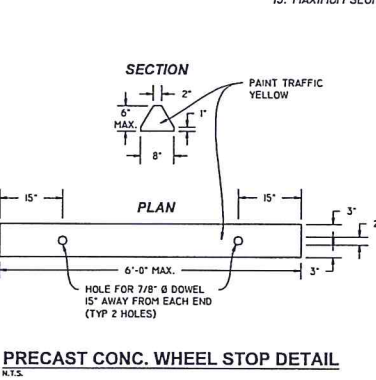
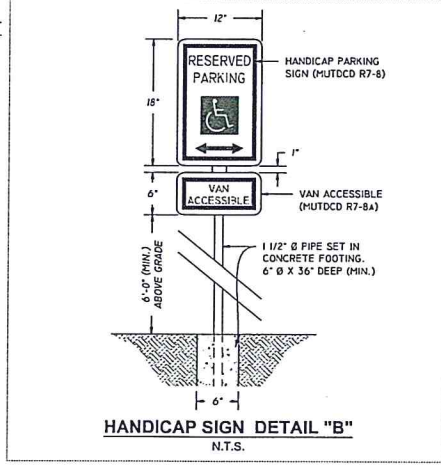
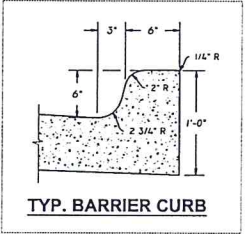
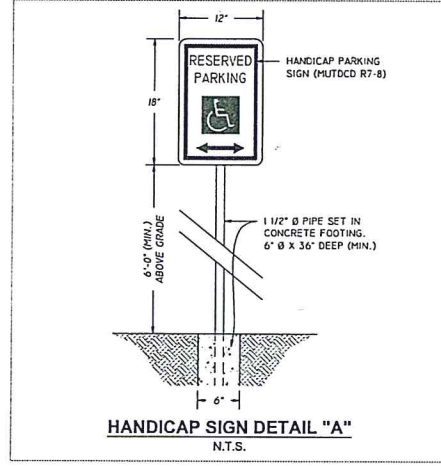


LEGEND	
◆ TBM = BENCH MARK	⚡ POWER POLE
⊙ SAN. MANHOLE	⚡ LIGHT POLE
⚡ SIGN (TYPE NOTED)	⊠ TELE. PEDESTAL
■ SURFACE INLET	⊠ ELEC. METER/ PED.
---	EXIST. CONCRETE
---	EXIST. ASPHALT
---	PROPOSED CONCRETE WALK
---	PROPOSED CONC/ PAVEMENT
---	EXIST. STORM DRAINAGE PIPE
---	EXIST. SHRUB LINE
---	EXIST. BARB WIRE FENCE
---	EXIST. CHAIN LINK FENCE
---	EXIST. WOOD FENCE
---	EXIST. UNDERGROUND TELEPHONE
---	EXIST. OVERHEAD ELECTRIC
---	EXIST. GAS LINE
---	EXIST. SANITARY SEWER
---	PROPERTY LINE
---	EXIST. EASEMENT / SERVITUDE

- GENERAL NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES AND STRUCTURES AND SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY FAILURE TO COMPLY WITH THESE INSTRUCTIONS. THE CONTRACTOR IS TO LOCATE ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. LOUISIANA ONE CALL 811 OR UTILITY COMPANY.
 - CONTRACTOR SHALL INSTALL SILT FENCES, HAY BALES AND NECESSARY STORM WATER CONTROL MEASURES DURING CONSTRUCTION AS REQUIRED BY THE CITY.
 - CONTRACTOR(S) SHALL KEEP EXISTING PAVING CLEAN OF MUD AND OTHER CONSTRUCTION DEBRIS.
 - ALL TRENCH EXCAVATION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH OSHA REGULATIONS AND APPLICABLE LOCAL CODES AND ORDINANCES.
 - CONTRACTOR SHALL FIELD VERIFY ALIGNMENT AND GRADE OF ALL PAVING, DRAINAGE PIPES AND PROPOSED MAINS. CONFLICTS, DISCREPANCIES OR IRREGULARITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER. FAILURE TO DO SO MAY RESULT IN ADDITIONAL COSTS TO THE CONTRACTOR FOR REMOVAL, REPLACEMENT, OR REVISIONS TO ITEMS INSTALLED WITHOUT VERIFICATION BY OWNER.
 - CONTRACTOR SHALL REDISTRIBUTE TOPSOIL IN 4" LAYER AS PER OWNER.
 - CONTRACTOR SHALL COORDINATE AND PROVIDE FOR ALL SAFEGUARDS, SAFETY DEVICES AND REQUIRED JOB SITE SAFETY REGULATIONS AS NEEDED.
 - MATERIALS AND CONSTRUCTION SHALL BE IN STRICT COMPLIANCE WITH LOCAL SPECIFICATION STANDARDS AND/OR LOCAL BUILDING CODES.
 - CONTRACTOR SHALL COORDINATE WITH CITY AND LOCAL UTILITY COMPANIES FOR TYING INTO EXISTING MAINS. ALL UTILITY SERVICES SHALL BE INSTALLED PER CITY CODE AND GOVERNING UTILITY CODE.
 - ALL DISTURBED EARTH TO RECEIVE SLAB SOD UNLESS OTHERWISE DIRECTED BY OWNER/ENGINEER. POSITIVE DRAINAGE SHOULD BE MAINTAINED AT ALL TIMES.
 - MAXIMUM SLOPE IN ANY DIRECTION IN HANDICAP SPACES TO BE 2%.
 - ALL EXITS MUST HAVE A MINIMUM 5' x 5' LEVEL LANDING.
 - MAX. CROSS-SLOPE OF ALL SIDEWALKS = 2%.
 - SIDEWALKS TO HAVE A MAXIMUM RISE ALONG PATH OF TRAVEL NOT TO EXCEED 1:20.
 - MAXIMUM SLOPE OF CURB RAMPS NOT TO EXCEED 1:12.



