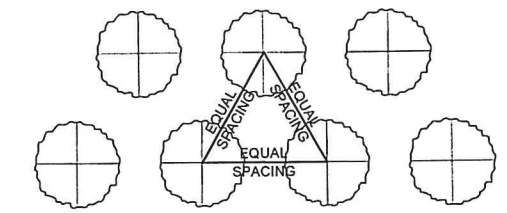
B TYPICAL SHRUB PLANTING
SCALE: NTS



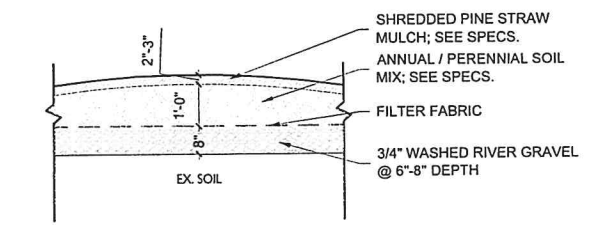
D TYPICAL LANDSCAPE BED EDGE AT PAVING
SCALE: NTS



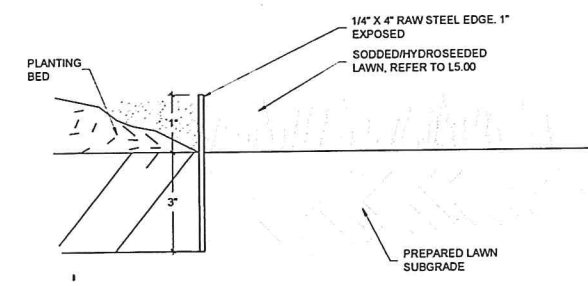
F TYPICAL MULTI-STEM TREE PLANTING
SCALE: NTS



C TYPICAL SHRUB AND GROUND COVER LAYOUT
SCALE: NTS



E ANNUAL/PERENNIAL - PLANTING BED DETAIL
SCALE: NTS



G TYPICAL METAL EDGING
SCALE: NTS

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Shreveport, LA 71105

CLARBO LANDSCAPE ARCHITECTURE
200 LAUREL ST. SUITE 100
BATON ROUGE, LA 70801
225 302 7452

SITE PLAN		Sheet: L5.03	
BUSINESS PARK PLAZA TRACT 7-1, LOT 3 GROSS ACREAGE: 2.786 ACRES			
SHREVEPORT CADDOPARISH LOUISIANA		04 of ?? Shts	
SURVEY / ABSTRACT NAME:		8/23/17	

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(2) 4" DIA. SCH. 40
PVC SLEEVES; TYP.
@ EACH LOCATION
SHOWN

(2) 4" DIA. SCH. 40
PVC SLEEVES; TYP.
@ EACH LOCATION
SHOWN

CLOUDED AREA INDICATES
ALTERNATE #1

GENERAL NOTES

1. ALL IRRIGATION COMPONENTS TO BE INSTALLED IN COMPLIANCE WITH LOCAL CODES.
2. THE SYSTEM ASSUMES A MINIMUM WORKING PRESSURE OF 32 PSI
3. COORDINATE LOCATION OF UNDERGROUND UTILITIES
4. IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE OF PLANTING AREAS FOR CLARITY
5. ADJUST RADIUS OF THROW AND ROTATION ARC OF EACH SPRAY OR ROTOR TO PROVIDE OPTIMAL COVERAGE
6. INSTALL ELECTRICAL POWER TO CONTROLLER IN ACCORDANCE WITH ALL APPLICABLE CODES
7. ALL LATERAL LINES SHALL BE 3/4" UNLESS OTHERWISE LABELED.
8. PLAN IS DIAGRAMATIC AND INDICATES APPROXIMATE NUMBER OF HEADS REQUIRED. CONTRACTOR SHALL ADJUST FINAL LOCATION AND QUANTITY OF
9. CONTRACTOR RESPONSIBLE FOR REPAIRING ANY DAMAGED AREAS RESULTING FROM HIS WORK.
10. ALL TRENCH EXCAVATION FOR MAIN OR ZONE PIPING THAT OCCURS WITHIN GRIPLINE OF EXISTING TREES SHALL BE DONE BY HAND DIGGING, DIRECTIONAL DRILLING, OR AIR SPADE EXCAVATION.

