

PLANNING SUMMARY	
EXISTING ZONING	C-3
ADJOINING ZONING	
NORTH	C-2
EAST	C-2
SOUTH	C-1
WEST	R-3
FUTURE LAND USE	C-3
SITE ACREAGE	3.573 AC
NUMBER OF BUILDINGS	1
MAX. BUILDING HEIGHT PER UDC	50'
BUILDING SQUARE FOOTAGE	9,600 sf
BUILDING SETBACKS	
FRONT	30' (20' PER UDC)
SIDE	0' (10' PER UDC)
REAR	30' (20' PER UDC)
MAX BLDG HEIGHT OF PROPOSED RETAIL IS APPROX. 28'.	

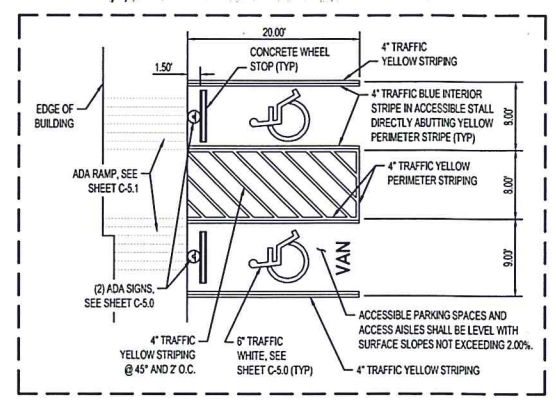
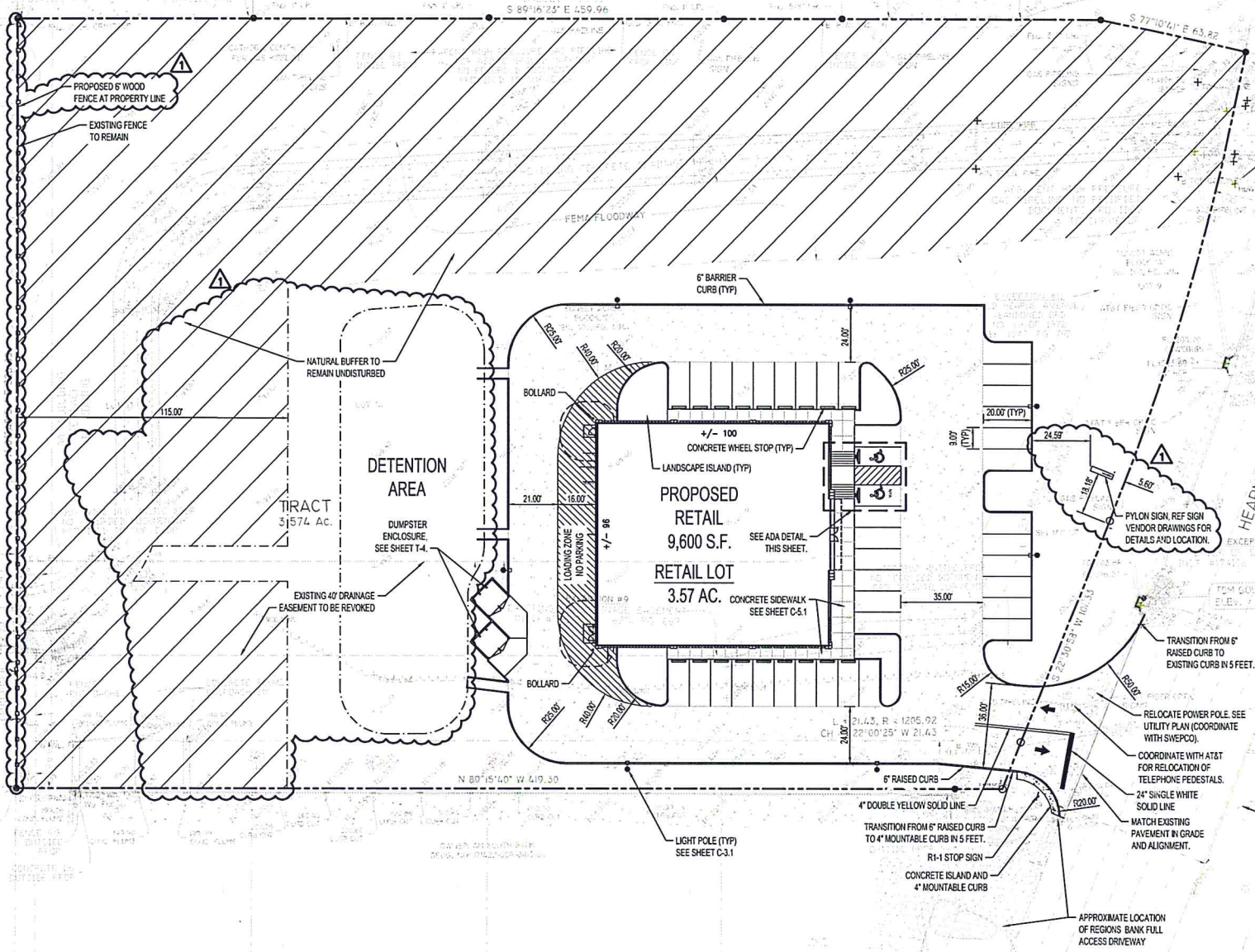
PARKING ANALYSIS	
TOTAL BUILDING AREA	+/- 9,600 S.F.
TOTAL PARKING PROVIDED:	40 SPACES
TOTAL REQUIRED (1 PER 300 S.F.):	32 SPACES
(Table 8-1 - Off-Street Vehicle and Bicycle Parking Requirements)	
RATIO:	4.16 / 1000 S.F.

- SITE NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/PARISH REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
  - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXISTING PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
  - ALL CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
  - ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SCOPE AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
  - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY RALEY AND ASSOCIATES, INC.
  - REFER TO SHEET C-3.1 FOR SITE LIGHTING PLAN.
  - CONTRACTOR SHALL SUBMIT PAVEMENT JOINT PLAN.

**EXECUTIVE  
DIRECTOR  
APPROVAL**

3/6/18 Date  
*[Signature]*  
 Not For Construction  
 (Refer to stipulation)

**SITE PLAN**



ADA DETAIL  
SCALE: 1" = 10'

**LEGEND**

- PROPERTY LINE
- PROPOSED BUILDING
- CONCRETE CURB
- STANDARD DUTY PAVEMENT
- HEAVY DUTY PAVEMENT
- PARKING COUNT
- AREA TO REMAIN UNDISTURBED

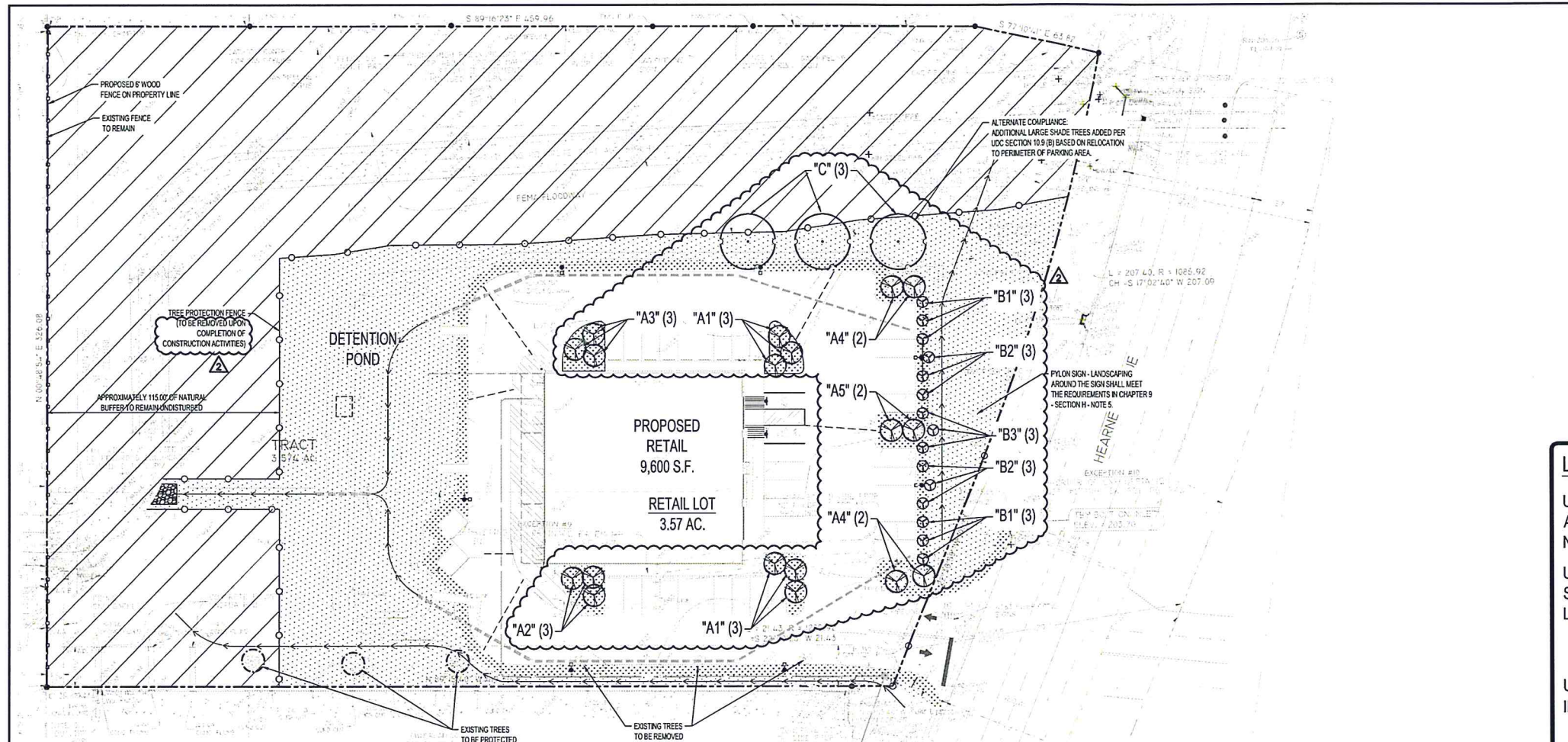
HIGH TIDE CONSULTANTS CIVIL/STRUCTURAL ENGINEERS	2-17-18	JPH/BSG	REVISION 1
	11-27-17	JPH/BSG	
REV.	DATE	DRN/CHK	DESCRIPTION
DOCUMENT CONTROL			

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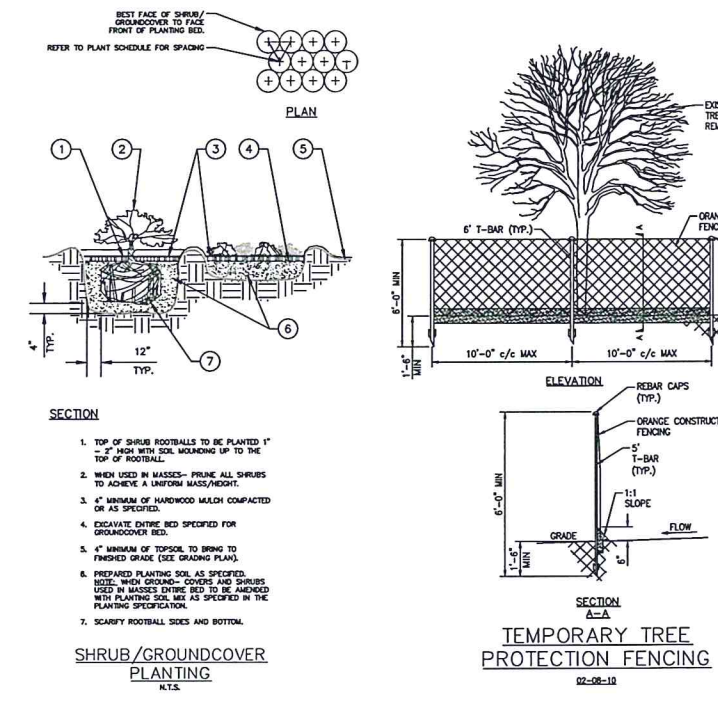
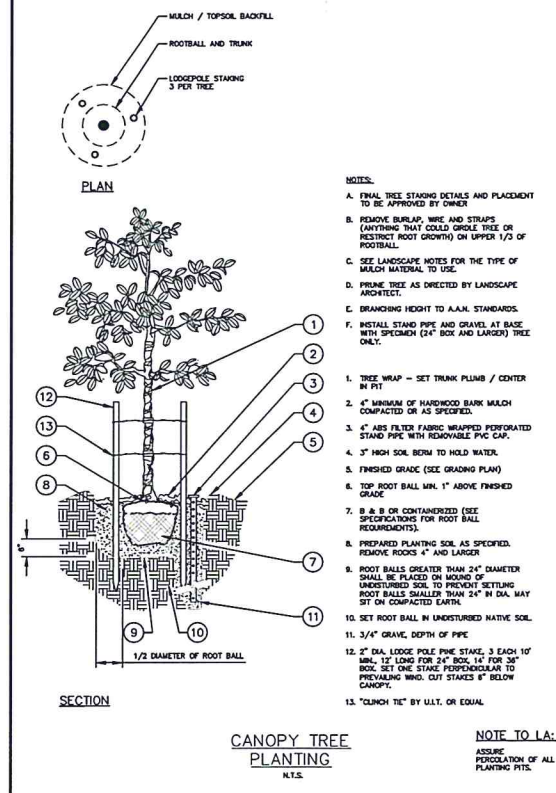
SHREVEPORT, LA	
SITE PLAN	
PROJ. NO. 1705-45	DWG. NO. C-1.0



- ### LANDSCAPE NOTES
- ALL LANDSCAPED AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
  - ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
  - ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
  - ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
  - ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
  - ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
  - ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA (2) TO PROTECT ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD (3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE PERIOD OF TIME REQUIRED.
  - ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
  - AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCUMULATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
  - STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
  - WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A HARDWOOD MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER TO A MINIMUM DEPTH OF FOUR INCHES.
  - WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.
  - ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
  - THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH EROSION CONTROL PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE EROSION CONTROL PLAN FOR THIS SITE.
  - THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SOODING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
  - THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF EROSION CONTROL PLAN.
  - SEE EROSION CONTROL PLAN FOR ADDITIONAL INFORMATION.

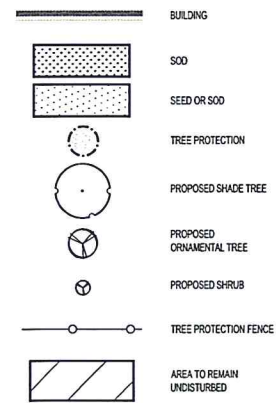
### LANDSCAPE REQUIREMENTS C-3 ZONING

UDC SECTION 10.9 (A) ALTERNATIVE COMPLIANCE BASED ON THE EXISTING NATURAL BUFFER THAT WILL BE UNDISTURBED.	
UDC SECTION 10.9 (B) STREET R.O.W. AREA	756 S.F.
LANDSCAPE ALONG STREET R.O.W.:	PROVIDED:
NUMBER OF SHADE TREES (2 REQ)	3
NUMBER OF SHRUBS (15 REQ)	15
UDC SECTION 10.9 (C) INTERIOR PARKING REQUIREMENTS:	
TOTAL PARKING AREA	+/- 22,559 S.F.
LANDSCAPE AREA	+/- 2,375 S.F.
PERCENTAGE OF LANDSCAPE AREA	+/- 10.5%
UDC SECTION 10.9 (C) INTERIOR LANDSCAPE ISLAND/CAPS:	PROVIDED:
(18) ORNAMENTAL	18



NOTE:  
ALL AREAS DISTURBED 5' OUTSIDE OF CURBED AREAS TO RECEIVE SOD OR SEED. AREAS WITHIN CURBED AREAS TO RECEIVE SOD.

### LEGEND



### PLANT SCHEDULE

TREE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE
"A1"-ORNAMENTAL	6	CREPE MYRTLE	LAGERSTROEMIA INDICA	.
"A2"-ORNAMENTAL	3	SHINING SUMAC	RHUS COPALLINA	.
"A3"-ORNAMENTAL	3	CRABAPPLE	MALUS SPP.	.
"A4"-ORNAMENTAL	4	JAPANESE MAPLE	ACER PALMATUM	.
"A5"-ORNAMENTAL	2	SALICER MAGNOLIA	MAGNOLIA X SOULANGIANA	.
"B1"-SHRUB	6	INDIAN HAWTHORNE	RAHAPHOLEPS INDICA	.
"B2"-SHRUB	6	NANDINA	NANDINA DOMESTICA	.
"B3"-SHRUB	3	JAPANESE HOLLY	ILEX CRENATA	.
"C"-SHADE TREE	3	SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFLORA	.

- MINIMUM PLANTING SIZES:**
- SHADE TREES MUST HAVE A MINIMUM TRUNK SIZE OF THREE INCHES IN DIAMETER AT BREAST HEIGHT (DBH) AT PLANTING.
  - CONIFER EVERGREEN TREES MUST HAVE A MINIMUM HEIGHT OF SIZE FEET AT PLANTING.
  - SINGLE STEM ORNAMENTAL TREES MUST HAVE A MINIMUM TRUNK SIZE OF TWO INCHES IN TREE CALIPER AT PLANTING. MULTIPLE STEM ORNAMENTAL TREES MUST HAVE A MINIMUM HEIGHT OF EIGHT FEET AT PLANTING.
  - LARGE SHRUBS MUST HAVE MINIMUM HEIGHT OF THREE FEET AT INSTALLATION. SMALL SHRUBS MUST HAVE A MINIMUM HEIGHT OF 18 INCHES AT INSTALLATION.

**EXECUTIVE DIRECTOR APPROVAL**

3/6/18 Date By [Signature]

Not For Construction (Refer to Stipulation)

### LANDSCAPE PLAN



HIGH TIDE CONSULTANTS	2-26-18	JPH	BSC	REVISION 2
	2-17-18	JPH	BSC	REVISION 1
	11-27-17	JPH	BSC	
REV.	DATE	DRN	CHK	DESCRIPTION
				DOCUMENT CONTROL

DOLLAR TREE	SHREVEPORT, LA
	LANDSCAPE PLAN
	PROJ. NO. 1705-45 DWG. NO. C-6.0

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Metropolitan Planning Commission

**SITE PREPARATION NOTES:**

- CLEARING AND STRIPPING: WITHIN THE AREAS OF THE PROPOSED BUILDINGS AND PAVEMENT AREAS, THE EXISTING GROUND SURFACE SHOULD BE STRIPPED TO A DEPTH NECESSARY TO REMOVE VEGETATION, LOOSE TOPSOIL, SOFT MATERIAL, DEBRIS, AND ORGANIC MATTER. THE EXACT DEPTH OF STRIPPING SHOULD BE TO A MINIMUM DEPTH OF SIX INCHES WITH ADDITIONAL STRIPPING TO REMOVE DELETERIOUS MATERIAL. DETERMINED DURING CONSTRUCTION, ADDITIONALLY, THE SITE SHOULD NOT BE STRIPPED UNTIL CONSTRUCTION DRAINAGE MEASURES HAVE BEEN PROVIDED. ALL DEPRESSIONS, STUMP HOLES, OR WEAK AREAS IDENTIFIED SHALL BE CLEANED OUT TO A DEPTH SUFFICIENT TO ENCOUNTER FIRM UNDISTURBED SOIL. IF FILL SOILS ARE NEEDED TO ESTABLISH SUBGRADE ELEVATION, SELECT FILL SHALL BE TO CONSTRUCT THE BUILDING PAD.
- SUBGRADE PREPARATION: AFTER THE STRIPPING AND CLEARING OPERATIONS, THE EXPOSED SURFACE SHOULD BE PROOFROLLED WITH A TANDEM AXLE DUMP TRUCK OR SIMILAR HEAVY RUBBER-TIRED CONSTRUCTION EQUIPMENT SUCH AS A LOADED SCRAPER OR FULLY LOADED TANDEM AXLE DUMP TRUCK. THE VEHICLE SHOULD WEIGH BETWEEN 15 AND 20 TONS (TOTAL VEHICLE WEIGHT). SOILS WHICH ARE OBSERVED TO RUT OR DEFLECT EXCESSIVELY UNDER THE MOVING LOAD, SHALL BE UNDERCUT AND REPLACED WITH PROPER COMPACTED STRUCTURAL FILL. PROOFROLLING ACTIVITIES SHALL BE OBSERVED UNDER THE SUPERVISION OF THE GEOTECHNICAL ENGINEER OR THEIR REPRESENTATIVE TO AID IN LOCATING SOFT SUBGRADE AREAS. ALL CLEARING AND COMPACTION OPERATIONS SHOULD BE PERFORMED ONLY DURING PERIODS OF DRY WEATHER. AFTER THE PROPER PROOFROLLING OF THE SUBGRADE HAS BEEN COMPLETED, THE TOP SIX INCHES OF THE EXISTING MATERIAL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND RE-COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). THE SOILS SHALL BE COMPACTED AT A MOISTURE CONTENT WITHIN +2 PERCENTAGE POINTS OF THE SOILS' OPTIMUM MOISTURE CONTENT.
- FILL REQUIREMENTS: THE MATERIAL SELECTED SHOULD BE FREE OF WOOD, ROOTS, CLAY LUMPS, AND OTHER DELETERIOUS MATERIALS AND SHALL BE USED AS REFERENCED BELOW.