- NOTES:**
- VERIFY ALL BUILDING DIMENSIONS WITH CURRENT ARCHITECTURAL PLAN.
 - ALL ONSITE BUILDINGS, FOUNDATIONS, PAVING, UTILITIES, ETC., TO BE REMOVED BY OWNER / CONTRACTOR PRIOR TO PROPOSED DEVELOPMENT.
 - LOCATED IN FLOOD ZONE "X".
 - TOTAL ACREAGE = 1.086 ACRES
- SETBACK SUMMARY:**
 ZONING: C-2
 FRONT: 0'
 SIDE: 0'
 REAR: 15'
- PARKING SUMMARY:**
 PROVIDED VEHICLE PARKING: 49
 REQUIRED VEHICLE PARKING: 32
- OWNER INFORMATION:**
 ADDRESS: THE FORTIS COMPANY, LLC
 107 SPRING ST.
 SHREVEPORT, LA 71201
 E-MAIL: BEE@THEFORTISCOMPANY.COM
 PHONE: 318-210-0813

(Refer to Report for Stipulation)

EXECUTIVE DIRECTOR APPROVAL

SHREVEPORT, LA EXECUTIVE DIRECTOR DATE

Date 7/12/18 By [Signature]

REVISIONS	BY

DIMENSIONED SITE PLAN
Jeff Lowe - Line Ave.
 Shreveport, Louisiana



RALEY AND ASSOCIATES, INC.
 Civil & Structural Engineering, Surveying, Planning & Consulting