IRRIGATION ZONES - BASE BID

ZONE	GPM	CODE	COMPONENT
1	17.0	1A	RAINBIRD 1800-10
		1B	RAINBIRD 1800-15 EST
		1C	RAINBIRD 1800-15 SST
2	7.5	2A	RAINBIRD 1800-10
		2B	RAINBIRD 1800-15 EST
3	14.0	3A	RAINBIRD 1800-6VAN
4	18.0	4A	RAINBIRD 1800-10
5	27.0	5A	RAINBIRD 1800-12
6	22.5	6A	RAINBIRD 1800-RVAN 13-18

IRRIGATION ZONES - ALTERNATIVE I

ZONE	GPM	CODE	COMPONENT
7	30.0	7A	RAINBIRD 1800-8
8	14.0	8A	RAINBIRD 1800-8
9	19.0	9A	RAINBIRD 1800-12
10	13.0	10A	RAINBIRD 1800-RVAN 13-18
11	3.0	11A	RAINBIRD 1800-RVAN 13-18
12	8.0	12A	RAINBIRD 5000 SERIES W/ NOZZLE 2.0
13	22.0	13A	RAINBIRD 1800-12

LEGEND

- POC POINT OF CONNECTION TO WATER SUPPLY
- RAINBIRD 150 PESB 2" ZONE VALVE W/ MANUAL ISOLATION GATE VALVE
- GV ISOLATION GATE VALVE
- QC RAINBIRD 5 LRC QUICK COUPLER IN BOX
- C RAINBIRD ESP12 LXME CONTROLLER (QTY - 2)
- R RAIN SENSOR BY RAINBIRD OR APPROVED EQUAL LOCATED NEAR CONTROLLER
- 1-1/2" SCHEDULE 40 PVC MAIN
- CLASS 200 PVC SPRAY ZONE LATERAL LINES

**EXECUTIVE
DIRECTOR
APPROVAL**

3/7/18 Muy
Date By

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 Shreveport, LA 71105

IRRIGATION
SITE PLAN
 2
 A0.03 SCALE: 1" = 30'-0"

CIARBO LANDSCAPE ARCHITECTURE

200 LAUREL ST. SUITE 100
 BAYOU ROUGE, LA 70801
 225 302 7452

SITE PLAN

BUSINESS PARK PLAZA
 TRACT 7-1, LOT 3
 GROSS ACREAGE: 2.786 ACRES

SHREVEPORT
 CADDO PARISH
 LOUISIANA

SURVEY / ABSTRACT NAME:

Sheet:

L6.00

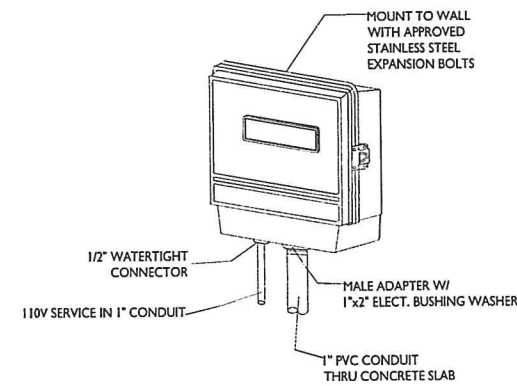
05 of 07 Shts

8/23/17

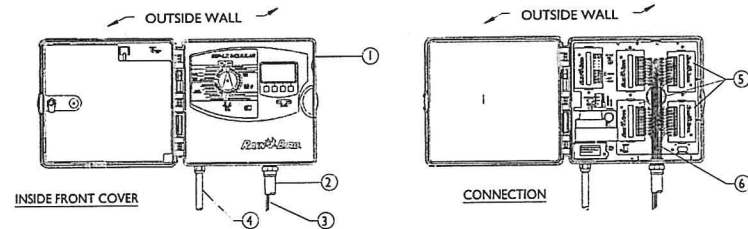
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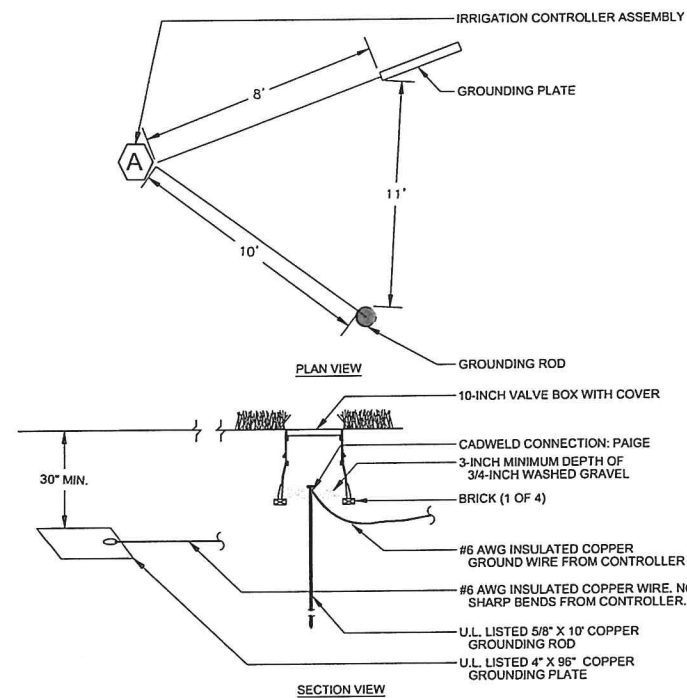
METROPOLITAN PLANNING



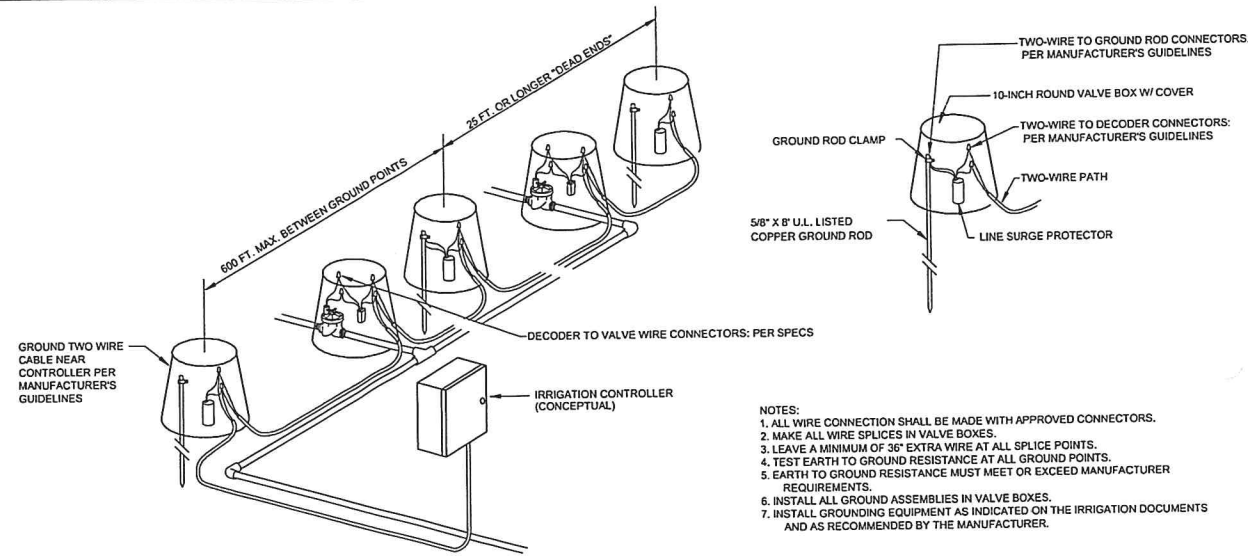
- ① MODULAR HYBRID CONTROLLER RAIN BIRD ESP-LXM, OR APPROVED EQUAL.
- ② 1.5 INCH PVC SCH 40 CONDUIT AND FITTINGS.
- ③ WIRES TO REMOTE CONTROL VALVES.
- ④ 1 INCH PVC SCH 40 CONDUIT TO POWER SUPPLY.
- ⑤ BASE MODEL IS 8 STATION. OPTIONAL MODULES FOR 32 STATION CONTROLLER AS SHOWN.
- ⑥ WIRES TO REMOTE CONTROL VALVES.