BELOW FOUNDATIONS BELOW INTERIOR SLABS BELOW PAVEMENT	UTILITY TRENCH BACKFILL	BELOW LANDSCAPED SURFACES WHERE SUBSIDENCE IS NOT A CONCERN
SELECT FILL	GRANULAR FILL	NON-SELECT FILL
SC, CL, SM	SW, SM	SM, SC, CL
100% PASSING 2 INCH SIEVE, 60% MAX PASSING NO. 200 SIEVE	NO GREATER THAN 10% PASSING NO. 200 SIEVE	100% PASSING 6 INCH SIEVE
1. LIQUID LIMIT < 35 2. PLASTICITY INDEX BETWEEN 8 AND 18 3. < 2% ORGANIC CONTENT	< 2% ORGANIC CONTENT	< 10% ORGANIC CONTENT

ON-SITE MATERIAL DOES NOT COMPLY WITH RECOMMENDED SELECT FILL REQUIREMENTS.

- PLACEMENT AND COMPACTION OF FILL: THE FILL SHALL BE PLACED IN MAXIMUM LOOSE LIFTS OF 8 INCHES OF MATERIAL (4 INCHES TO 6 INCHES IN LOOSE THICKNESS WHEN HAND-GUIDED EQUIPMENT IS USED). COMPACTION EFFORTS SHALL BE AS LISTED IN THE BELOW TABLE:

REFERENCE	RELATIVE COMPACTION, PERCENT (ASTM E98 - STANDARD PROCTOR)	MOISTURE CONTENT VARIANCE FROM OPTIMUM, PERCENTAGE POINTS
NATIVE SOILS BELOW FOUNDATIONS AND OVERSIZING ZONE	95	-2 TO +2
SELECT FILL SOILS BELOW FOUNDATIONS AND OVERSIZING ZONES	95	-1 TO +3
GRANULAR TRENCH BACKFILL AND BEDDING MATERIAL	95	± 4
CRUSHED 610 LIMESTONE BENEATH PAVING	98	± 2
BELOW LANDSCAPED SURFACES	90	± 4

IF WATER MUST BE ADDED, IT SHALL BE UNIFORMLY APPLIED AND THOROUGHLY MIXED INTO THE SOIL BY DISKING OR SCARIFYING. THE MOISTURE CONTENT AND COMPACTION SHOULD BE MEASURED FOR EACH LIFT OF FILL DURING PLACEMENT. SHOULD THE RESULTS OF THE IN-PLACE DENSITY TEST INDICATE THE SPECIFIED MOISTURE OR COMPACTION LIMITS HAVE NOT BEEN MET, THE AREA REPRESENTED BY THE TEST SHOULD BE REMOVED AND RETESTED AS REQUIRED UNTIL THE SPECIFIED MOISTURE AND COMPACTION REQUIREMENTS ARE ACHIEVED. THE ZONE OF FILL COMPACTED TO MEET THIS CRITERIA SHOULD EXTEND AT LEAST 5 FEET HORIZONTALLY BEYOND THE BUILDING FOOTPRINT.

- QUALITY CONTROL: PRIOR TO TRANSPORTING STRUCTURAL FILL ON SITE, A SAMPLE OF THE BORROW PIT SHOULD BE TESTED TO VERIFY ITS CONFORMANCE TO THE SPECIFICATIONS. DENSITY TESTS SHOULD BE PERFORMED ON EACH LIFT OF THE COMPACTED STRUCTURAL FILL AT A FREQUENCY OF ONE TEST FOR EVERY 2,500 SQUARE FEET OF COMPACTED FILL IN THE BUILDING AREA AND 5,000 SQUARE FEET IN THE PAVEMENT AREAS TO DETERMINE IF THE CONTRACTOR HAS ACHIEVED THE RECOMMENDED DENSITY. ALL CLEARING, FILLING, AND COMPACTION OPERATIONS SHOULD BE ACCOMPLISHED ONLY DURING PERIODS OF DRY WEATHER. THE CONTRACTOR SHOULD EXERCISE CAUTION DURING AND AFTER INCLEMENT WEATHER TO ENSURE SUBSOIL SUPPORT IS NOT DEGRADED BY CONSTRUCTION OPERATIONS.

**GRADING NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
- EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY RALEY AND ASSOCIATES. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.

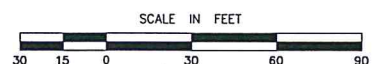
**LEGEND**

- BUILDING
- 10' HIGH CHAIN LINK FENCE
- SPOT ELEVATION
- TOP OF PAVING
- TOP CURBS
- STORM DRAIN PIPE
- AREA INLET
- CURB INLET
- SWALE / LOW POINT
- GRADE BREAK / HIGH POINT

**NOTE:**  
 • ELEVATION CERTIFICATE SHALL BE SUPPLIED TO CITY OF SHREVEPORT ENGINEERING DEPARTMENT BEFORE FINAL INSPECTION. EMAIL TO: samuel.swain@shreveportla.gov  
 • BASE FLOOD ELEVATION FOR THIS SITE IS 203.07 PER THE CITY OF SHREVEPORT ENGINEERING SERVICES.

Not For Construction

**GRADING PLAN**



SHREVEPORT, LA  
 GRADING PLAN  
 PROJ. NO. 1705-45 DWG. NO. C-2.0

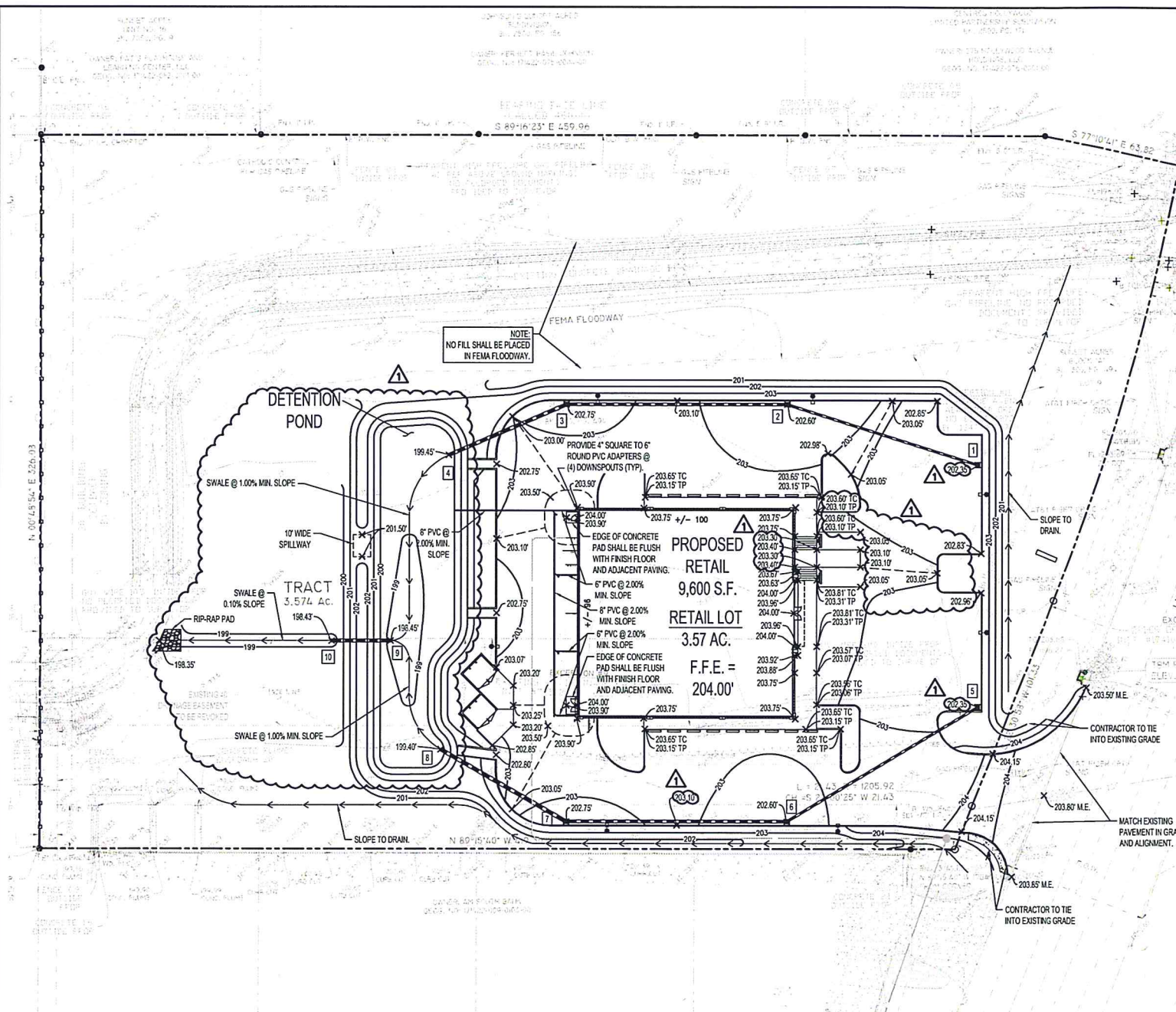
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11-27-17

**HIGH TIDE CONSULTANTS**  
 CIVIL/STRUCTURAL ENGINEERS



**STRUCTURE TABLE**

STRUCTURE NUMBER	TYPE	GUTTER/CASTING ELEV.	INVERT IN	ELEVATION OUT	PIPE LENGTH	PIPE TYPE	PIPE SLOPE
1	AREA INLET	202.35		199.95 (2)	91'	12"	0.20%
2	AREA INLET	202.60	199.77 (1)	199.77 (3)	101'	12"	0.20%
3	AREA INLET	202.75	199.57 (2)	199.57 (4)	59'	15"	0.20%
4	OPEN PIPE		199.45 (3)				
5	AREA INLET	203.35		199.94 (6)	101'	12"	0.20%
6	AREA INLET	202.60	199.74 (5)	199.74 (7)	101'	12"	0.20%
7	AREA INLET	202.75	199.53 (6)	199.53 (8)	66'	15"	0.20%
8	OPEN PIPE		199.40 (7)				
9	OUTLET CONTROL STRUCTURE		198.45 (10)		27'	12" RCP	0.10%
10	OPEN PIPE		198.43 (9)				

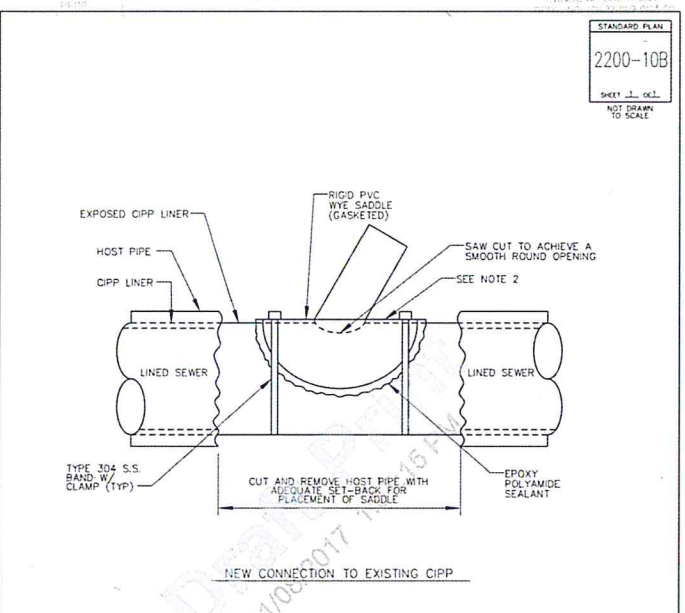
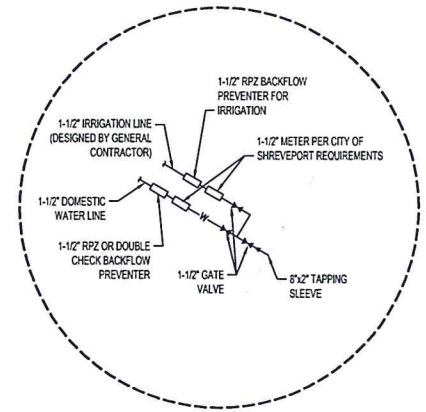
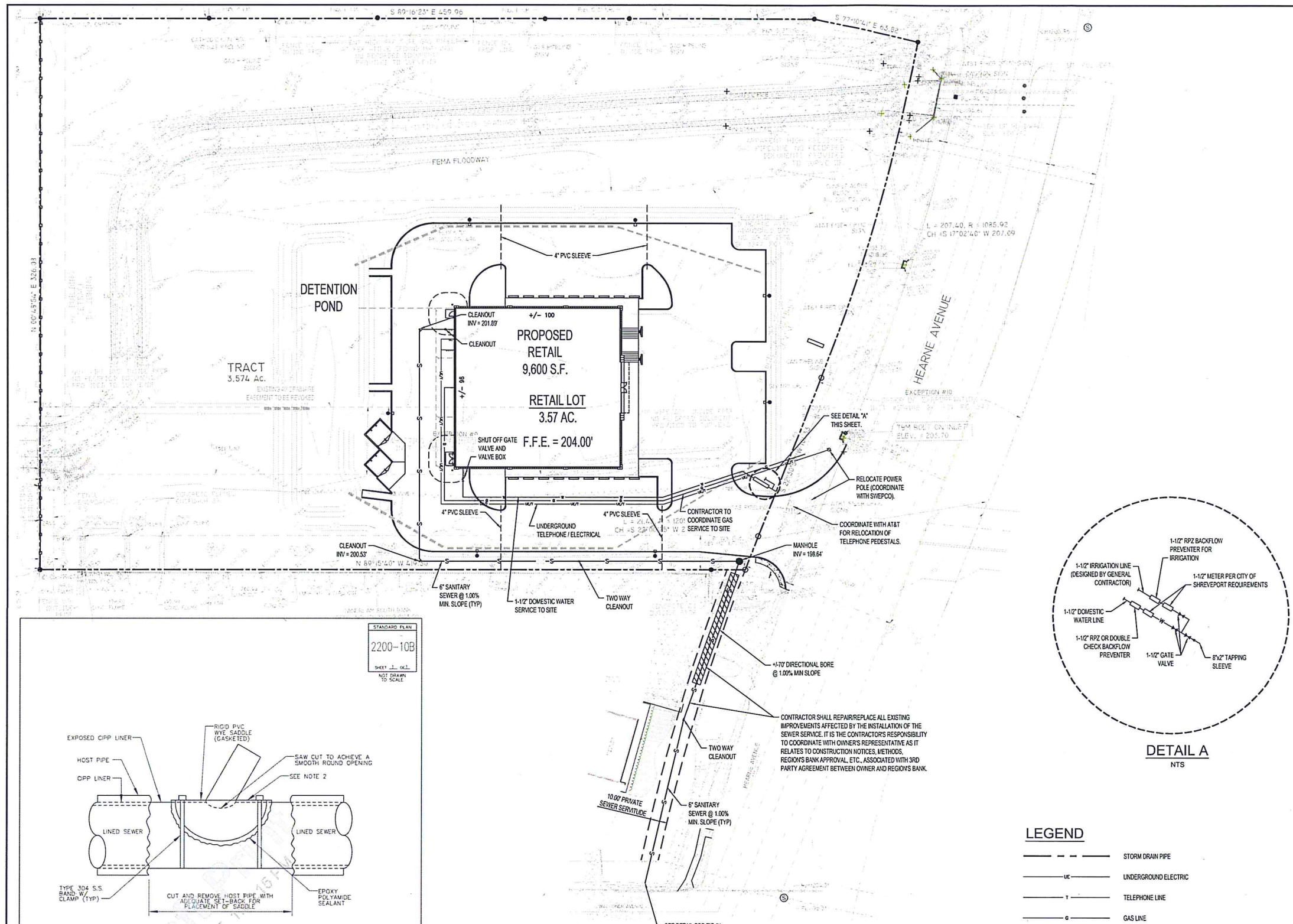
**PIPE NOTES:**  
 IN THE DRAINAGE CHART, THE "PIPE TYPE" COLUMN DEFINES THE SIZE AND MATERIAL TYPE OF THE PIPE, WHERE A SPECIFIC PIPE TYPE IS CALLED FOR, THAT SPECIFIC PIPE TYPE MUST BE UTILIZED, WHERE AN ASTERISK (\*) IS SPECIFIED, THE CONTRACTOR MAY UTILIZE ANY ONE OF THE PIPE TYPES LISTED BELOW.  
 1. REINFORCED CONCRETE PIPE (RCP/RCPP)  
 2. POLYVINYL CHLORIDE PIPE (PVC)  
 3. ULTRAFLO CONTECH PIPE (UCP) (GALVANIZED STEEL WITH ASPHALT COATING) WITH TYPE III JOINTS

**STORM DRAINAGE NOTES:**  
 1. ALL PIPES ENTERING STORM SEWER STRUCTURES SHALL BE SEALED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.  
 2. REFERENCE DETAIL SHEETS FOR CONSTRUCTION DETAILS.  
 3. STRUCTURE TYPES  
 DRAINAGE STRUCTURES SHALL BE PRECAST OR CAST-IN-PLACE CONCRETE IN ACCORDANCE WITH SPECIFICATIONS PROVIDED.  
 • AREA INLETS- SEE DETAIL SHEET  
 • MANHOLES- SEE DETAIL SHEET  
 ALL INLET FRAMES AND GRATES SHALL BE VULCAN FOUNDRY CORP. CATALOG # V-4863 OR EQUAL.

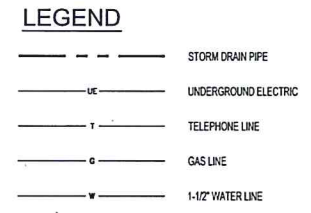
METROPOLITAN PLANNING COMMISSION

**UTILITY NOTES**

- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
  - 8" PVC SOR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
  - 8" PVC SOR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
  - 6" PVC SCHEDULE 40
  - DUCTILE IRON PIPE PER AWWA C150
- WATER LINES SHALL BE AS FOLLOWS:
  - 6" AND LARGER, PVC C-900 PER ASTM D 2241
  - 6" AND LARGER DUCTILE IRON PIPE PER AWWA C150
  - SMALLER THAN 6" EITHER COPPER TUBE TYPE "L" (SOFI) PER ANSI B16.22
  - OR PVC, 200 P.S.I., PER ASTM D1751 AND D2241.
- MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
- ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4'-0" COVER ON ALL WATERLINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- PIPES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS PRIOR TO BUILDING OCCUPANCY.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- REFER TO BUILDING PLANS FOR SITE ELECTRICAL PLAN.



- NOTES:**
- SEE STANDARD PLAN 2000-1 FOR BACKFILL DETAILS.
  - SADDLE WYE SHALL BE INSTALLED ONLY AT THE 10 O'CLOCK OR 2 O'CLOCK POSITION OF THE SEWER.
  - SEE STANDARD SPEC 2000 FOR MORE INFORMATION.
  - SEE STANDARD PLAN 2200-10 FOR SERVICE LATERAL.