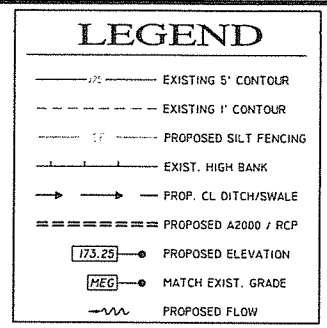
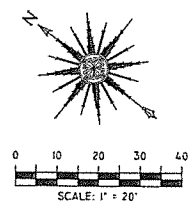
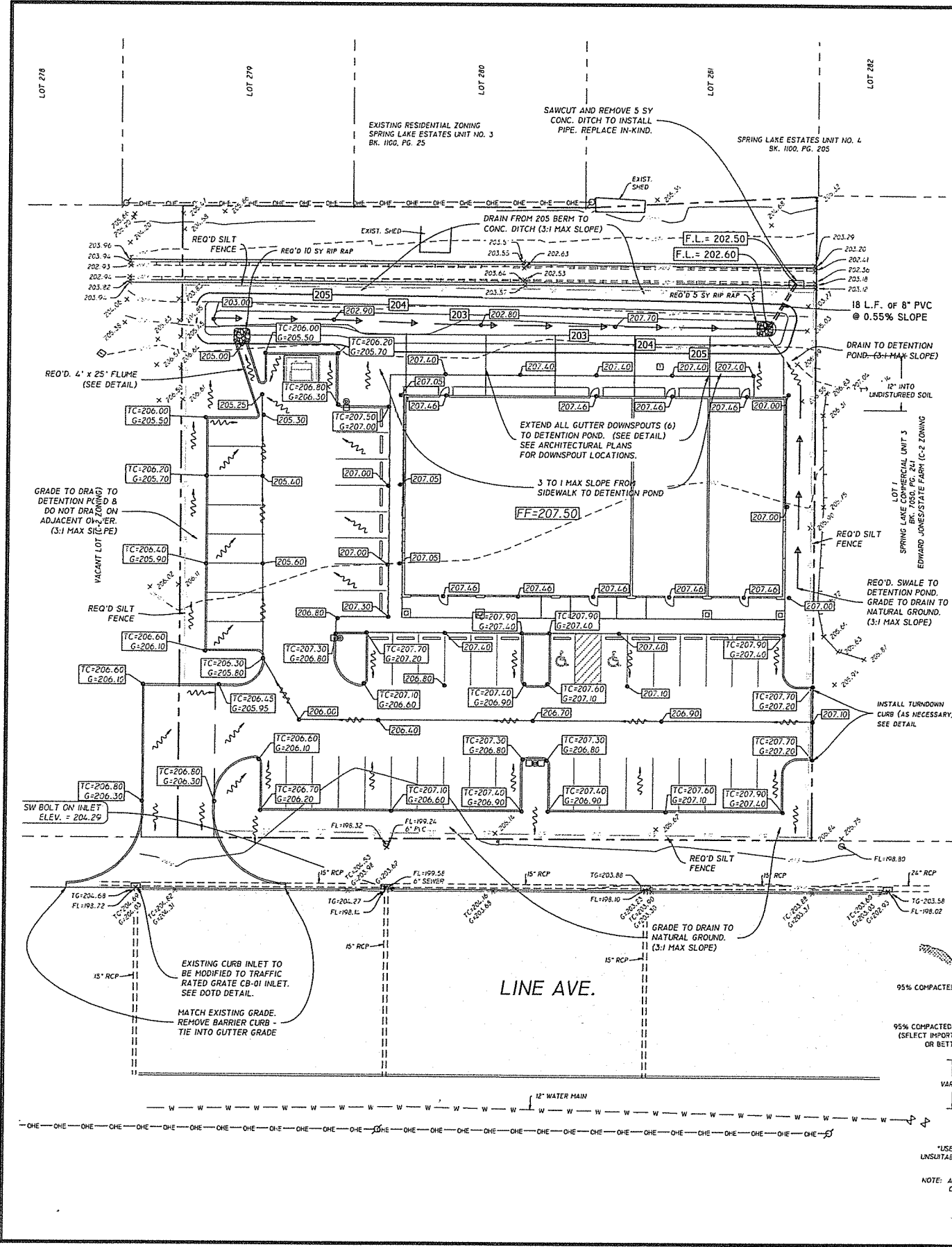
4913 Shed Road
 Bossier City, LA 71111

Phone 318.752-9023
 Fax 318.752-9025
 www.raleyandassociates.com

06/29/2018
 MICHAEL KELSCH
 License No. 3409
 PROFESSIONAL ENGINEER
 IN CIVIL ENGINEERING

DATE: 04/20/2018
 SCALE: 1" = 20'
 DRAWN: NDV
 CHECKED: MK
 JOB: 18084
 SHEET: **C1**
 OF - SHEET

18084 DESIGN.DWG



Stormwater Detention Worksheet 25-Year Frequency Storm (For Sites Greater Than 1/2 Acre Citywide)

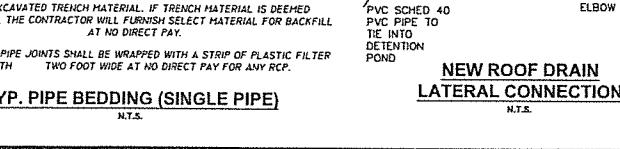
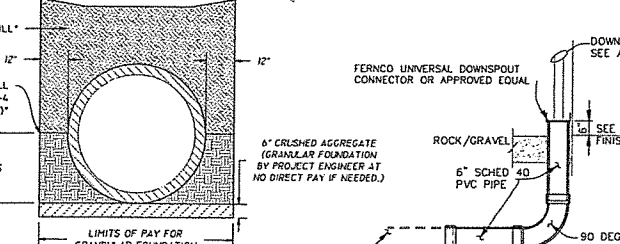
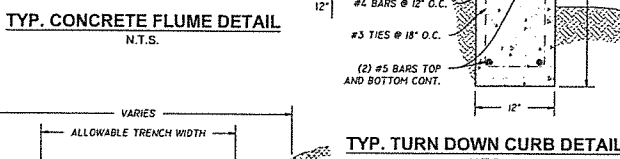
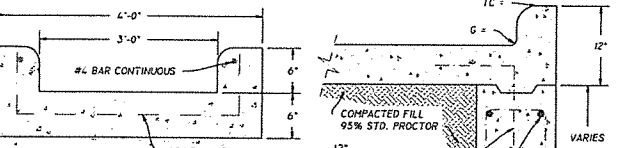
PROPOSED PROJECT: Line Avenue Medical Office
 ADDRESS: Shreveport Line Avenue
 DRAINAGE BASIN: TOTAL AREA: 0.8
 CALCULATED BY: Raley and Associates