A IRRIGATION CONTROLLER ASSEMBLY
SCALE: N.T.S.

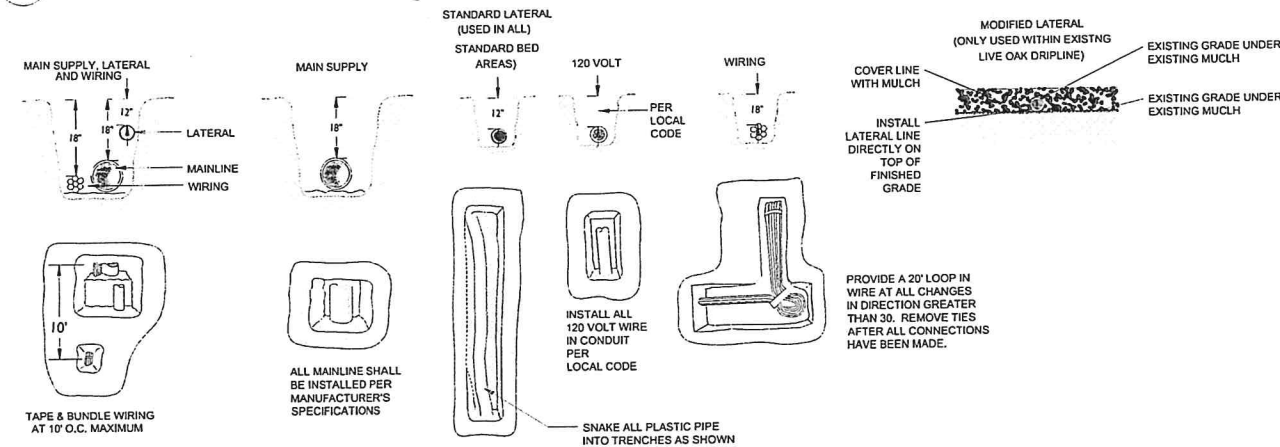


D IRRIGATION CONTROLLER GROUNDING DETAIL
SCALE: N.T.S.

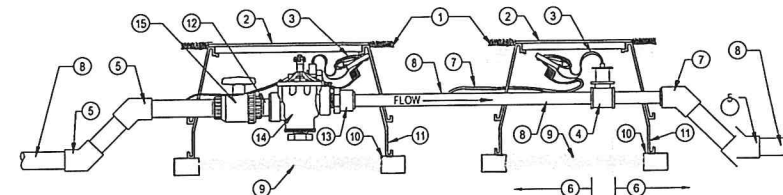


- NOTES:
1. ALL WIRE CONNECTION SHALL BE MADE WITH APPROVED CONNECTORS.
 2. MAKE ALL WIRE SPLICES IN VALVE BOXES.
 3. LEAVE A MINIMUM OF 36" EXTRA WIRE AT ALL SPLICE POINTS.
 4. TEST EARTH TO GROUND RESISTANCE AT ALL GROUND POINTS.
 5. EARTH TO GROUND RESISTANCE MUST MEET OR EXCEED MANUFACTURER REQUIREMENTS.
 6. INSTALL ALL GROUND ASSEMBLIES IN VALVE BOXES.
 7. INSTALL GROUNDING EQUIPMENT AS INDICATED ON THE IRRIGATION DOCUMENTS AND AS RECOMMENDED BY THE MANUFACTURER.

B TWO WIRE SCHEMATIC
SCALE: N.T.S.



C TYPICAL PIPING AND WIRING
SCALE: N.T.S.