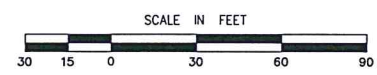


RECEIVED  
FEB 16 2018

METROPOLITAN PLANNING  
COMMISSION

Not For Construction

**UTILITY PLAN**



**CITY OF SHREVEPORT**  
NEW SERVICE CONNECTION  
TO EXISTING CIPP  
USE WITH CITY OF SHREVEPORT STANDARD SPECIFICATIONS

DRAWN: Megan Trapp  
CHECKED: EES  
APPROVED: KAP  
REVISION: #00

**HIGH TIDE**  
CONSULTANTS  
CIVIL/STRUCTURAL ENGINEERS

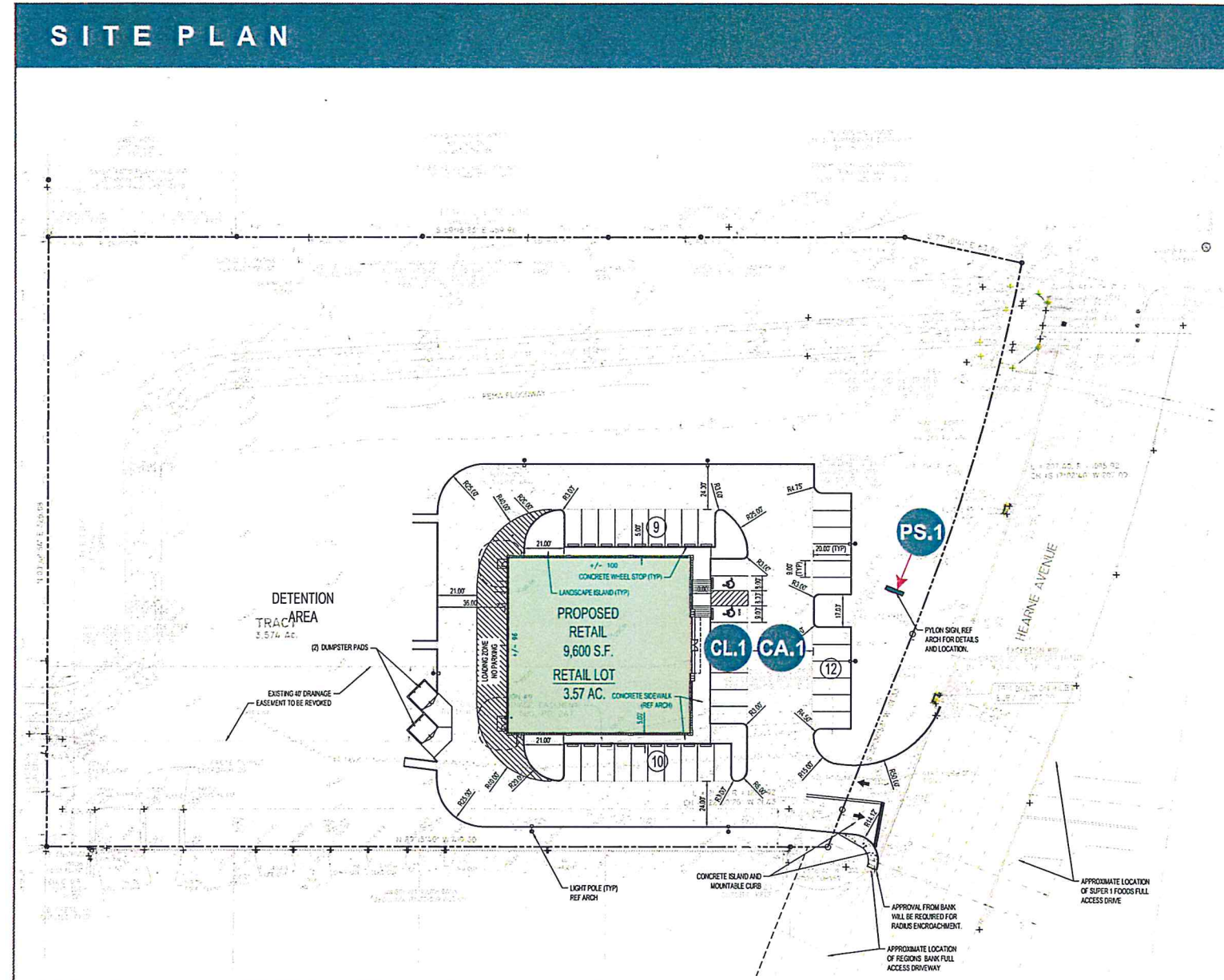
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2-17-18		JPA	BSG	REVISION 1
11-27-17		JPA	BSG	

DOCUMENT CONTROL

**DOLLAR TREE**  
SHREVEPORT, LA  
UTILITY PLAN

PROJ. NO. 1705-45 DWG. NO. C-3.0

# DOLLAR TREE



N.T.S.

## WORK SCOPE

- CL.1 36" CHANNEL LETTERS / 42" LOGO (QTY. 1)
- PS.1 DF ILLUMINATED PYLON SIGN (QTY. 1)
- CA.1 METAL CANOPY (QTY. 1) **FRONT**

## CODE INFORMATION

WALL SIGNS: 1sf per linear foot of building wall

PYLON SIGNS: 80 Sq. Ft. allowed - 18'H or 40'H / depends on what zone it is  
15' set back from property line.

Contact: Sammy Maranto (318) 673-6445 [sammy.maranto@shreveportla.gov](mailto:sammy.maranto@shreveportla.gov)

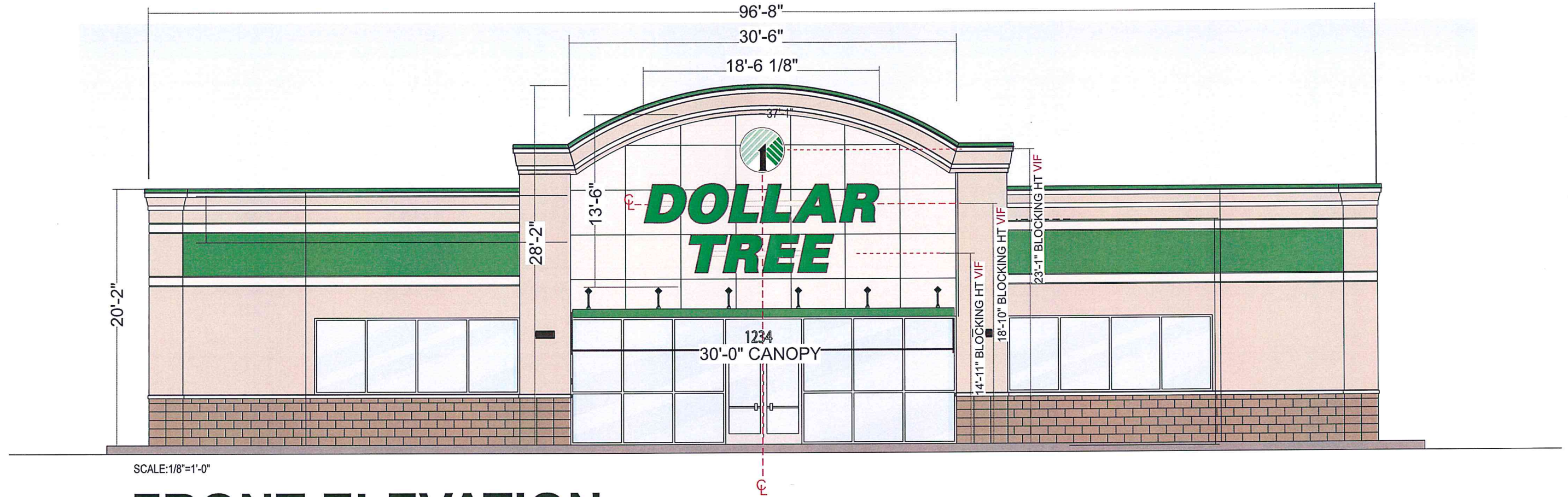
<b>JONES SIGN</b> Your Vision. Accomplished. WWW.JONESSIGN.COM	JOB #: 226986-R0 DATE: 11.20.17 DESIGNER: H. MOLES SALES REP: PROJ MGR: J LAVINSKY	<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>2</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>3</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>4</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>5</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>6</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>7</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>8</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>9</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>10</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	00.00.00	XX	XXXX	2	00.00.00	XX	XXXX	3	00.00.00	XX	XXXX	4	00.00.00	XX	XXXX	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____ QC <b>APPROVED</b> By Dawn Moore at 3:46 pm, Nov 20, 2017		EXTERIOR SIGNAGE 5870 Heame Ave Shreveport, LA 71108 DESIGN PHASE: CONCEPTUAL	SHEET NUMBER <h1>1.0</h1>
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**CL.1** 36" FACE LIT CHANNEL LETTERS (DT1RW36-224-5LS) / 42" LOGO (DT1WS42-42-5L) (Qty. 1)

SQUARE FOOTAGE: APPROX. 210.2 SQ FT

ALLOWABLE SQUARE FOOTAGE: NTE 40 SQ. FT. **VARIANCE MAY BE REQUIRED**



# FRONT ELEVATION



SW ENVY



SW BALANCED BEIGE / STO SANDSTONE



SW AESTHETIC WHITE / STO SMOKED PUTTY



SW VIRTUAL TAUPE

<p><b>JONES SIGN</b> Your Vision. Accomplished. WWW.JONESSIGN.COM</p>	<p><b>JOB #: 226986-R0</b> DATE: 11.20.17 DESIGNER: H. MOLES SALES REP: PROJ MGR: J LAVINSKY</p>	<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>2</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>3</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>4</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>5</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>6</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>7</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>8</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>9</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>10</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	00.00.00	XX	XXXX	2	00.00.00	XX	XXXX	3	00.00.00	XX	XXXX	4	00.00.00	XX	XXXX	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	<table border="1"> <tr> <td>CLIENT APPROVAL</td> <td>DATE</td> </tr> <tr> <td>LANDLORD APPROVAL</td> <td>DATE</td> </tr> <tr> <td>QC <b>APPROVED</b> <small>By Dawn Moore at 3:46 pm, Nov 20, 2017</small></td> <td></td> </tr> </table>	CLIENT APPROVAL	DATE	LANDLORD APPROVAL	DATE	QC <b>APPROVED</b> <small>By Dawn Moore at 3:46 pm, Nov 20, 2017</small>			<p>EXTERIOR SIGNAGE 5870 Heame Ave Shreveport, LA 71108</p>	<p>SHEET NUMBER <b>2.0</b></p>
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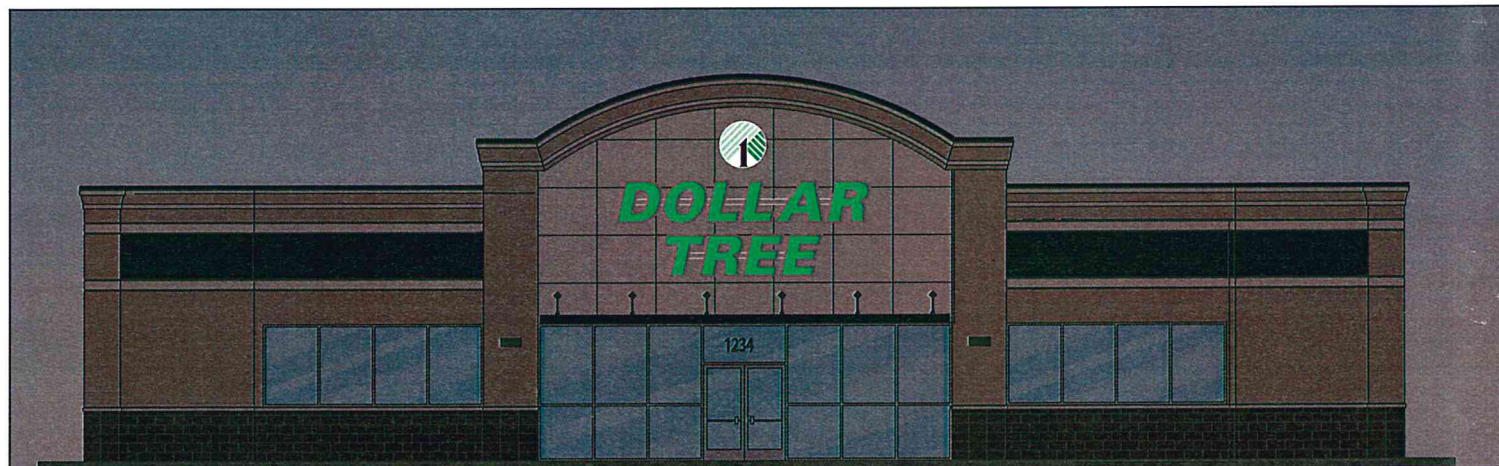
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SQUARE FOOTAGE: APPROX. 210.2 SQ FT

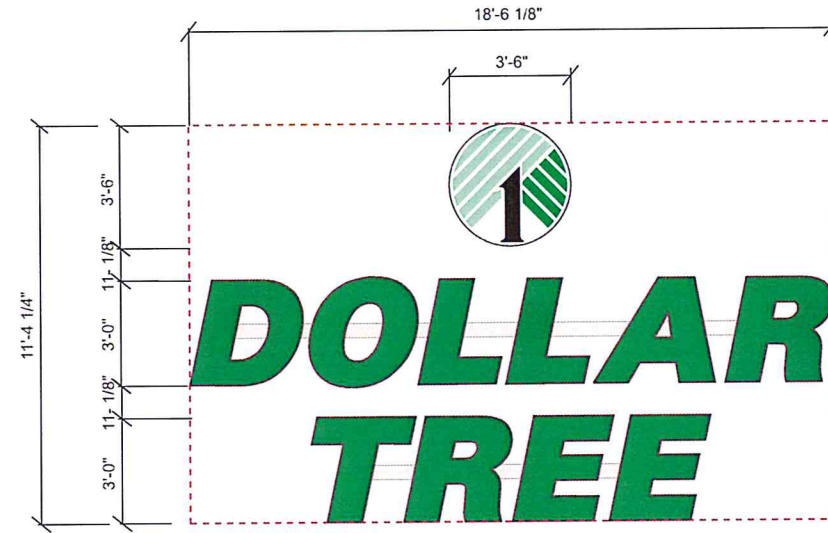
ALLOWABLE SQUARE FOOTAGE: NTE 40 SQ. FT. **VARIANCE MAY BE REQUIRED**



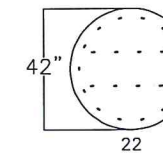
PROPOSED ELEVATION  
SCALE: NTS



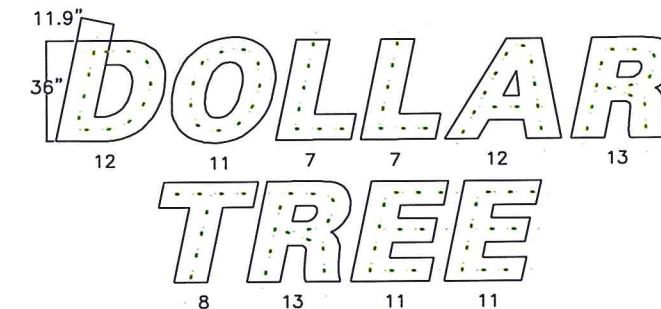
EVENING VIEW  
SCALE: NTS



FRONT VIEW  
SCALE: 3/16"=1'-0"



ESTIMATED PRODUCT B.O.M. PER SIGN:  
 22 Each Prism White 6500K Modules - 15'  
 PN: 701269-6WSJ1-MB  
 1 Each 60C1 (Damp/Dry locations) or Modular 60 (Wet location) 60W  
 Power Supply 12VDC  
 1 Each 100' Roll of Jacketed Cable



ESTIMATED PRODUCT B.O.M. PER SIGN:  
 105 Each Prism Green Modules - 70'  
 PN: 701269-GRSJ1-MB  
 2 Each 60C1 (Damp/Dry locations) or Modular 60 (Wet location) 60W  
 Power Supplies 12VDC  
 1 Each 100' Roll of Jacketed Cable

### SPECIFICATIONS

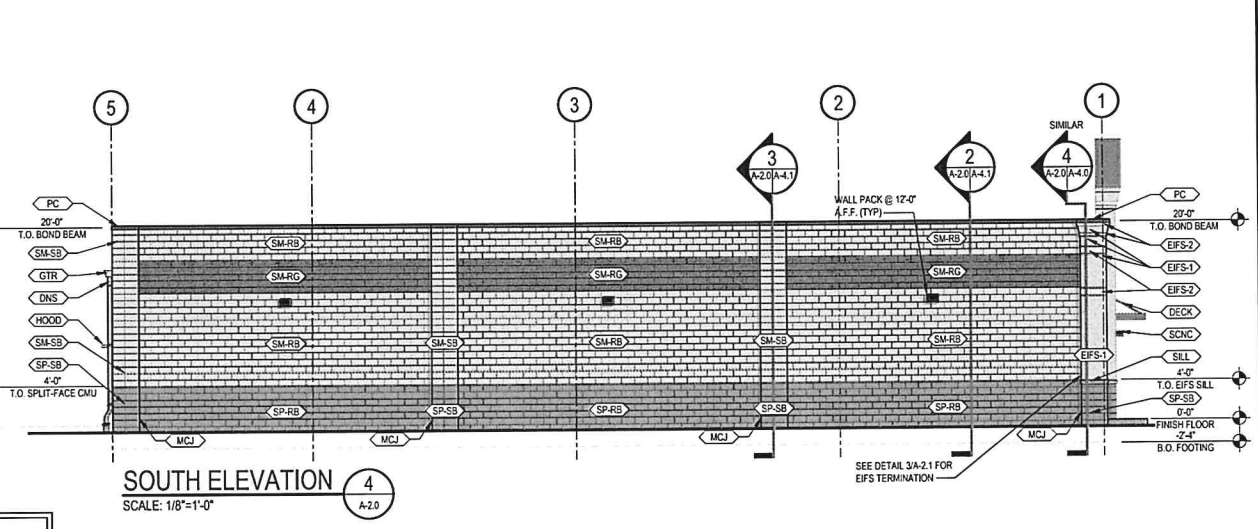
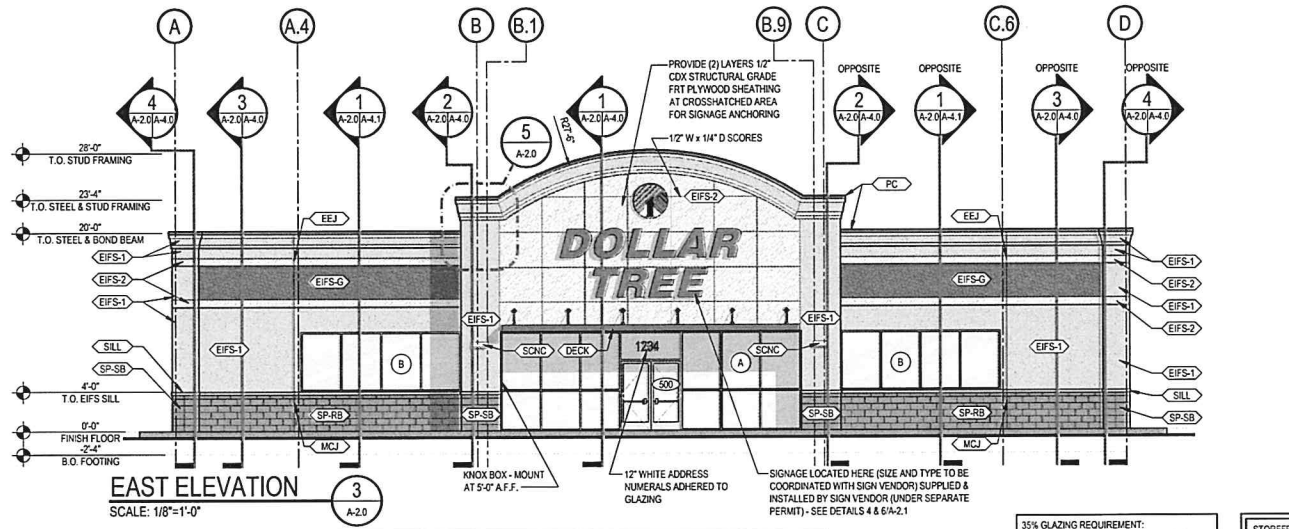
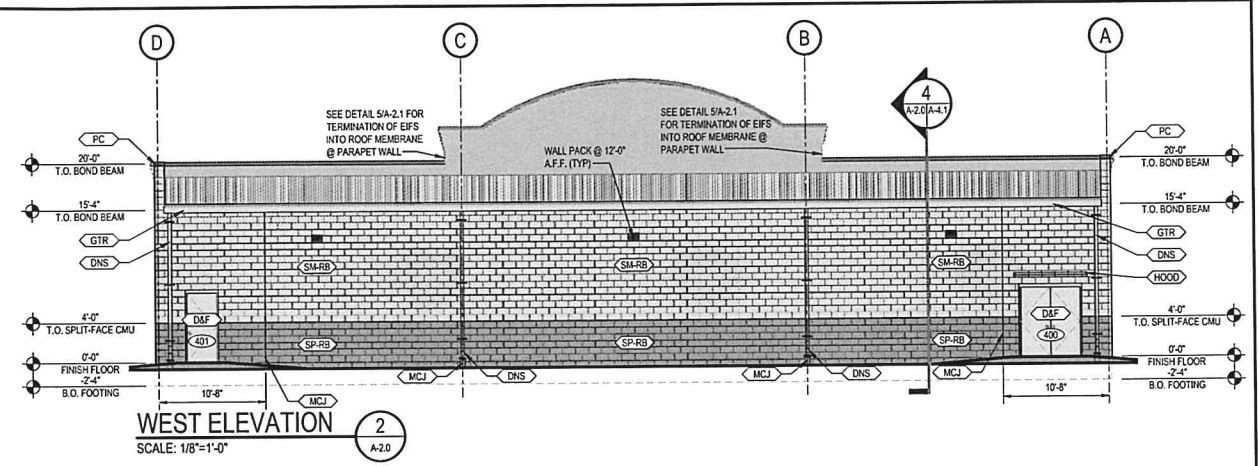
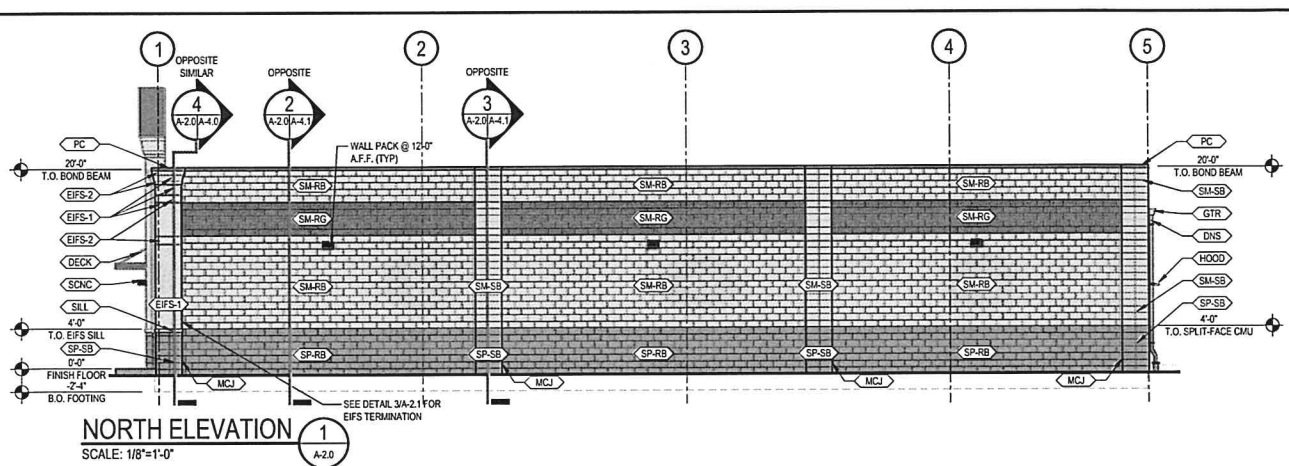
- LETTER FACES: WHITE ACRYLIC W/ APPLIED VINYL FIRST SURFACE
- LOGO FACES: WHITE LEXAN W/ APPLIED VINYL FIRST SURFACE
- RETURNS / TRIMCAP: DURANODIC BRONZE
- ILLUMINATION: GREEN L.E.D. MODULES FOR LETTERS
- ILLUMINATION: WHITE L.E.D. MODULES FOR LOGO
- RACEWAY: SW AESTHETIC WHITE/STO SMOKED PUTTY

### MATERIALS/FINISHES

- V-1** 3M #3630-156 VIVID GREEN First Surface
- V-2** 3M 3630-146 TRANS VINYL Lt. Kelly Green (PMS 347C)
- V-3** 3M 7725-12 OPAQUE VINYL Black (PMS Process Black)
- P-1** BRONZE Returns and Trim Cap
- P-2** SW AESTHETIC WHITE/STO SMOKED PUTTY Raceway
- M-1** WHITE ACRYLIC Letter Faces
- M-2** WHITE LEXAN Logo Faces

	JOB #: 226986-R0 DATE: 11.20.17 DESIGNER: H. MOLES SALES REP: PROJ MGR: J LAVINSKY	<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>2</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>3</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>4</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>5</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>6</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>7</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>8</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>9</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>10</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	00.00.00	XX	XXXX	2	00.00.00	XX	XXXX	3	00.00.00	XX	XXXX	4	00.00.00	XX	XXXX	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____ QC <b>APPROVED</b> By Dawn Moore at 3:46 pm, Nov 20, 2017		EXTERIOR SIGNAGE 5870 Heame Ave Shreveport, LA 71108 DESIGN PHASE: CONCEPTUAL	SHEET NUMBER <h1>4.0</h1>
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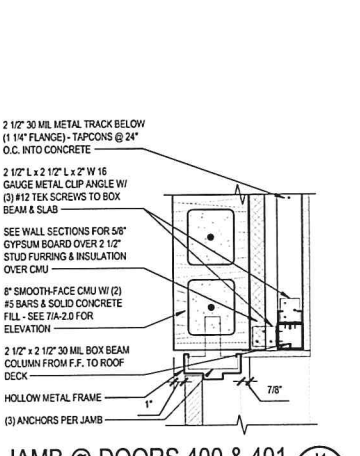
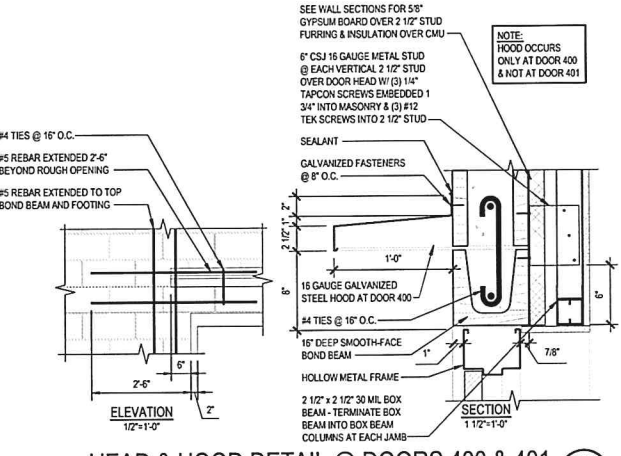
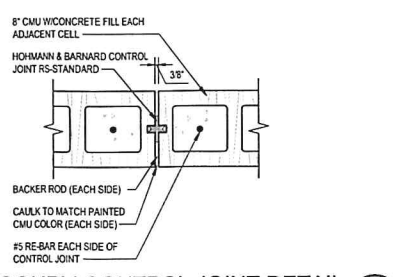
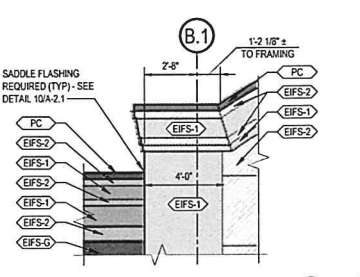
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KEYNOTE	HATCH	DESCRIPTION	COLOR
SM-RB		SMOOTH-FACE CMU - RUNNING BOND	SHERWIN WILLIAMS - BALANCED BEIGE - SW7037
SM-SB		SMOOTH-FACE CMU - STACK BOND	SHERWIN WILLIAMS - BALANCED BEIGE - SW7037
SM-AB		SMOOTH-FACE CMU - RUNNING BOND - ACCENT COLOR	SHERWIN WILLIAMS - EN'NY - SW6925
SP-RB		SPLIT-FACE CMU - RUNNING BOND	SHERWIN WILLIAMS - VIRTUAL TAUPE - SW7039
SP-SB		SPLIT-FACE CMU - STACK BOND	SHERWIN WILLIAMS - VIRTUAL TAUPE - SW7039
EFS-1		EFS - COLOR 1 (FINISH - PRODUCT STO 310)	STO 'SMOKED PUTTY' 93240 (NA10-0052)
EFS-2		EFS - COLOR 2 (FINISH - PRODUCT STO 310)	STO 'SMOKED PUTTY' 93240 (NA10-0053)
EFS-G		EFS - ACCENT COLOR (FINISH - PRODUCT STOLT 130)	STO SW 'EN'NY' SW6925 (NA10-0054)
SILL		1" x 3 5/8" EFS SILL W/ BEVEL - SEE DETAIL 5/A-2.1	STO 'SMOKED PUTTY' 93240 (NA10-0053)
PC	NA	24 GAUGE GALVANIZED METAL PARAPET CAP PER ANSI SPRI ES-1 ASSEMBLY UL-12A	SHERWIN WILLIAMS - EN'NY - SW6925
DNS	NA	4"x4" GALVANIZED METAL DOWNSPOUT W/ 3 STRAPS	PAINT TO MATCH ADJACENT CMU - USE 'BALANCED BEIGE' - SW7037 OVER 'SM-RB' & 'VIRTUAL TAUPE' - SW7039 OVER 'SP-SB'
GTR	NA	8" GALVANIZED METAL GUTTER	SHERWIN WILLIAMS 'BALANCED BEIGE' SW7037
DECK	NA	3/4" METAL DECK CANOPY - HANGER ROD SUPPORTED W/ 8" FASCIA - SUPPLIED & INSTALLED BY SIGN VENDOR - GC TO PROVIDE & INSTALL WALL BOLTS (SEE SPECS) (SEE A-1.0 FOR LENGTHS & APPLICABLE DETAILS)	SHERWIN WILLIAMS - EN'NY - SW6925
HOOD	NA	16 GAUGE GALVANIZED STEEL HOOD (REFER TO DETAIL 7/A-2.0)	SHERWIN WILLIAMS 'BALANCED BEIGE' SW7037
SCNC		LITHONIA WSR LED WALL SCONCE @ 8'-6" A.F.F. (SEE ELECTRICAL)	DBD20 - 'DARK BRONZE'
DAF	NA	STEEL DOOR & HOLLOW METAL FRAME	SHERWIN WILLIAMS 'BALANCED BEIGE' SW7037
A		STOREFRONT TYPE (REFER TO SHEET A-3.0)	PAINTING NOTES: (1) COAT OF S-W LIXON BLOCK SURFACER A24W200 (OR EQUAL) (2) COATS OF S-W COMPLEX XL ELASTOMERIC HIGH BUILD COATING, AS-400 SERIES (OR EQUAL)
500		DOOR NUMBER (REFER TO SHEET A-3.1)	METAL - (2) COATS OF S-W METALTEX ACRYLIC SEM-GLOSS (B42 SERIES)
MCJ		MASONRY CONTROL JOINT (REFER TO DETAIL 6/A-2.0)	LINTELS - PAINT STOREFRONT LINTELS PER METAL NOTE ABOVE WITH SHERWIN WILLIAMS 'BALANCED BEIGE' SW7037 AFTER PRIMING WITH (1) COAT OF S-W PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER (B66-310 SERIES)
EEJ		EFS EXPANSION JOINT (REFER TO DETAIL 2/A-2.1)	

**35% GLAZING REQUIREMENT:**  
TO COMPLY WITH SECTION 4.3.D (TABLE 4.4) OF THE UNIFIED DEVELOPMENT CODE, GLAZING CALCULATIONS HAVE BEEN PROVIDED. THE PERCENTAGE OF THE FRONT FACADE CONSISTED BY GLAZING BETWEEN 2' & 14' ABOVE FINISH GRADE AT THE FRONT ENTRANCE IS AS FOLLOWS:  
  
EAST ELEVATION (FRONT):  
SURFACE AREA: 2158 SF  
AREA FROM 2' & 14' AFG: 1160 SF  
GLAZED AREA FROM 2' TO 14' AFG: 437 SF  
PERCENT GLAZED FROM 2' TO 14' AFG: 37.67%  
37.67% > 35% ✓

**STOREFRONT NOTES:**  
1. ALL STOREFRONT SHALL BE 1" LOW-E CLEAR INSULATED GLASS - TEMPERED WHERE REQUIRED - INSIDE A KAWNEER 451-T CLEAR ANODIZED FRAME.  
2. STOREFRONT DOOR SHALL BE A KAWNEER 350 ALUMINUM DOOR.  
  
**ROOF/RU NOTES:**  
1. ROOF IS TO BE A FULLY-ADHERED WHITE TPO ROOF SYSTEM OVER 2 LAYERS OF POLYISO ROOF INSULATION.  
2. RUTS WILL BE SCREENED BY THE PARAPET WALLS. NO UNITS WILL BE LOCATED ON THE GROUND AND THE PARAPET WALLS WILL SCREEN THE UNITS FROM VIEW ON HEARNE AVE.  
3. ROOF WILL DRAIN ON 1/4" SLOPE TO THE REAR (WEST) OF THE BUILDING.



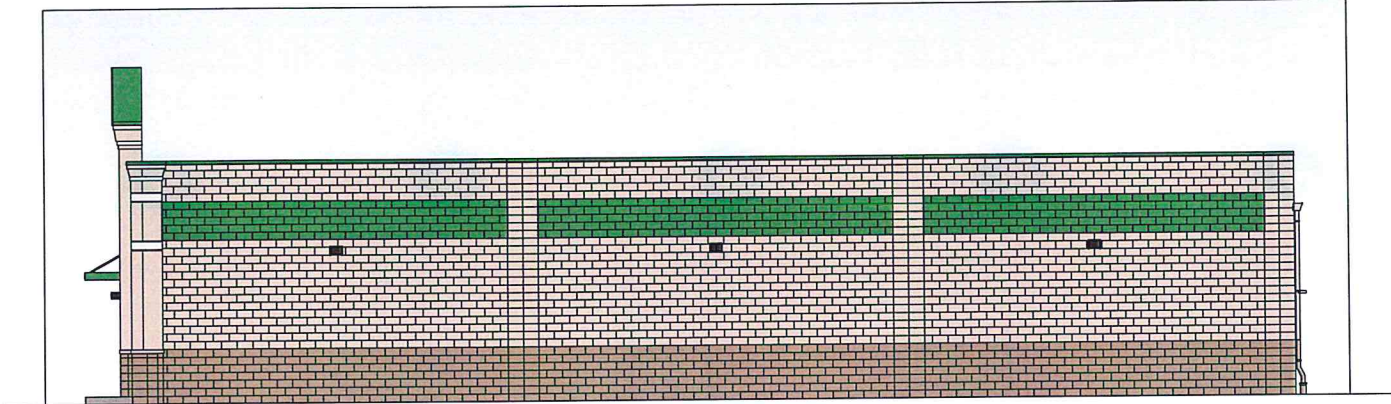
	11-17-17	MMA	LOG	SITE PLAN APPLICATION
	REV.	DATE	DRN	CHK
DOCUMENT CONTROL				

		SHREVEPORT, LA	
		EXTERIOR ELEVATIONS	
PROJ. NO.	1705-45	DWG. NO.	A-2.0

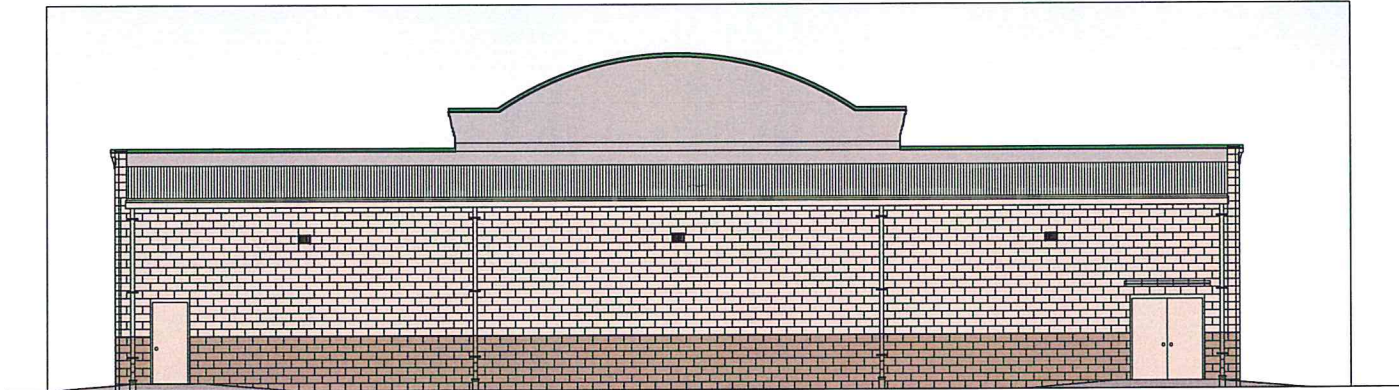
I:\1705-dollar tree\45-shreveport\dwg\A-2.0 Exterior Elevations.dwg, A-2.0, 11/17/2017 8:25:39 AM, AutoCAD PDF (General Documentation).pc3, Mark



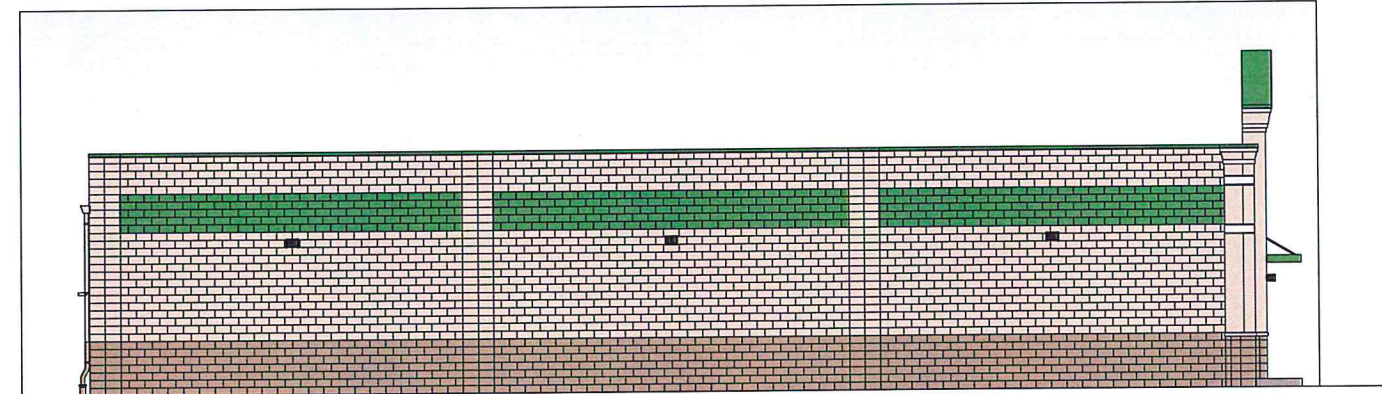
# GREEN STRIPE PAINTED BY OTHERS



**RIGHT ELEVATION**



**REAR ELEVATION**



**LEFT ELEVATION**



SW ENVY



SW BALANCED BEIGE / STO SANDSTONE



SW AESTHETIC WHITE / STO SMOKED PUTTY



SW VIRTUAL TAUPE

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JOB #: 226986-R0  
DATE: 11.20.17  
DESIGNER: H. MOLES  
SALES REP:  
PROJ MGR: J LAVINSKY

REV.	DATE	BY	DESCRIPTION
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3	00.00.00	XX	XXXX
4	00.00.00	XX	XXXX
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6	00.00.00	XX	XXXX
7	00.00.00	XX	XXXX
8	00.00.00	XX	XXXX
9	00.00.00	XX	XXXX
10	00.00.00	XX	XXXX

CLIENT APPROVAL	DATE
LANDLORD APPROVAL	DATE
QC	<p><b>APPROVED</b> By Dawn Moore at 3:46 pm, Nov 20, 2017</p>

**DOLLAR TREE**

EXTERIOR SIGNAGE  
5870 Heame Ave  
Shreveport, LA 71108  
DESIGN PHASE: CONCEPTUAL

SHEET NUMBER

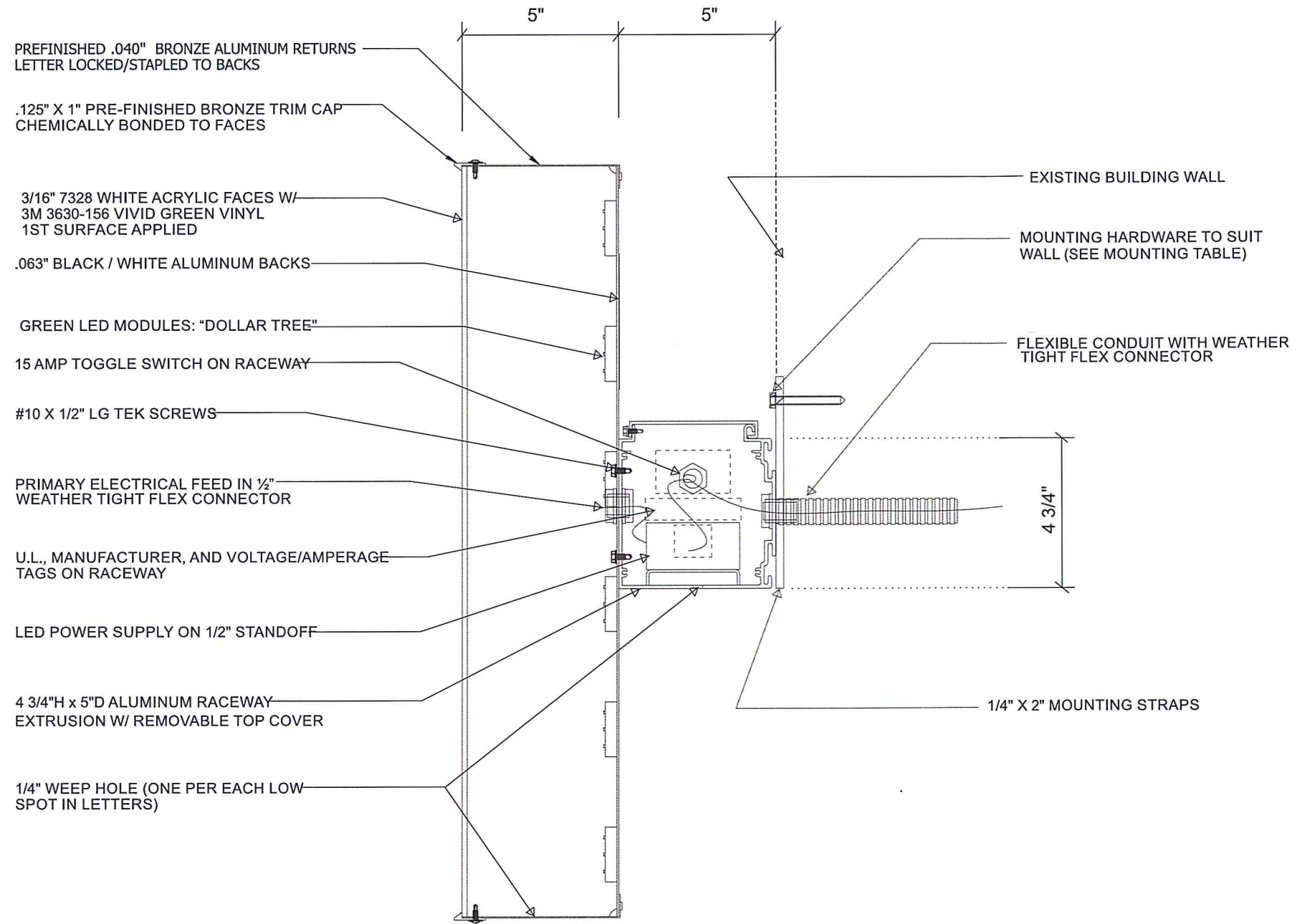
**3.0**

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# CL.1 36" FACE LIT CHANNEL LETTERS (DT1RW36-224-5LS) (Qty. 1)