- LEGEND:
- ① FINISH GRADE
 - ② JUMBO VALVE BOX & COVER
 - ③ CONTROL WIRES WITH 12" MIN. SERVICE COIL AND 3M DBRY WATERPROOF WIRE SPLICE CONNECTORS (OR APP. EQ.) WATERPROOF WIRE SPLICE CONNECTORS - WIRE COLORS PER SPECIFICATIONS
 - ④ FLOW SENSOR PER SPECIFICATIONS
 - ⑤ PVC 45 DEGREE ELL (TYP.)
 - ⑥ MINIMUM 10" PIPE DIAMETER UPSTREAM & MINIMUM 6" PIPE DIAMETER DOWNSTREAM OF STRAIGHT PIPE
 - ⑦ PVC 45 DEGREE ELL (TYP.) BUSH DOWN TO FLOW METER SIZE AS NECESSARY
 - ⑧ PVC MAINLINE - LENGTH AS REQUIRED - SEE SPECIFICATIONS FOR TYPE AND DEPTH
 - ⑨ GRAVEL (1 CU. FT.)
 - ⑩ CONTINUOUS BRICK SUPPORTS
 - ⑪ VALVE BOX EXTENSIONS AS REQUIRED
 - ⑫ TORO REMOTE CONTROL ELECTRIC GLOBE VALVE WITH FLOW CONTROL MODEL NO. 220-26-XX (OR APP. EQ.) (SIZE PER PLANS) - SEE SPECS.
 - ⑬ PVC BALL VALVE
 - ⑭ PVC MALE ADAPTER
 - ⑮ PVC MALE ADAPTER - BUSH DOWN TO FLOW METER SIZE AS NECESSARY

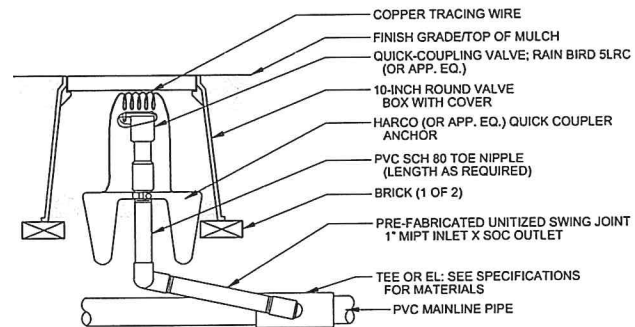
E MASTER VALVE AND FLOW SENSOR ASSEMBLY
SCALE: N.T.S.

CLARBO LANDSCAPE ARCHITECTURE
200 LAUREL ST. SUITE 100
BATON ROUGE, LA 70801
225 302 7452

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Shreveport, LA 71105

SITE PLAN	
BUSINESS PARK PLAZA TRACT 7-1, LOT 3 GROSS ACREAGE: 2.786 ACRES	Sheet: L6.01
SHREVEPORT CADDO PARISH LOUISIANA	06 of 07 Shls 823217

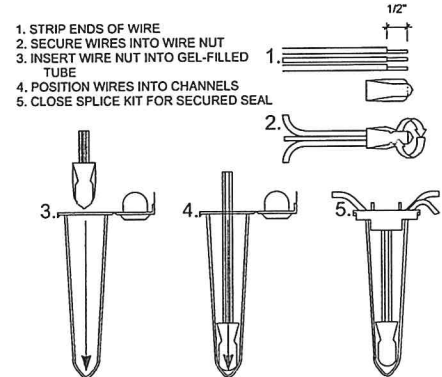
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- NOTES:
- FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.
 - INSTALLATION HEIGHT OF QUICK COUPLER VALVE IN VALVE BOX MUST ASSURE PROPER OPERATION OF QUICK COUPLER KEY.
 - INSTALL SWING JOINT LAY ARM BETWEEN 30° AND 45° OF LATERAL PIPE IN ORDER TO ABSORB DOWNWARD IMPACT.

A QUICK COUPLING VALVE ASSEMBLY

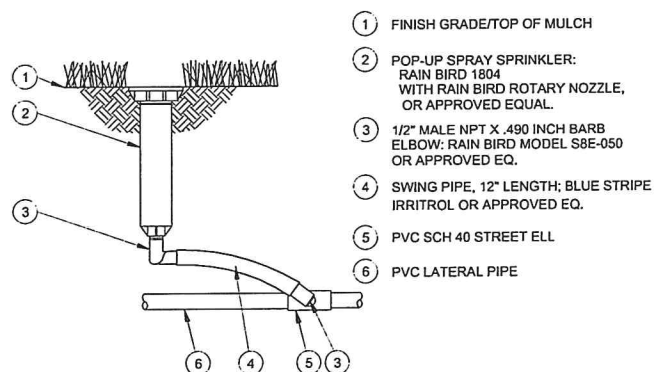
SCALE: N.T.S.



- NOTE:
- VISUALLY CHECK THAT CONNECTOR IS BELOW LOCKING "FINGERS".

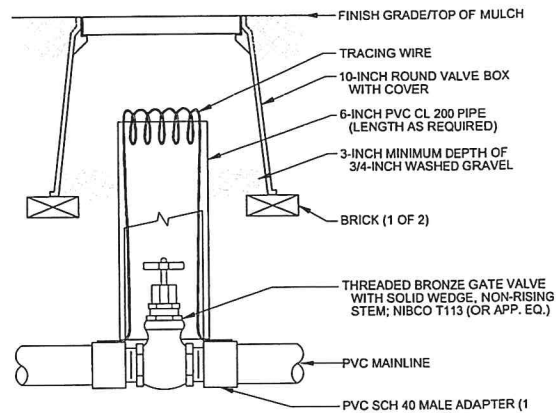
C WIRE SPLICE DETAIL

SCALE: N.T.S.



F POP-UP SPRINKLER - 4"

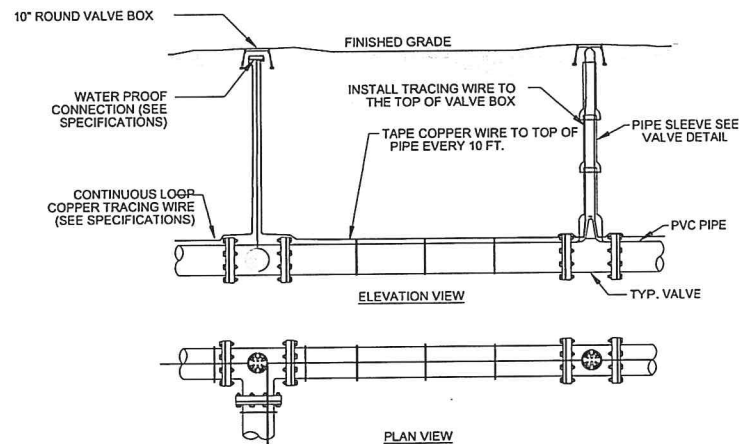
SCALE: N.T.S.



- NOTE:
- NOMINAL SIZE OF GATE VALVE TO MATCH NOMINAL MAINLINE SIZE.

B ISOLATION GATE VALVE ASSEMBLY

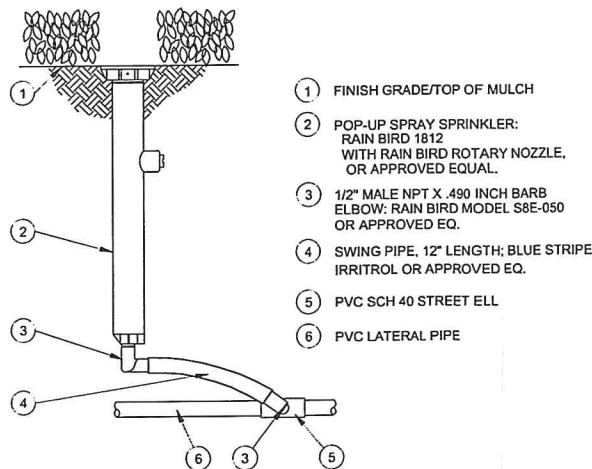
SCALE: N.T.S.



- NOTE:
- COPPER TRACING WIRE WILL START AT THE BLOW OUT ASSEMBLY AND WILL BE ROUTED WITH ALL MAINLINE PIPE.
 - SPLICE TRACING WIRE IN IRRIGATION MAINLINE COMPONENT VALVE BOXES WHEN POSSIBLE, OTHERWISE, PLACE SPLICE IN SEPARATE VALVE BOX.