SQUARE FOOTAGE: APPROX. 210.2 SQ FT

ALLOWABLE SQUARE FOOTAGE: NTE 40 SQ. FT. **VARIANCE MAY BE REQUIRED**

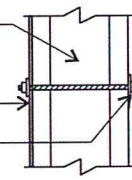
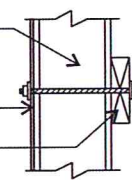


### GENERAL NOTES:

- U.L. LISTED
- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH "NEC" REF. SECTION 600.4
- ALL ELECTRICAL SIGN SECTIONS TO HAVE U.L. LABEL IN ACCORDANCE WITH "NEC" 600.4 AND MANUFACTURERS LABEL LOCATED NEXT TO DISCONNECT SWITCH
- ALL NON-CURRENT CARRYING METAL PARTS OF SIGN SHALL BE GROUNDED & BONDED IN ACCORDANCE WITH "NEC" 250
- ALL WIRING CONTAINED IN ENCLOSED AREAS WITH LAMPS SHALL BE FIXTURE RATED
- SPlicing OF CONDUCTORS SHALL BE MADE IN JUNCTION BOXES OR SIMILAR METAL ENCLOSURES
- AT THE POINT THAT ELECTRICAL CABLE PASSES THRU THE SIGN BOX, IT SHALL PASS THRU A U.L. LISTED RUBBER GROMMET

 <b>REQUIRED</b>	<b>U.L. LABELS REQUIRED</b>
	THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.  <b>NOTE:</b> A primary disconnect switch shall be externally located at end of sign as stated in the national electric code section 600.6 (by sign fabricator)

### MOUNTING METHOD TABLE

PREFERRED MOUNTING METHOD	ALTERNATE MOUNTING METHOD
<b>3/8" THRU BOLTS</b>  	<b>MUST BE APPROVED BY JONES SIGN BEFORE USING</b> <b>3/8" LAGS W/ EXPANSION SHIELDS</b> (USE ONLY WHEN ACCESS IS NOT AVAILABLE FOR THRU BOLTING)  <b>3/8" LAG w/ EXPANSION SHIELD</b> (WHEN ACCESS IS NOT AVAILABLE FOR THRU-BOLTING)
CONCRETE OR CMU CABINET FRAME OR RACEWAY BAR WASHER ON 2" BACK OF WALL	CONCRETE CABINET FRAME OR RACEWAY BAR DEPTH OF EMBED:
<b>ZIP SYSTEM</b>  	
CABINET FRAME OR RACEWAY BAR 2x4 BACKER ON BACK OF WALL	

### SIGN 1 - ELECTRICAL DETAILS

(3) 60 W POWER SUPPLIES @ .58 AMPS EACH  
 TOTAL AMPS: 1.74  
 (1) 20 AMP 120V CIRCUIT REQUIRED

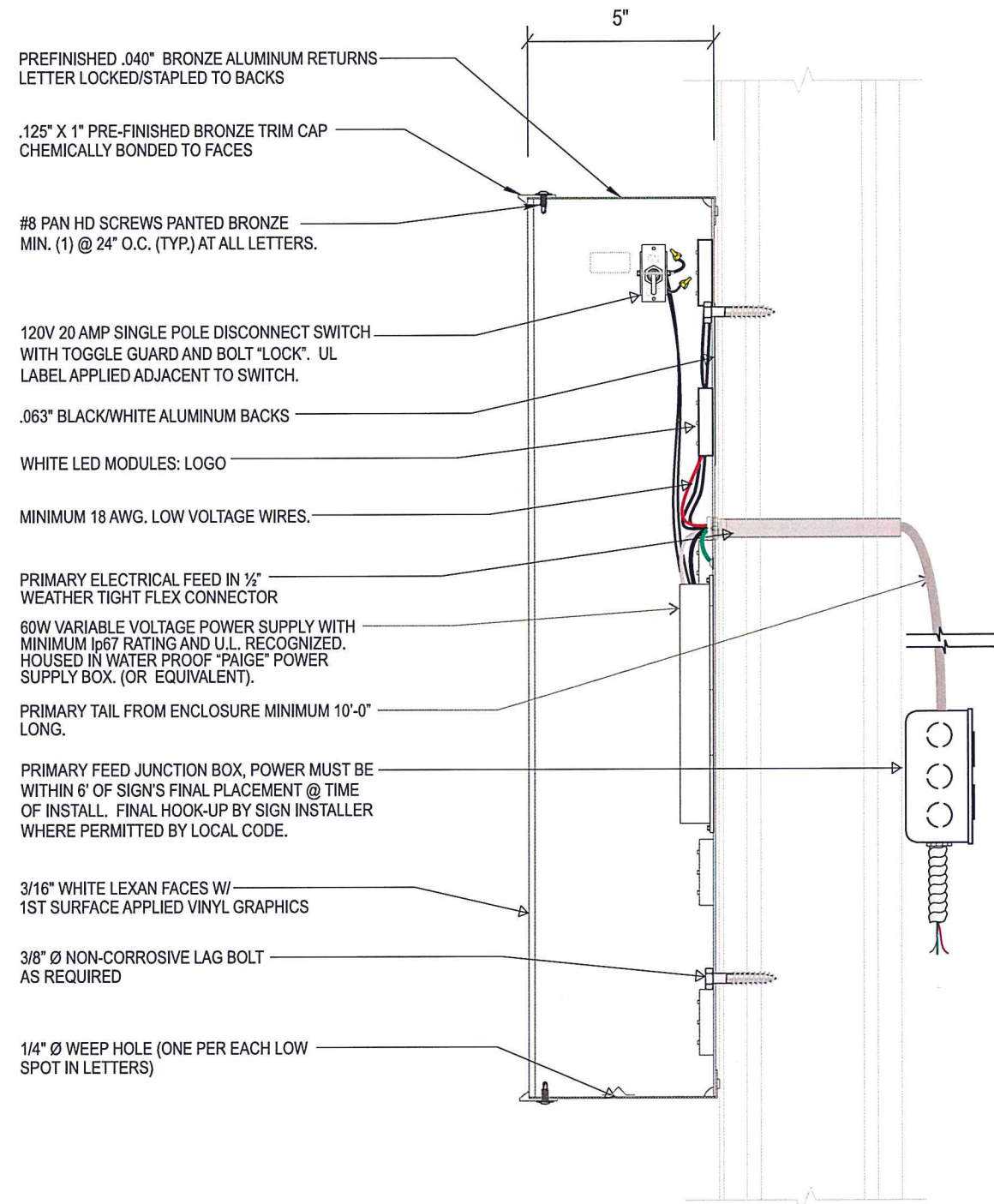
 Your Vision. Accomplished. WWW.JONESSIGN.COM	JOB #: 226986-R0 DATE: 11.20.17 DESIGNER: H. MOLES SALES REP: PROJ MGR: J LAVINSKY	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>2</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>3</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>4</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>5</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>6</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>7</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>8</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>9</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>10</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	00.00.00	XX	XXXX	2	00.00.00	XX	XXXX	3	00.00.00	XX	XXXX	4	00.00.00	XX	XXXX	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____ QC <b>APPROVED</b> <i>By Dawn Moore at 2:46 pm, Nov 20, 2017</i>	<b>DOLLAR TREE</b>	EXTERIOR SIGNAGE 5870 Heame Ave Shreveport, LA 71108  DESIGN PHASE: CONCEPTUAL	SHEET NUMBER <b>5.0</b>
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# CL.1 42" LOGO (DT1WS42-42-5L) (Qty. 1)

SQUARE FOOTAGE: APPROX. 210.2 SQ FT

ALLOWABLE SQUARE FOOTAGE: NTE 40 SQ. FT. **VARIANCE MAY BE REQUIRED**



### GENERAL NOTES:

- U.L. LISTED
- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH "NEC" REF. SECTION 600.4
- ALL ELECTRICAL SIGN SECTIONS TO HAVE U.L. LABEL IN ACCORDANCE WITH "NEC" 600.4 AND MANUFACTURERS LABEL LOCATED NEXT TO DISCONNECT SWITCH
- ALL NON-CURRENT CARRYING METAL PARTS OF SIGN SHALL BE GROUNDED & BONDED IN ACCORDANCE WITH "NEC" 250
- ALL WIRING CONTAINED IN ENCLOSED AREAS WITH LAMPS SHALL BE FIXTURE RATED
- SPlicing OF CONDUCTORS SHALL BE MADE IN JUNCTION BOXES OR SIMILAR METAL ENCLOSURES
- AT THE POINT THAT ELECTRICAL CABLE PASSES THRU THE SIGN BOX, IT SHALL PASS THRU A U.L. LISTED RUBBER GROMMET

U.L. LABELS REQUIRED

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.

**NOTE:**  
A primary disconnect switch shall be externally located at end of sign as stated in the national electric code section 600.6 (by sign fabricator)

### MOUNTING METHOD TABLE

PREFERRED MOUNTING METHOD	ALTERNATE MOUNTING METHOD
3/8" THRU BOLTS	<b>MUST BE APPROVED BY JONES SIGN BEFORE USING</b>
<p>CONCRETE OR CMU</p> <p>CABINET FRAME OR RACEWAY BAR</p> <p>WASHER ON BACK OF WALL</p> <p style="text-align: center;">2"</p>	<p>3/8" LAGS W/ EXPANSION SHIELDS (USE ONLY WHEN ACCESS IS NOT AVAILABLE FOR THRU BOLTING)</p>
<p>WOOD OR STEEL FRAME</p> <p>CABINET FRAME OR RACEWAY BAR</p> <p>2x4 BACKER ON BACK OF WALL</p>	<p>3/8" LAG w/ EXPANSION SHIELD (WHEN ACCESS IS NOT AVAILABLE FOR THRU-BOLTING)</p> <p>CONCRETE</p> <p>CABINET FRAME OR RACEWAY BAR</p> <p>DEPTH OF EMBED:</p>

### SIGN 1 - ELECTRICAL DETAILS

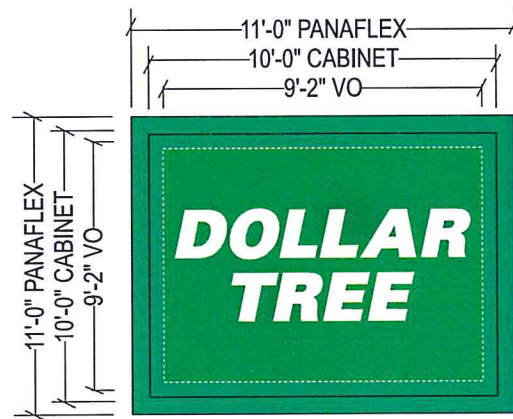
(2) 60 W POWER SUPPLIES @ .58 AMPS EACH  
TOTAL AMPS: 1.16  
(1) 20 AMP 120V CIRCUIT REQUIRED

<p style="font-size: 8px;">Your Vision. Accomplished.</p> <p style="font-size: 8px;">WWW.JONESSIGN.COM</p>	<p><b>JOB #: 226986-R0</b></p> <p>DATE: 11.20.17</p> <p>DESIGNER: H. MOLES</p> <p>SALES REP:</p> <p>PROJ MGR: J LAVINSKY</p>	<table border="1" style="width: 100%; border-collapse: collapse; font-size: 8px;"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>2</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>3</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>4</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>5</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>6</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>7</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>8</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>9</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>10</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	00.00.00	XX	XXXX	2	00.00.00	XX	XXXX	3	00.00.00	XX	XXXX	4	00.00.00	XX	XXXX	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	<p>CLIENT APPROVAL _____ DATE _____</p> <p>LANDLORD APPROVAL _____ DATE _____</p> <p>QC <b>APPROVED</b> <i>By Dawn Moore at 3:46 pm, Nov 20, 2017</i></p>		<p>EXTERIOR SIGNAGE</p> <p>5870 Heame Ave</p> <p>Shreveport, LA 71108</p> <p>DESIGN PHASE: CONCEPTUAL</p>	<p>SHEET NUMBER</p> <h1 style="font-size: 24px; margin: 0;">6.0</h1>
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# PS.1 D/F INTERNALLY ILLUMINATED PYLON (Qty. 1)

SQUARE FOOTAGE: APPROX. 75.0 SQ FT  
ALLOWABLE SQUARE FOOTAGE: N/A



**Vinyl Detail**  
Scale: 3/16" = 1'-0"

### Electrical: Pylon

Ballast: ( 2 ) HF2696 @ 2.6 amps  
(10) F84T12/ CW/ HO Fluorescent Lamps  
Total amps = 5.2

### General Notes:

This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code.

- 1) Grounded and bonded per NEC 600.7/NEC 250
- 2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps
- 3) Sign is to be UL listed per NEC 600.3
- 4) UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer\*

\*For multiple signs, a disconnect is permitted but not required for each section.

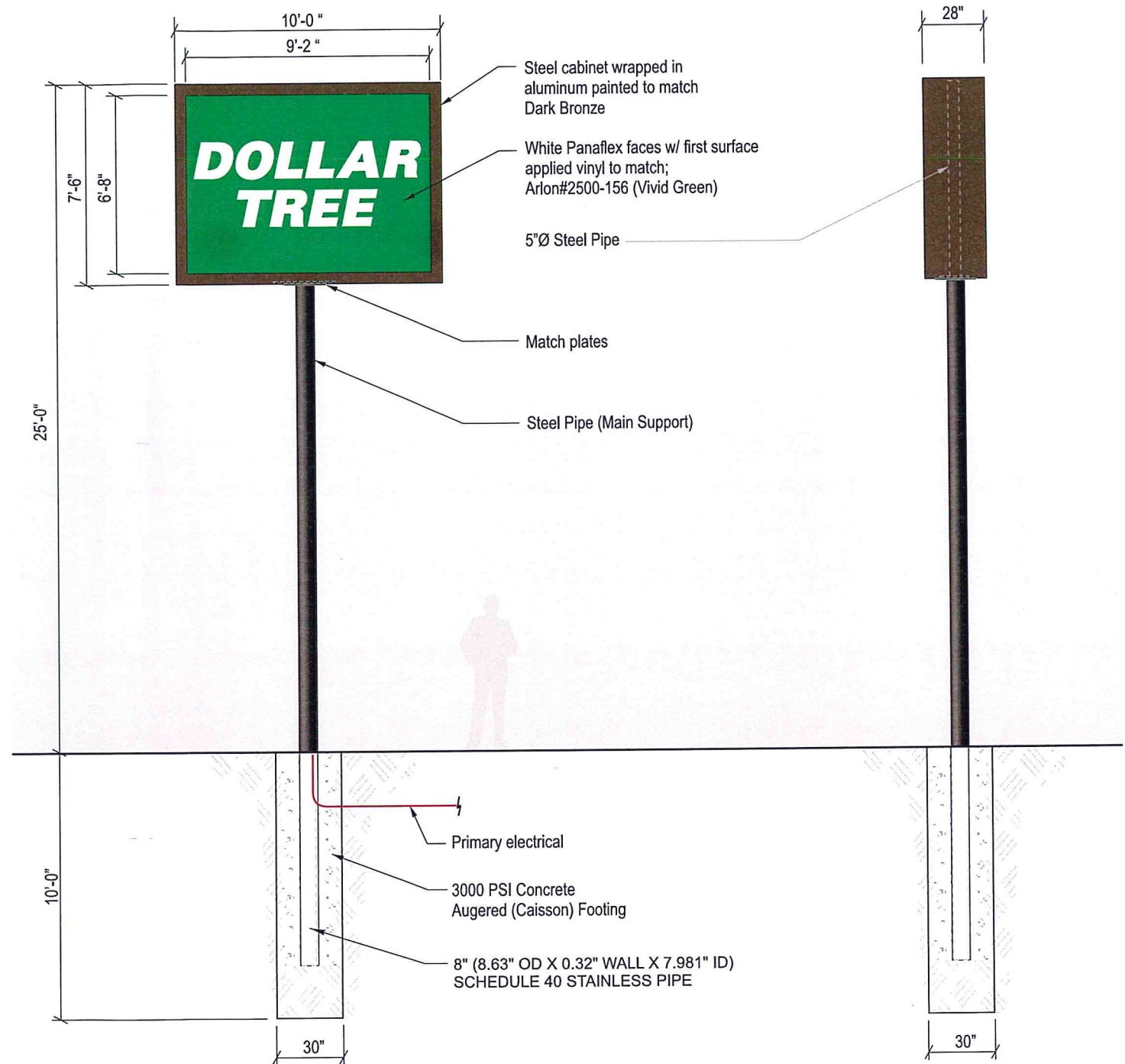
### SPECIFICATIONS:

D/F INTERNALLY ILLUMINATED SIGN CABINET  
W/ PAINTED BRONZE RETURNS.  
PAINTED BRONZE RETAINER.  
WHITE LEXAN FACE W/ FULL COLOR 1ST SURFACE  
GRAPHICS AS SHOWN.

### COLORS/FINISHES

- P-1 DURANODIC BRONZE
- V-2 ARLON-2500-156 VIVID GREN

**\*NOTE: GRAPHICS BY DOLLAR TREE  
PYLON STRUCTURE BY LANDLORD.**



**Pylon Sign Elevation**

Scale: 3/16" = 1'-0"

**Side Elevation**

Scale: 3/16" = 1'-0"

50-10  
=40  
max sign  
height  
80SF

<p><b>JONES SIGN</b> Your Vision. Accomplished. WWW.JONESIGN.COM</p>	JOB #: <b>226986-R0</b> DATE: 11.20.17 DESIGNER: H. MOLES SALES REP: PROJ MGR: J LAVINSKY	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>2</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>3</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>4</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>5</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>6</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>7</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>8</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>9</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>10</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	00.00.00	XX	XXXX	2	00.00.00	XX	XXXX	3	00.00.00	XX	XXXX	4	00.00.00	XX	XXXX	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____ QC <b>APPROVED</b> By Dawn Moore at 3:46 pm, Nov 20, 2017		EXTERIOR SIGNAGE 5870 Heame Ave Shreveport, LA 71108 DESIGN PHASE: CONCEPTUAL	SHEET NUMBER <h1 style="font-size: 2em;">7.0</h1>
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**CA.1 30'-0" METAL CANOPY (Qty 1) SEE ENGINEERING**

SQUARE FOOTAGE: N/A

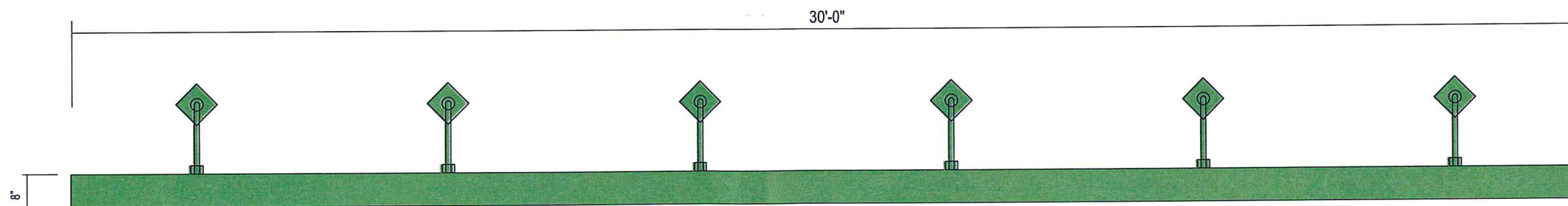
ALLOWABLE SQUARE FOOTAGE: N/A



PROPOSED ELEVATION  
SCALE: NTS



EVENING VIEW  
SCALE: NTS



FRONT VIEW  
SCALE: 3/8"=1'