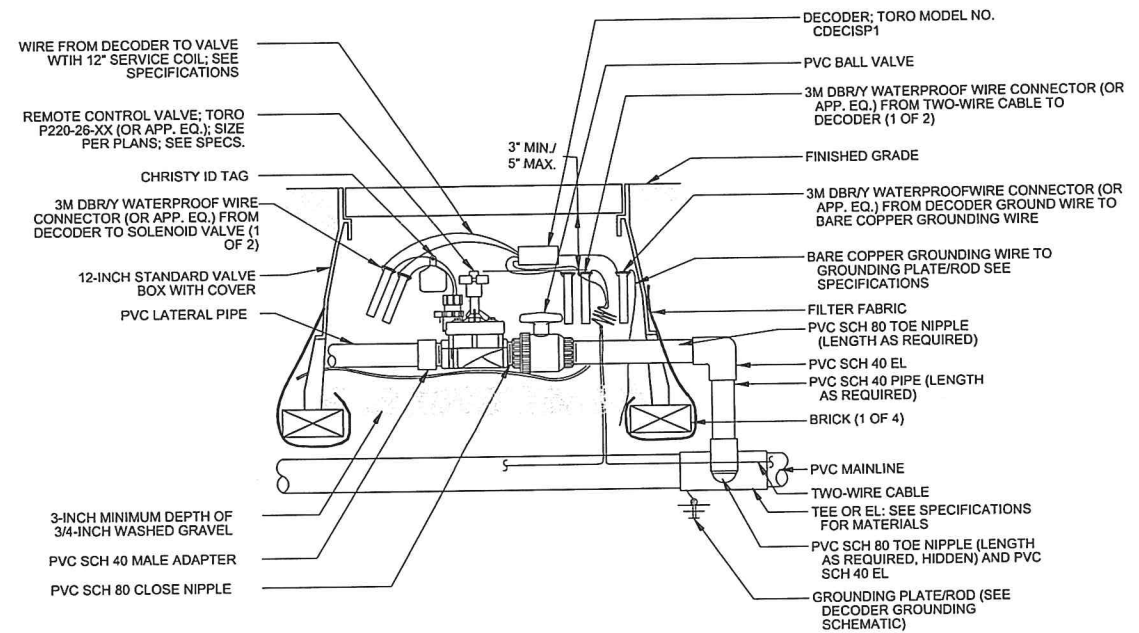
D TRACING WIRE DETAIL

SCALE: N.T.S.



G POP-UP SPRINKLER - 12"

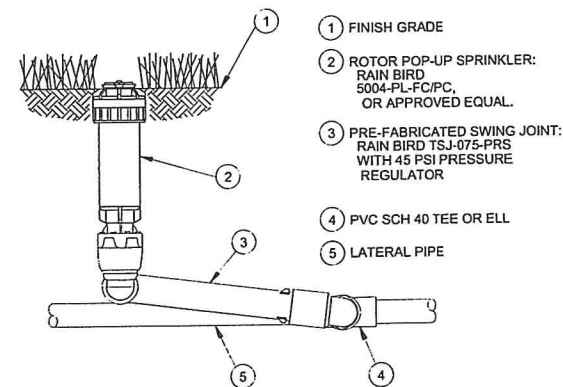
SCALE: N.T.S.



- NOTES:
- USE VALVE BOX EXTENSION AS NECESSARY TO ACHIEVE MINIMUM DIMENSIONS ABOVE ASSEMBLY.
 - NOMINAL SIZE OF ALL COMPONENTS ARE TO BE THE SAME NOMINAL SIZE AS THE SOLENOID VALVE (SIZED AS SHOWN).
 - INSTALL FILTER FABRIC AROUND EXTERIOR OF VALVE BOX. USE DUCT TAPE TO SECURE FABRIC TO PIPE AND VALVE BOX.
 - TRANSITION TO PROPER LATERAL PIPE BURIAL DEPTH USING 45° ELBOW FITTINGS DOWNSTREAM OF REMOTE CONTROL VALVE ASSEMBLY.
 - DO NOT CUT OUT ENDS OF VALVE BOX UNNECESSARILY.
 - POSITION VALVE BOX OVER VALVE TO ALLOW ACCESS TO SOLENOID AND PROPER OPERATION OF BALL VALVE.
 - COIL 3- FEET OF WIRE FOR EACH DECODER FOR SERVICE PURPOSES.
 - SEE DECODER GROUNDING SCHEMATIC FOR ADDITIONAL DECODER GROUNDING INFORMATION.

E REMOTE CONTROL VALVE ASSEMBLY

SCALE: N.T.S.



H ROTOR POP-UP SPRINKLER

SCALE: N.T.S.

CIARBLO LANDSCAPE ARCHITECTURE
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SURVEY / ABSTRACT NAME:		01 of 07 Shts	8/23/17

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