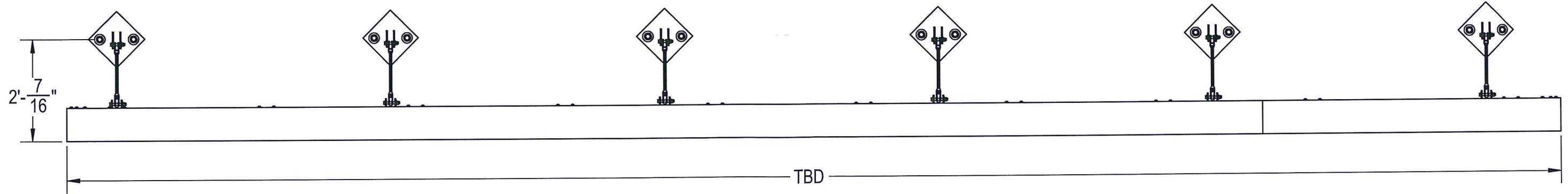
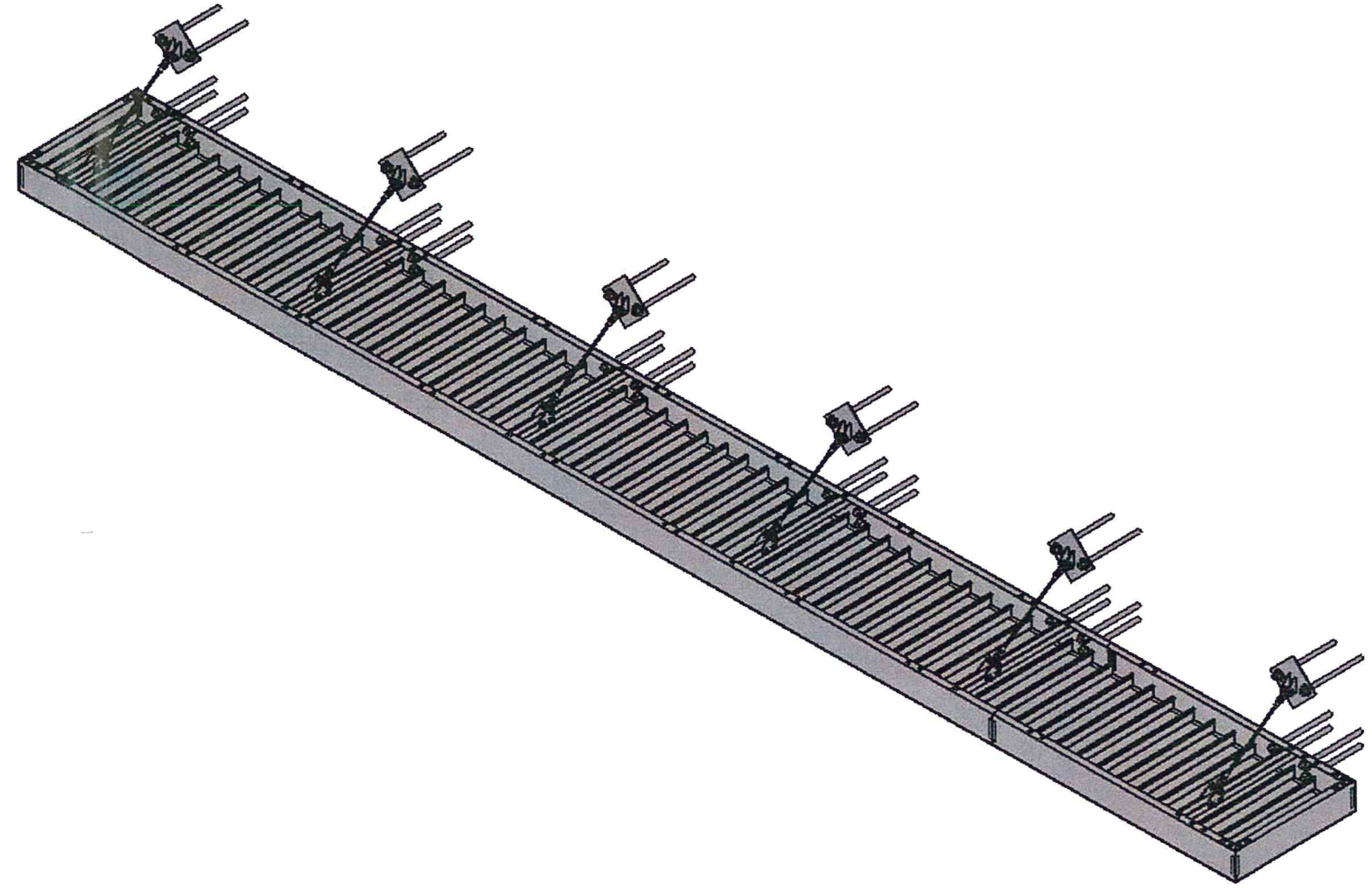
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# CA.1 METAL CANOPY (Qty 1) - REFER TO STAMPED ENGINEERING DRAWINGS

SQUARE FOOTAGE: N/A

ALLOWABLE SQUARE FOOTAGE: N/A



CANOPY FRONT VIEW  
SCALE 1:24

COLOR: SW 6925 ENVY

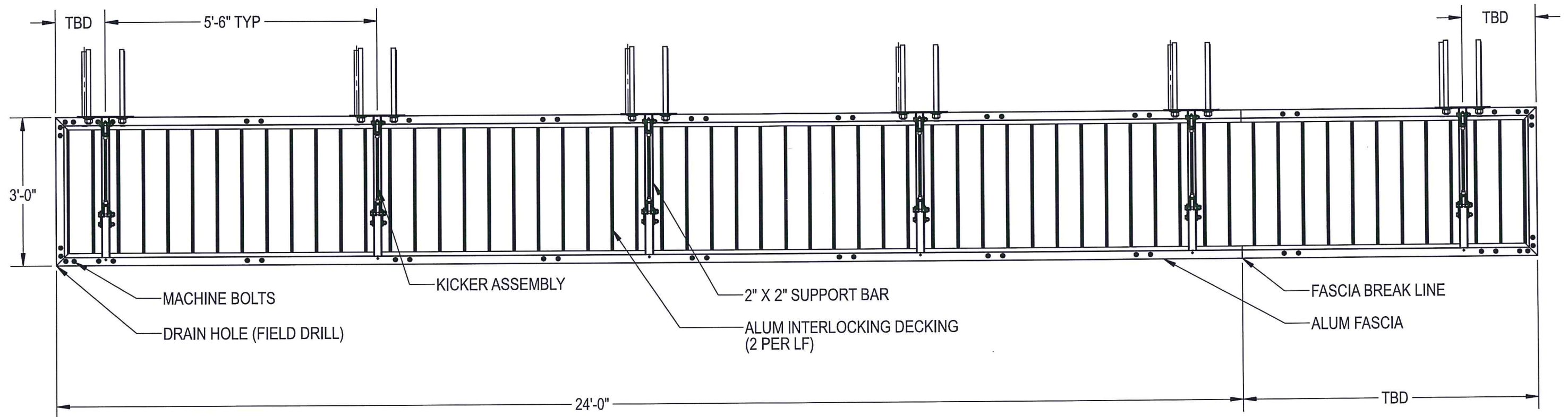
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# CA.1 METAL CANOPY (Qty 1) - REFER TO STAMPED ENGINEERING DRAWINGS

SQUARE FOOTAGE: N/A

ALLOWABLE SQUARE FOOTAGE: N/A



CANOPY PLAN VIEW  
SCALE 1:24

COLOR: SW 6925 ENVY

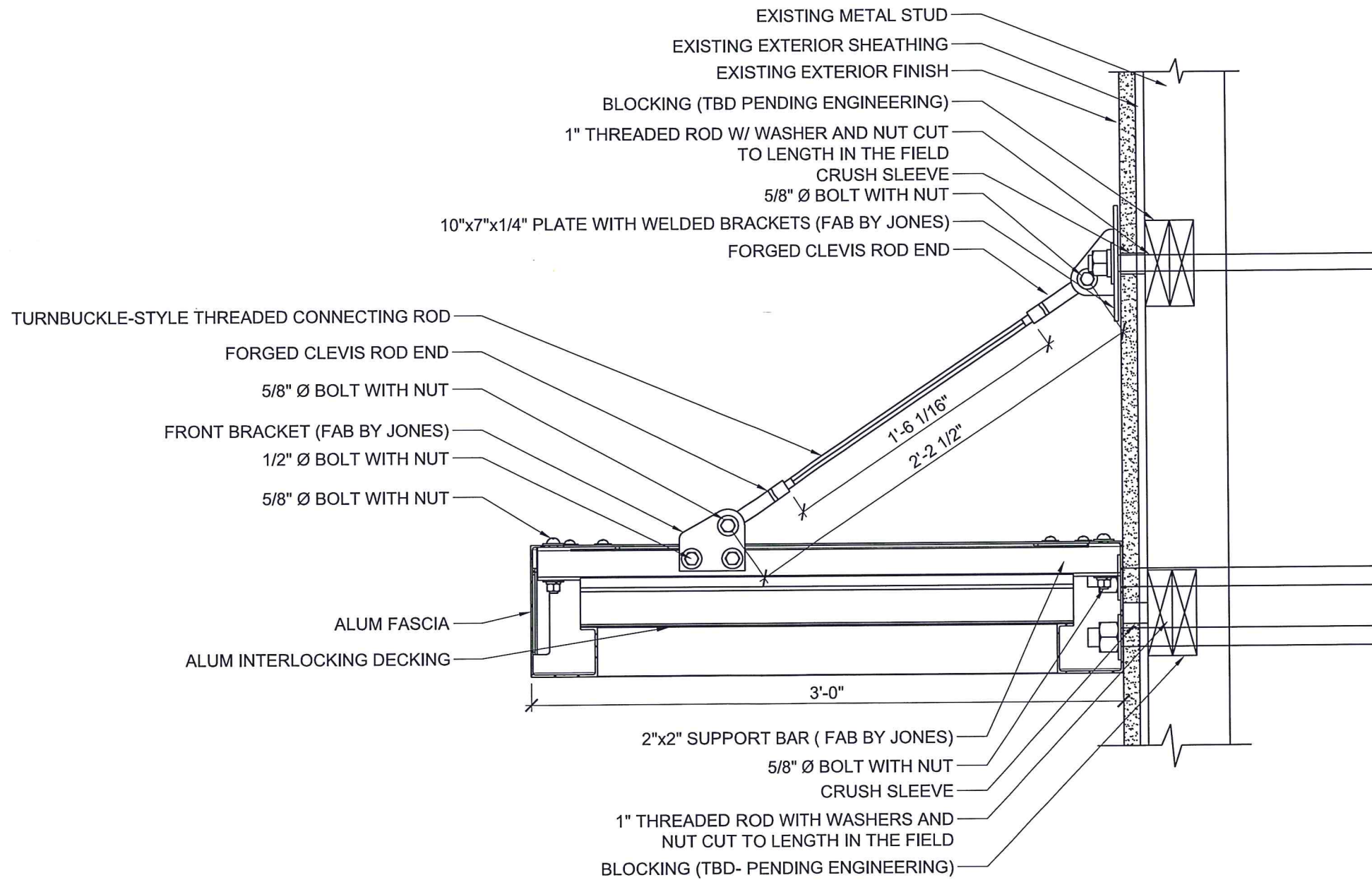
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SQUARE FOOTAGE: N/A

ALLOWABLE SQUARE FOOTAGE: N/A



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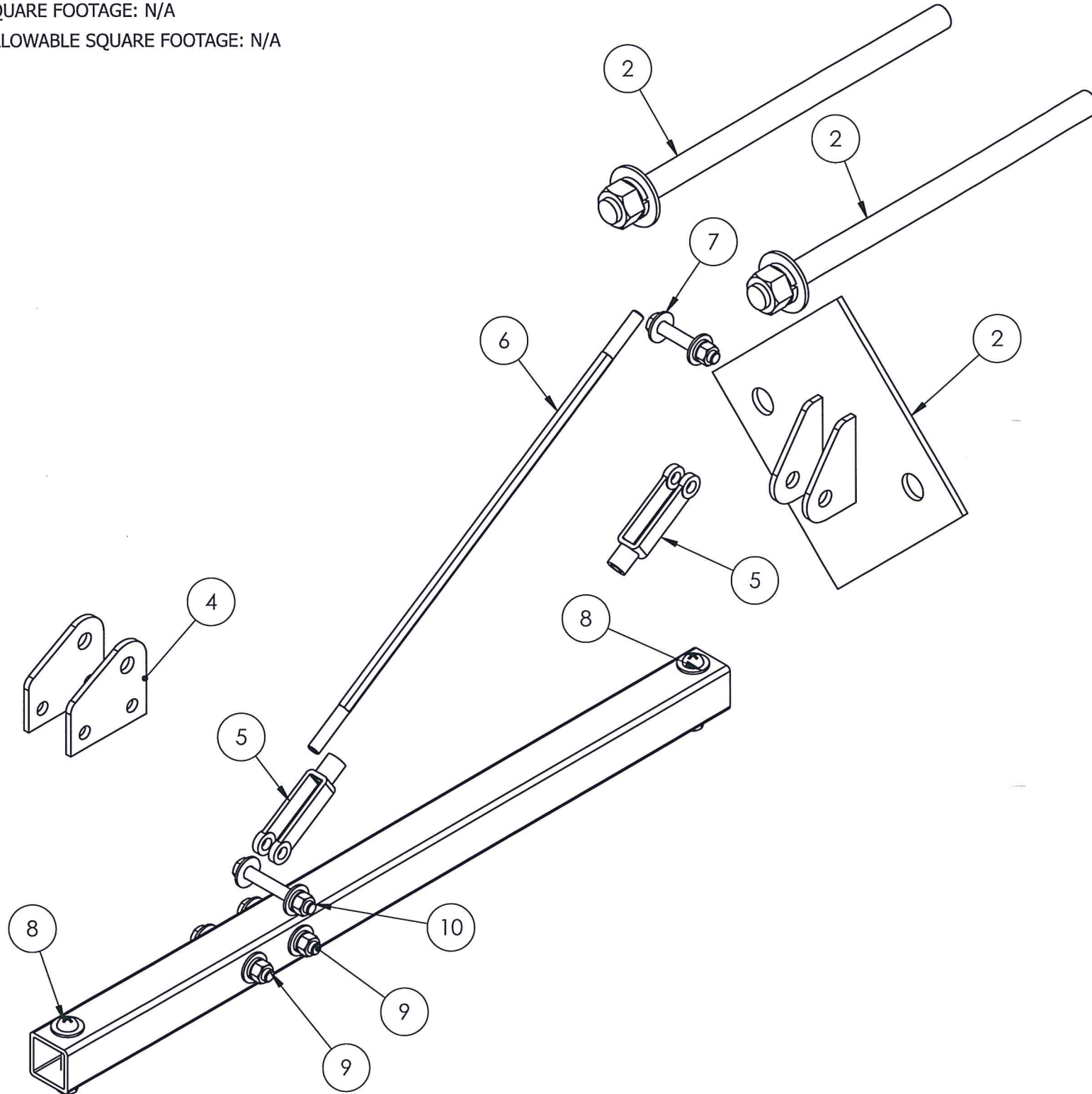
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# CA.1 METAL CANOPY (Qty 1) - REFER TO STAMPED ENGINEERING DRAWINGS

SQUARE FOOTAGE: N/A

ALLOWABLE SQUARE FOOTAGE: N/A



ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1	10"X7"X1/4" PLATE WITH BRACKETS	TBD PER ENGINEERING	1
2	1IN THREADED ROD WITH WASHER AND NUT	TBD PER ENGINEERING	2
3	TOP PLATE WITH BRACKET		1
4	FRONT BRACKET		1
5	FORGED CLEVIS ROD END		2
6	TIE BACK ROD		1
7	5/8"X3.00 IN BOLT WITH NUT AND WASHERS		1
8	5/8"X3.00 IN BOLT ROUND HEAD WITH NUT AND WASHERS		2
9	1/2"X3.50 IN BOLT WITH NUT AND WASHERS		3
10	5/8"X3.50 IN BOLT WITH NUT AND WASHERS		1

COLOR: SW 6925 ENVY

 Your Vision. Accomplished. WWW.JONESSIGN.COM	JOB #: 226986-R0 DATE: 11.20.17 DESIGNER: H. MOLES SALES REP: PROJ MGR: J LAVINSKY	<table border="1" style="width: 100%; border-collapse: collapse; font-size: 8px;"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>2</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>3</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>4</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>5</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>6</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>7</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>8</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>9</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>10</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	00.00.00	XX	XXXX	2	00.00.00	XX	XXXX	3	00.00.00	XX	XXXX	4	00.00.00	XX	XXXX	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____ QC <span style="border: 1px solid black; padding: 2px;">APPROVED By Dawn Moore at 3:46 pm, Nov 20, 2017</span>		EXTERIOR SIGNAGE 5870 Heame Ave Shreveport, LA 71108 DESIGN PHASE: CONCEPTUAL	SHEET NUMBER <span style="font-size: 24px; font-weight: bold;">12.0</span>
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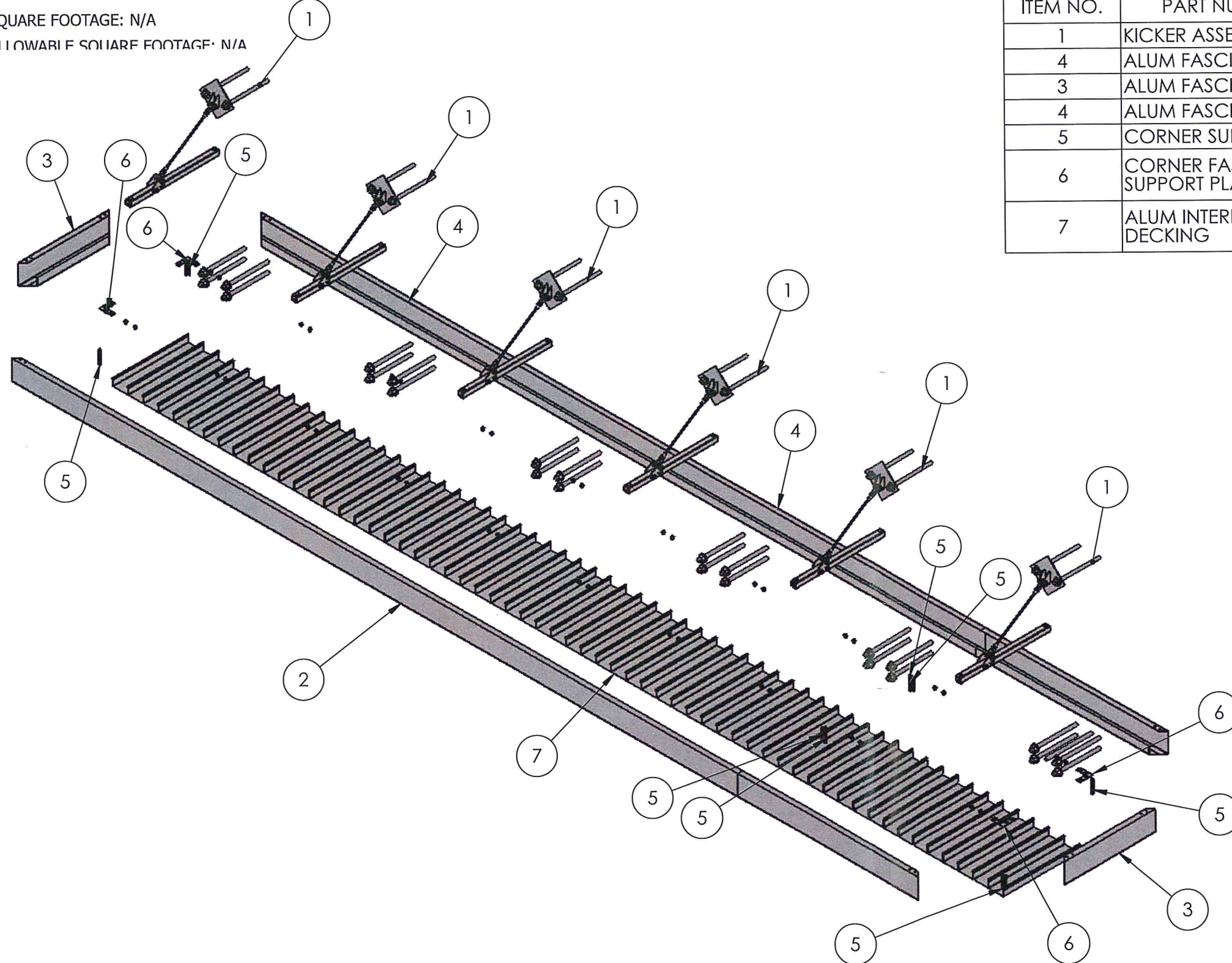
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# CA.1 METAL CANOPY (Qty 1) - REFER TO STAMPED ENGINEERING DRAWINGS

SQUARE FOOTAGE: N/A

ADJOURNING SQUARE FOOTAGE: N/A

ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1		KICKER ASSEMBLY	6
4		ALUM FASCIA - FRONT	1
3		ALUM FASCIA - SIDE	2
4		ALUM FASCIA - BACK	1
5		CORNER SUPPORT	8
6		CORNER FASCIA SUPPORT PLATE	4
7		ALUM INTERLOCKING DECKING	2 PER LINEAL FOOT OF CANOPY
			60



COLOR: SW 6925 ENVY

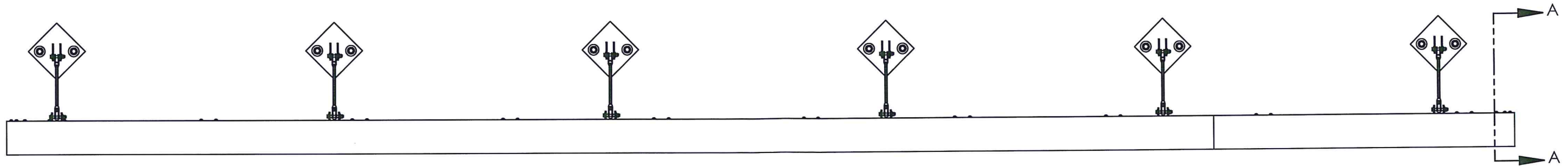
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SQUARE FOOTAGE: N/A

ALLOWABLE SQUARE FOOTAGE: N/A

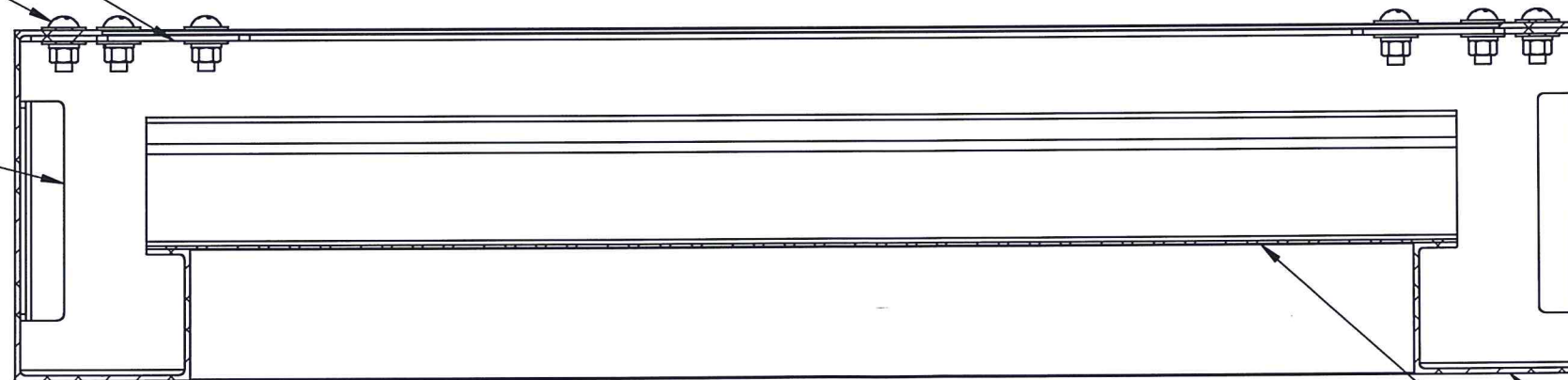


CANOPY FRONT VIEW  
SCALE 1:24

CORNER FASCIA SUPPORT PLATE  
(FAB BY JONES)

3/8" Ø MACHINE BOLTS

FASCIA CORNER SUPPORT  
ANGLE - RIVET ATTACHMENT  
TO FASCIA  
(FAB BY JONES)



SECTION A-A  
SCALE 1:4

ALUM FASCIA

ALUM INTERLOCKING DECKING

COLOR: SW 6925 ENVY

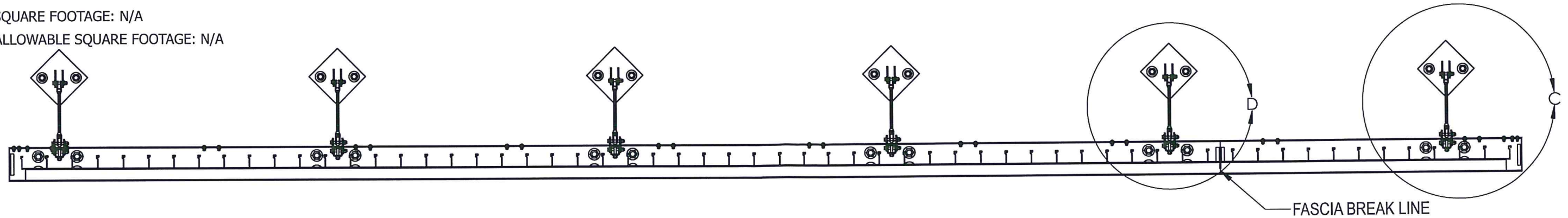
	JOB #: 226986-R0 DATE: 11.20.17 DESIGNER: H. MOLES SALES REP: PROJ MGR: J LAVINSKY	<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>2</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>3</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>4</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>5</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>6</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>7</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>8</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>9</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>10</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	00.00.00	XX	XXXX	2	00.00.00	XX	XXXX	3	00.00.00	XX	XXXX	4	00.00.00	XX	XXXX	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____ QC <b>APPROVED</b> <i>By Dawn Moore at 3:46 pm, Nov 20, 2017</i>		EXTERIOR SIGNAGE 5870 Heame Ave Shreveport, LA 71108	SHEET NUMBER <h1>14.0</h1>
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This is an original, unpublished drawing by Jones Sign Co., Inc. It is for your personal use in conjunction with a project being planned for you by JONES SIGN. It is not to be shown to anyone outside of your organization, nor is it to be used, reproduced, copied or exhibited in any fashion. Use of this design or the salient elements of this design in any sign done by any other company, without the express written permission of JONES SIGN, is forbidden by law and carries a civil forfeiture of up to 25% of the purchase price of the sign. JONES SIGN will endeavor to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used. All sizes and dimensions are illustrated for client's conception of project and are not to be understood as being exact size or exact scale.

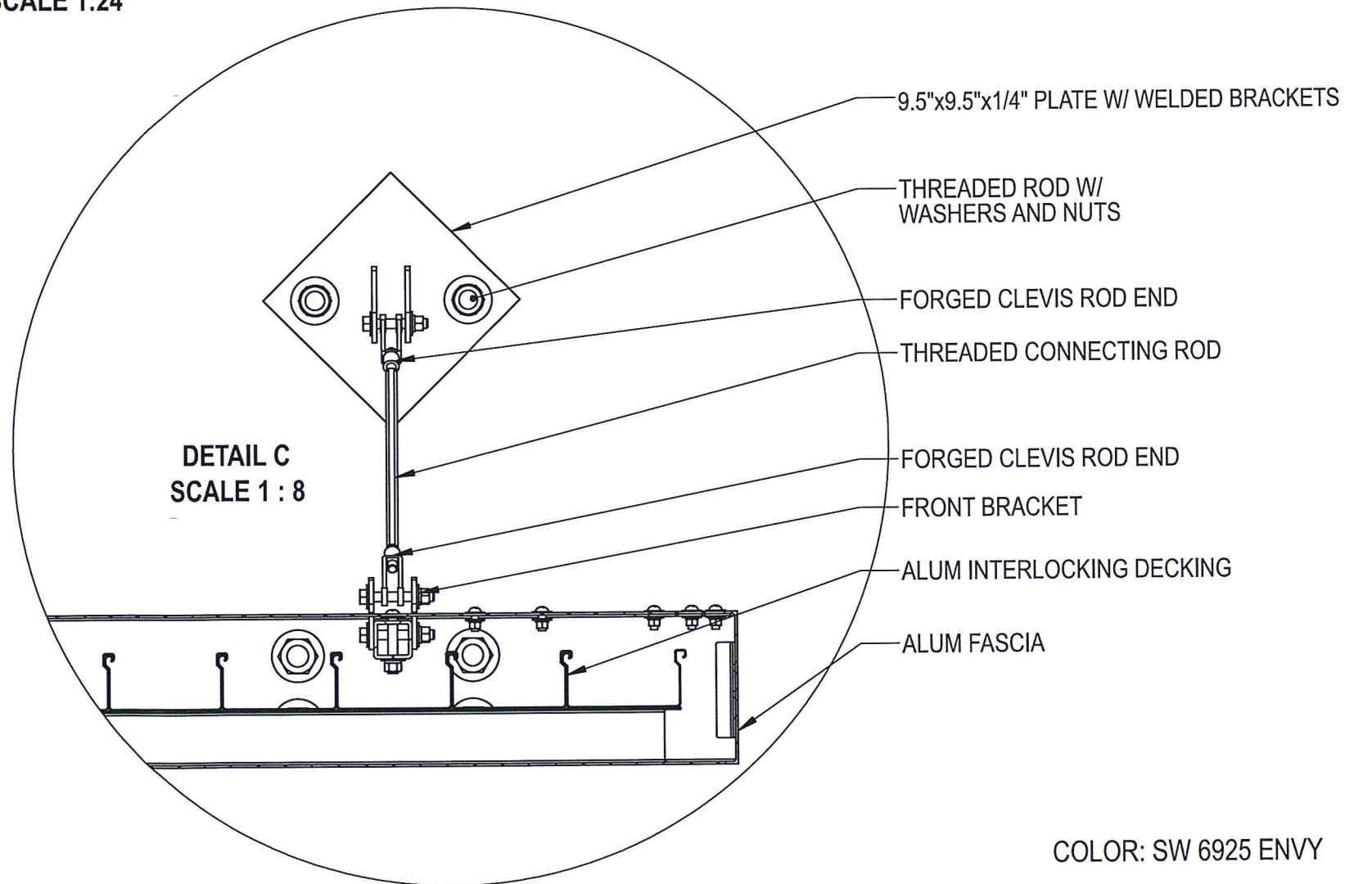
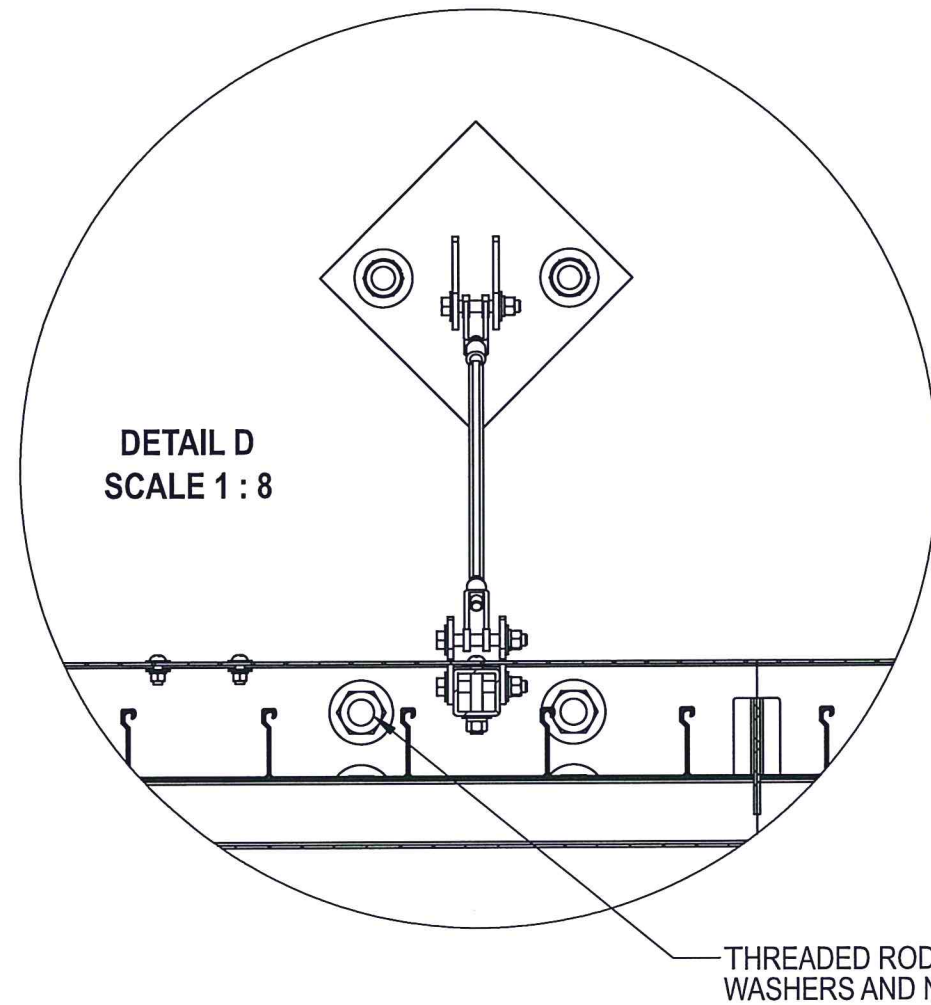
# CA.1 METAL CANOPY (Qty 1) - REFER TO STAMPED ENGINEERING DRAWINGS

SQUARE FOOTAGE: N/A

ALLOWABLE SQUARE FOOTAGE: N/A



CANOPY FRONT SECTION VIEW  
SCALE 1:24



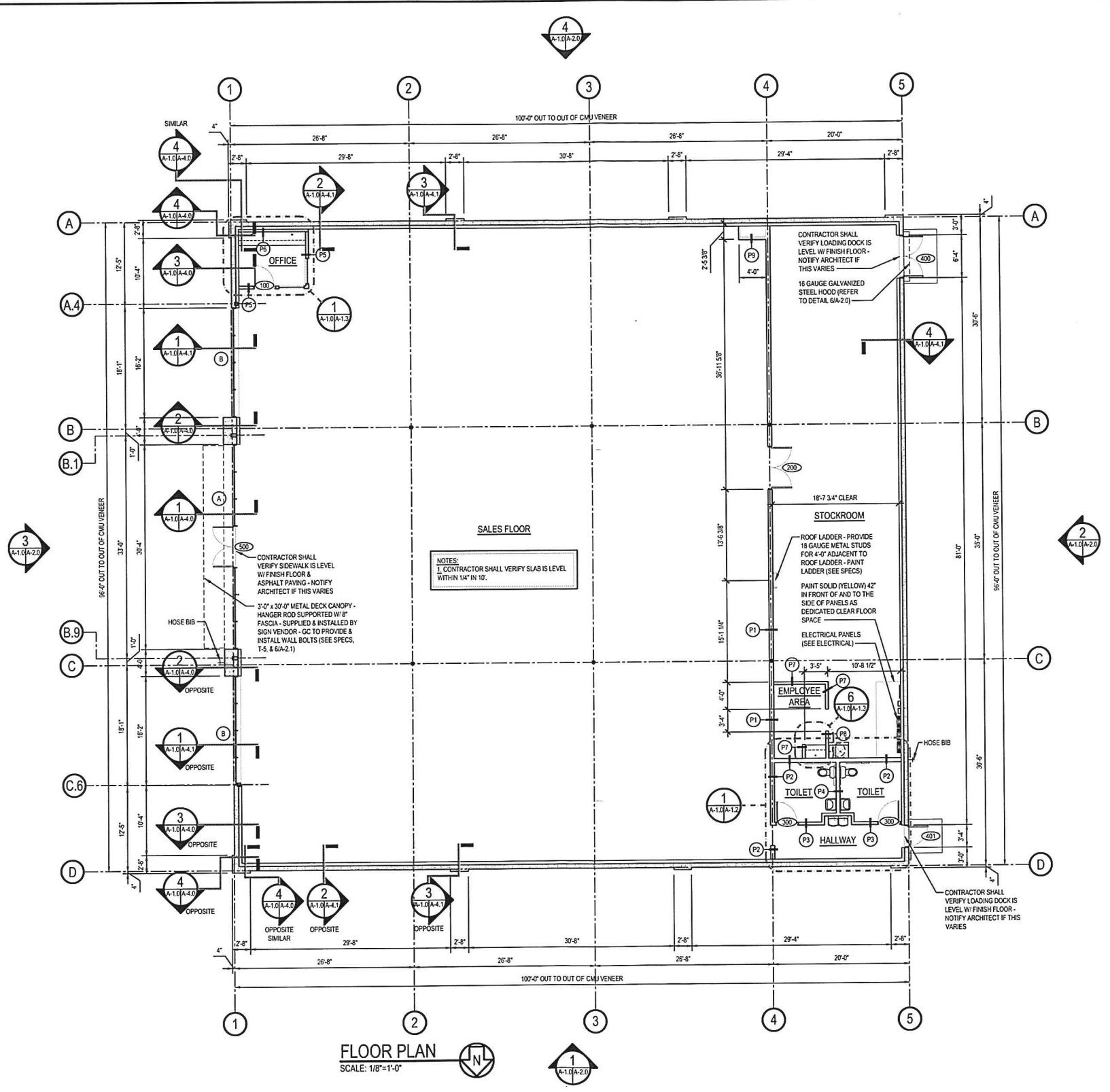
COLOR: SW 6925 ENVY

	JOB #: 226986-R0 DATE: 11.20.17 DESIGNER: H. MOLES SALES REP: PROJ MGR: J LAVINSKY	<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>2</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>3</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>4</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>5</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>6</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>7</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>8</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>9</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>10</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	00.00.00	XX	XXXX	2	00.00.00	XX	XXXX	3	00.00.00	XX	XXXX	4	00.00.00	XX	XXXX	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____ QC <b>APPROVED</b> <i>By Dawn Moore at 2:46 pm, Nov 20, 2017</i>		EXTERIOR SIGNAGE 5870 Heame Ave Shreveport, LA 71108	SHEET NUMBER <h1>15.0</h1>
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n:\1705 dollar tree\shreveport\BUPDF\1117 site plan application\cad files\A-1.0\_11172017 8:24:45 AM\_AutoCAD PDF (General Documentation).pc3, Mark



**PARTITION TYPE LEGEND**

- P1 STOCKROOM WALL: 6" (20 GAUGE) METAL STUDS @ 16" O.C. W/ ONE LAYER 5/8" GYPSUM BOARD TO ROOF DECK ON SALES FLOOR SIDE & TO 12'-4" A.F.F. ON STOCKROOM SIDE. SEE DETAIL 18-A-2 FOR ADDITIONAL REQUIREMENTS & BRACING. FINISH PER FINISH SCHEDULE ON SHEET A-3.1
- P2 PARTITION WALL: 6" (20 GAUGE) METAL STUDS @ 16" O.C. W/ ONE LAYER 5/8" GYPSUM BOARD TO ROOF DECK ON SALES FLOOR / STOCKROOM SIDE & TO 8'-0" A.F.F. ON TOILET SIDE & TO 10'-0" ON HALLWAY SIDE. WALLS ON INTERIOR OF TOILET ROOM SHALL HAVE WATER RESISTANT GYPSUM BOARD. PROVIDE WATER RESISTANT GYPSUM BOARD & 18 GAUGE STUDS @ 12" O.C. ADJACENT MOP SINK. PROVIDE 18 GAUGE METAL STUDS @ 4'-0" ADJACENT ROOF LADDER. SEE DETAIL 20-A-2 FOR ADDITIONAL REQUIREMENTS AND BRACING. FINISH PER FINISH SCHEDULE ON SHEET A-3.1.
- P3 PARTITION WALL: 3 5/8" (20 GAUGE) METAL STUDS @ 16" O.C. W/ ONE LAYER 5/8" GYPSUM BOARD TO 8'-0" A.F.F. ON TOILET SIDE & TO 10'-0" ON HALLWAY SIDE. WALLS ON TOILET SIDE SHALL HAVE WATER RESISTANT GYPSUM BOARD. SEE DETAIL 71A-1.2. FINISH PER FINISH SCHEDULE ON SHEET A-3.1.
- P4 PLUMBING WALL: 6" (20 GAUGE) METAL STUDS @ 16" O.C. W/ ONE LAYER 5/8" WATER RESISTANT GYPSUM BOARD EACH SIDE TO FINISH CEILING (8'-7"). FINISH PER FINISH SCHEDULE ON SHEET A-3.1.
- P5 PARTITION WALL: 3 5/8" (20 GAUGE) METAL STUDS @ 16" O.C. W/ ONE LAYER 5/8" GYPSUM BOARD EACH SIDE TO 8'-0" A.F.F. SEE DETAIL 51A-1.3. FINISH PER FINISH SCHEDULE ON SHEET A-3.1.
- P6 PARTITION WALL: INSTALL OVER FACE OF SHEETROCK ON EXTERIOR WALL; 3 5/8" (20 GAUGE) METAL STUDS @ 16" O.C. W/ ONE LAYER 5/8" GYPSUM BOARD ON EXPOSED SIDE TO 12'-6". FINISH PER FINISH SCHEDULE ON SHEET A-3.1.
- P7 PARTITION WALL: 2x4 FIRE RETARDANT WOOD STUDS @ 16" O.C. TO 5'-0" A.F.F. W/ 3/4" MDO FIRE RETARDANT PLYWOOD ON EACH SIDE & 1x6 POPLAR WOOD CAP. SEE DETAIL 71A-1.3 & 8A-1.3
- P8 PARTITION WALL: 3 5/8" (18 GAUGE) METAL STUDS @ 12" O.C. W/ ONE LAYER 5/8" GYPSUM BOARD EACH SIDE TO ROOF DECK. PROVIDE WATER RESISTANT GYPSUM BOARD ADJACENT MOP SINK. SEE DETAIL 71A-1.3. FINISH PER FINISH SCHEDULE ON SHEET A-3.1.
- P9 FURRING WALL: 3 5/8" (20 GAUGE) METAL STUDS @ 12" O.C. W/ ONE LAYER 5/8" GYPSUM BOARD TO 12'-4" ON SALES FLOOR SIDE. FINISH PER FINISH SCHEDULE ON SHEET A-3.1

**FLOOR PLAN LEGEND**

A	STOREFRONT TYPE (REFER TO SHEET A-3.0)
500	DOOR NUMBER (REFER TO SHEET A-3.1)

**FLOOR PLAN**  
SCALE: 1/8"=1'-0"

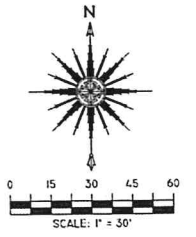
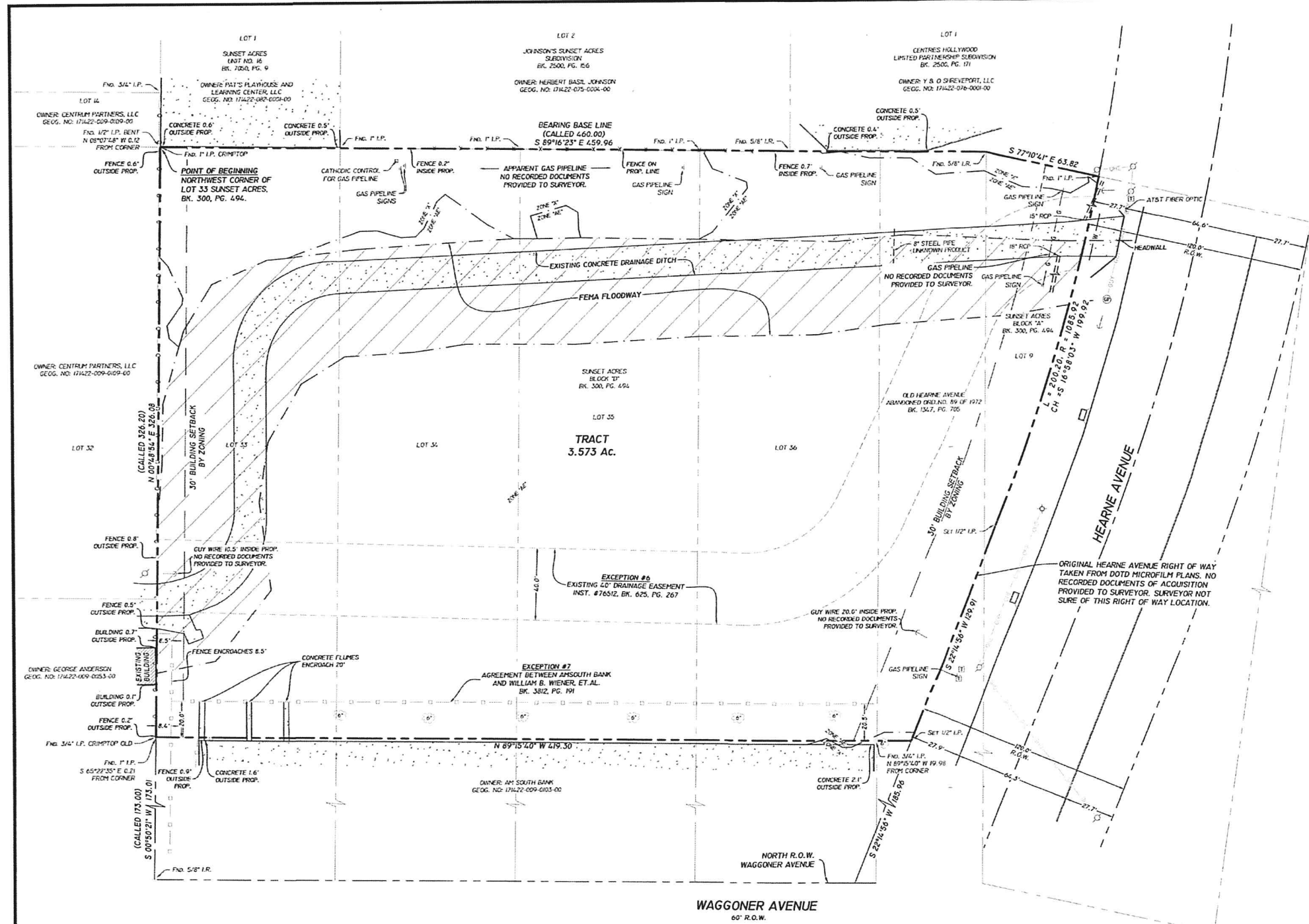
	11-17-17	MAMA	LCS	SITE PLAN APPLICATION
	REV.	DATE	DRN	CHK
DOCUMENT CONTROL				

**DOLLAR TREE**

SHREVEPORT, LA

FLOOR PLAN

PROJ. NO. 1705-45	DWG. NO. A-1.0
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LEGEND	
	FIRE HYDRANT
	WATER VALVE
	CURB INLET
	FOUND CORNER
	SIGN (TYPE NOTED)
	FEMA FLOODWAY
	CREPE MYRTLE
	POWER POLE
	GUY ANCHOR
	GUY POLE
	TELE. PEDESTAL
	LIGHT POLE
	EXISTING CONCRETE
FND. - FOUND I.P. - IRON PIPE R.O.W. - RIGHT OF WAY RCP - REINFORCED CONCRETE PIPE	
	EXIST. OLD BARB WIRE FENCE
	EXIST. CHAIN LINK FENCE
	EXIST. WOOD FENCE
	EXIST. WATER LINE
	EXIST. GAS LINE
	EXIST. OVERHEAD ELEC. LINE
	EXIST. OVERHEAD GUY WIRE
	EXIST. DRAINAGE PIPE
	PROPERTY LINE
	CENTERLINE OF RIGHT OF WAY
	BUILDING SETBACK LINE
	EXIST. SERVITUDE/EASEMENT

**REFERENCE SURVEYS**  
 -SUNSET ACRES, BY GEORGE E. DUTTON, BOOK 300, PAGE 494, RECORDS OF CADDO PARISH, LOUISIANA.  
 -JOHNSON'S SUNSET ACRES SUBDIVISION, BY F. KENNETH SMITH, BOOK 2500, PAGE 156, RECORDS OF CADDO PARISH, LOUISIANA.  
 -CENTRES HOLLYWOOD LIMITED PARTNERSHIP SUBDIVISION, BY F. KENNETH SMITH, BOOK 2500, PAGE 171, RECORDS OF CADDO PARISH, LOUISIANA.  
 -SUNSET ACRES UNIT NO. 16, BY JOHNNIE ANDREW CRAIG, BOOK 7050, PAGE 9, RECORDS OF CADDO PARISH, LOUISIANA.  
 -MAP OF SURVEY BY THOMAS A. SEMMES, JR., DATED DECEMBER 23, 2004.

ADDRESS: TBD HEARNE AVENUE, SHREVEPORT, LOUISIANA 71108  
 THE BASIS OF BEARINGS USED FOR THIS MAP IS GRID, ESTABLISHED FROM THE LOUISIANA STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 1983 (2011) POSITION (EPOCH 2010.00) ADJUSTMENT, AS DETERMINED FROM CLGNET RTN.

BOUNDARY BASED ON DESCRIPTION PROVIDED IN TITLE COMMITMENT PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, DATED APRIL 4, 2016.

SURVEYOR DOES NOT GUARANTEE THAT ALL SERVITUDES OF RECORD OR USE AFFECTING THIS PROPERTY ARE SHOWN ON THIS SURVEY. THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE INFORMATION PROVIDED TO THIS FIRM. THE SURVEYOR HAS NOT MADE A COMPREHENSIVE TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

SUBJECT SURVEY IS LOCATED IN ZONES "X" AND "AE" AS PER GRAPHIC PLOTTING OF FIRM MAP NO. 22017C0458H AND 22017C0459H, DATED: 05/19/2014.

SUBJECT PROPERTY IS ZONED B-3.  
 SETBACKS: FRONT - 30'  
 SIDE - NONE  
 REAR - 15'

THIS SURVEY DOES NOT GUARANTEE TITLE OR OWNERSHIP.

THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS AT TIME OF SURVEY.

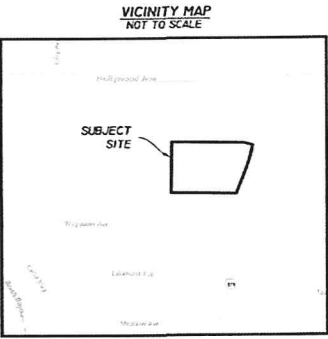
THERE WAS NO OBSERVED EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL AT TIME OF SURVEY.

PROPERTY WAS SURVEYED UNDER THE RESPONSIBLE CHARGE OF THE UNDERSIGNED AND IN ACCORDANCE WITH THE L.A. STANDARDS OF PRACTICE FOR PROPERTY BOUNDARY SURVEYS FOR A CLASS A SURVEY.

TO: 000 HEARNE AVE, LLC  
 THE WELFONT GROUP

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 13, 14, 15, 16, AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 18, 2016.

*Travis A. Sturdivant* 4-18-16  
 TRAVIS A. STURDIVANT DATE  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 LOUISIANA LICENSE NO. 4632



**DEED LEGAL DESCRIPTION**  
 THE NORTH 326.2 FEET OF LOTS 33 THROUGH 36, BLOCK D, AND ALL THAT PART OF ABANDONED ADJOINING HEARNE AVENUE, AND ALL THAT PART OF LOT 9, BLOCK A, LYING NORTHWESTERLY OF HEARNE AVENUE, ALL IN SUNSET ACRES, A SUBDIVISION OF THE CITY OF SHREVEPORT, CADDO PARISH, LOUISIANA, AS PER PLAT THEREOF RECORDED IN BOOK 300, PAGE 494, OF THE CONVEYANCE RECORDS OF CADDO PARISH, LOUISIANA.

**SURVEYED LEGAL DESCRIPTION**  
 DESCRIPTION OF A TRACT OF LAND BEING A PORTION OF LOTS 33 THROUGH 36, BLOCK D; A PORTION OF ABANDONED OLD HEARNE AVENUE; AND A PORTION OF LOT 9, BLOCK A, ALL IN SUNSET ACRES, AS RECORDED IN BOOK 300, PAGE 494, OF THE RECORDS OF CADDO PARISH, LOUISIANA. SAID TRACT BEING MORE FULLY DESCRIBED AS FOLLOWS:  
 BEGINNING AT A FOUND 1" IRON PIPE CRIMP TOP AT THE NORTHWEST CORNER OF SAID LOT 33, RUN THENCE SOUTH 89°16'23" EAST FOR A DISTANCE OF 459.96 FEET TO A FOUND 5/8" IRON ROD AT THE NORTHWEST CORNER OF SAID LOT 9, THENCE RUN SOUTH 77°10'41" EAST FOR A DISTANCE OF 63.82 FEET TO A FOUND 1" IRON PIPE ON THE WEST RIGHT OF WAY OF HEARNE AVENUE, THENCE RUN ALONG SAID WEST RIGHT OF WAY THE FOLLOWING TWO CALLS:  
 -ALONG A CURVE TO THE RIGHT FOR A DISTANCE OF 200.20 FEET (SAID CURVE HAVING A RADIUS OF 1055.92 FEET AND A CHORD BEARING OF SOUTH 16°58'03" WEST FOR A DISTANCE OF 199.92 FEET) TO A SET 1/2" IRON PIPE,  
 -SOUTH 22°14'56" WEST FOR A DISTANCE OF 129.91 FEET TO A SET 1/2" IRON PIPE,  
 THENCE RUN NORTH 89°15'40" WEST FOR A DISTANCE OF 419.30 FEET TO A FOUND 3/4" IRON PIPE CRIMP TOP,  
 THENCE RUN NORTH 00°48'54" EAST FOR A DISTANCE OF 326.08 FEET TO THE POINT OF BEGINNING,  
 SAID TRACT CONTAINING 3.573 ACRES.

THE TITLE COMMITMENT USED FOR THIS SURVEY WAS PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, DATED APRIL 4, 2016.

**SCHEDULE B II EXCEPTIONS**  
 6. RIGHT OF WAY EASEMENT BY AND BETWEEN WILLIAM B. WIENER, TUTOR ET AL AND THE CITY OF SHREVEPORT, RECORDED AUGUST 1, 1950, UNDER REGISTRY NO. 76512, BOOK 625, PAGE 267, IN THE CONVEYANCE RECORDS OF CADDO PARISH, LOUISIANA. AFFECTS PROPERTY AS SHOWN.  
 7. AGREEMENT BY AND BETWEEN AMSOUTH BANK AND WILLIAM B. WIENER, ET AL., DATED NOVEMBER 2, 2005, RECORDED ON NOVEMBER 15, 2005, UNDER REGISTRY NO. 2007966, BOOK 3812, PAGE 191, IN THE CONVEYANCE RECORDS OF CADDO PARISH, LOUISIANA. AFFECTS PROPERTY AS SHOWN.  
 8. MINERAL RESERVATION CONTAINED IN CASH SALE DEED, BY AND BETWEEN KAREN WIENER FREYER AND WILLIAM B. WIENER, JR., DATED JUNE 14, 2012, RECORDED JUNE 18, 2012, UNDER REGISTRY NO. 2407686, BOOK 4577, PAGE 775, IN THE CONVEYANCE RECORDS OF CADDO PARISH, LOUISIANA. AFFECTS PROPERTY BLANKET IN NATURE.

REVISIONS	BY

ALTA / NSPS LAND TITLE SURVEY  
**THE WELFONT GROUP**  
 Caddo Parish, Louisiana



**RALEY AND ASSOCIATES, INC.**  
 Civil & Structural  
 Engineering,  
 Surveying, Planning  
 & Consulting

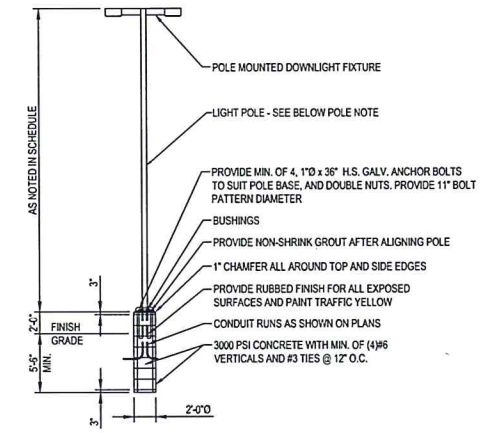
4913 Shed Road  
 Bossier City, LA 71111

Phone 318.752-9023  
 Fax 318.752-9025  
 www.raleyanassociates.com

DATE: 04/15/2016  
 SCALE: 1" = 30'  
 DRAWN: MPC  
 CHECKED: TAS  
 JOB: 16132

SHEET: **1**  
 OF 1 SHEET

P:\SUBDIVISION\SUNSET ACRES BY CADDOPARISH\WELFONT Group\ALTA\16132 ALTA.DWG



**POLE MOUNTED DOWNLIGHT FIXTURE**

SCALE: 1/8"=1'-0"

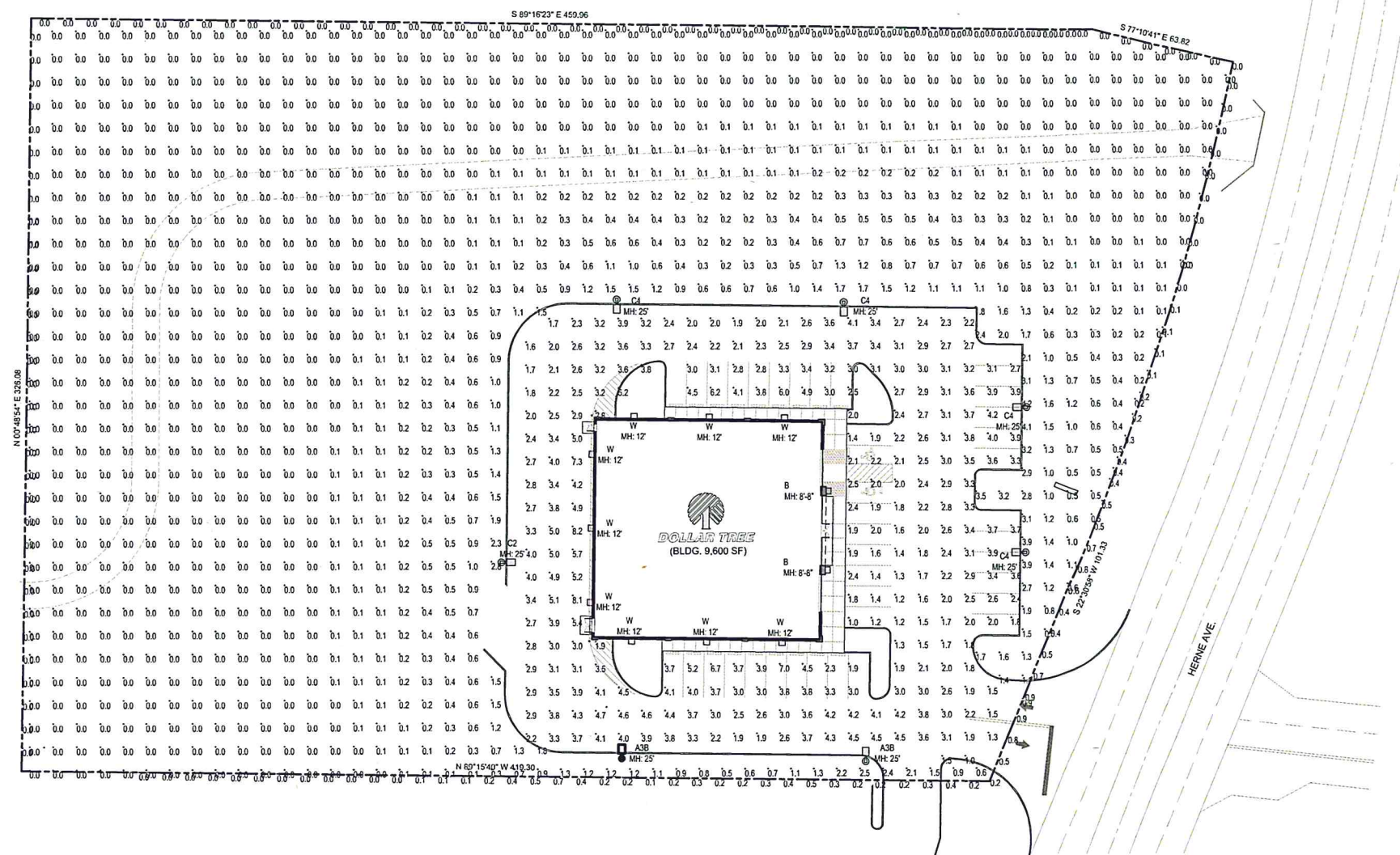
POLE NOTE:  
Z3 POLE ON Z SONOTUBE

PAINTING NOTE:  
ALL POLE BASES SHALL BE PAINTED TRAFFIC YELLOW.

Label	CalcType	Avg	Max	Min	Avg/Min	Max/Min
PARKING	Illuminance	3.07	8.2	1.0	3.07	8.20
PROPERTY LINE	Illuminance	0.11	0.9	0.0	N.A.	N.A.
SPILL	Illuminance	0.22	4.2	0.0	N.A.	N.A.
DUMPSTER	Illuminance	2.12	3.0	1.0	2.12	3.00

Label	Symbol	Qty	Arrangement	Description	LLF	Load VA	Lum. Lumens
B	□	2	SINGLE	LITH # WSR LED 110A700 40K SR4 MVOLT ELCW DDBXD	0.910	24.2	1944
W	□	9	SINGLE	LITH # WST LED P2 40K VF MVOLT DDBXD	0.910	25	3470
A3B	□	2	SINGLE	LITH # DSX1 LED P6 40K BLC MVOLT RPA DDBXDM / RTS 23 5-9B DDB	0.910	163	15607
C4	□	4	SINGLE	LITH # DSX1 LED P6 40K T4M MVOLT RPA DDBXDM / RTS 23 5-9B DDB	0.910	163	18634
C2	□	1	SINGLE	LITH # DSX1 LED P6 40K T2M MVOLT RPA DDBXDM / RTS 23 5-9B DDB	0.910	163	18996

GENERAL NOTE:  
ALL FIXTURES MUST BE EQUAL IN MATERIAL QUALITY, WARRANTY, PHOTOMETRICS, SIZE, AND FINISH. ALL FIXTURES CONSIDERED EQUAL MUST BE SUBMITTED TO THE ARCHITECT/ENGINEER DURING THE SHOP DRAWING PROCESS. A PHOTOMETRIC CONFIRMATION WITH A POINT BY POINT LAYOUT MUST ACCOMPANY THE SUBMITTAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FIXTURES TO THE ENGINEERS AND ARCHITECT'S SATISFACTION. THE SPECIFIER WILL REVIEW SUBMITTALS ONE TIME. IF REJECTED, THE CONTRACTOR SHALL SUPPLY ALL FIXTURES AS SPECIFIED.



**SITE LIGHTING & PHOTOMETRICS PLAN**

SCALE: 1" = 30'

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RECEIVED

DEC 01 2017

METROPOLITAN PLANNING COMMISSION

	SHREVEPORT, LA SITE LIGHTING & PHOTOMETRICS PLAN
PROJ. NO. 1705-45 DWG. NO. C-4.1	