EXISTING CONDITIONS: (10 YR.)		PROPOSED CONDITIONS: (25 YR.)	
RUNOFF COEFFICIENT (c _i):	0.35	RUNOFF COEFFICIENT (c _s):	0.90
TIME OF CONCENTRATION (t _c in min):	20.00	TIME OF CONCENTRATION (t _c in min):	10.00
RAINFALL INTENSITY (i in in/hr):	4.70	RAINFALL INTENSITY (i in in/hr):	7.00
AREA (A in acres):	0.80	AREA (A in acres):	0.80
DISCHARGE (Q in cfs):	1.32	DISCHARGE (Q in cfs):	5.04
MAXIMUM PERMISSIBLE RELEASE RATE (Q _m in cfs):		MAXIMUM PERMISSIBLE RELEASE RATE (Q _m in cfs):	1.32

REQUIRED STORMWATER VOLUME

Rainfall Duration min	Rainfall Intensity in/hr	Peak Runoff Rate cfs	Storm Runoff Volume cu.ft.	Release Rate Volume cu.ft./hr	Storage Volume cu.ft.
5	8.50	6.1	1836.0	394.8	1441.2
10	7.00	5.0	3024.0	785.6	2234.4
15	6.00	4.3	3888.0	1184.4	2703.6
20	5.40	3.9	4665.6	1575.2	3086.4
25	4.80	3.5	5184.0	1974.0	3216.0
30	4.40	3.2	5702.4	2368.8	3333.6
40	3.80	2.7	6556.8	3158.4	3408.0
50	3.40	2.4	7344.0	3848.0	3386.0
60	3.10	2.2	8035.2	4737.6	3287.6

REQUIRED STORAGE VOLUME (MAX. S.): $R_{60} = 3,408$



- ### EROSION CONTROL AND SWPPP NOTES:
- THE NATURE OF CONSTRUCTION ACTIVITY IS THE DEVELOPMENT OF A COMMERCIAL MEDICAL OFFICE BUILDING.
 - MAJOR ACTIVITIES AND CONTRACTOR RESPONSIBLE ARE AS FOLLOWS:
 - CLEARING AND DEGRASSING - PAVING AND DRAINAGE CONTRACTOR. INSTALL SILT FENCING, HAYBALES, DETENTION BASIN AND OTHER NECESSARY STORM WATER CONTROLS PRIOR TO BEGINNING OF CLEARING AND DEGRASSING.
 - WATER AND SEWER - WATER AND SEWER CONTRACTOR SHALL COORDINATE W/ PAVING CONTRACTOR TO ENSURE SILT FENCING, HAYBALES AND OTHER, ARE INSTALLED AT R/W TO PREVENT RUNOFF FROM LEAVING THE SITE.
 - EXCAVATION - PAVING AND DRAINAGE CONTRACTOR SHALL INSTALL SILT FENCING AND HAYBALES TO PREVENT RUNOFF FROM LEAVING THE SITE.
 - STORM DRAINAGE - PAVING AND DRAINAGE CONTRACTOR SHALL INSTALL SILT FENCING AND HAYBALES TO PREVENT RUNOFF FROM LEAVING THE SITE AND DETENTION BASINS.
 - BUILDING CONSTRUCTION - GENERAL CONTRACTOR. INSTALL NECESSARY STORM WATER CONTROLS DURING CONSTRUCTION.
 - PAVING - PAVING AND DRAINAGE CONTRACTOR. INSTALL NECESSARY STORM WATER CONTROLS DURING CONSTRUCTION.
 - GAS, ELECTRIC, PHONE & CABLE - EACH UTILITY OWNER / CONTRACTOR.
 - EACH CONTRACTOR LISTED ABOVE IS RESPONSIBLE FOR BEING KNOWLEDGEABLE OF THEIR LISTED ACTIVITY. AS SUCH EACH CONTRACTOR SHALL PROVIDE TO OWNER OR OWNER'S AGENT A DETAILED SCHEDULE OF CONSTRUCTION ACTIVITIES FOR THEIR PHASE OF CONSTRUCTION.
 - THE EROSION CONTROL PLAN SHOWN IS PROVIDED AS A MINIMUM GUIDE TO BE SUPPLEMENTED BY EACH CONTRACTOR'S DETAILED DESCRIPTION OF CONTROL MEASURES. THE DETAIL SHEET PROVIDES SPECIFIC CONTROLS WHICH MAY BE USED BY CONTRACTORS ON THIS SITE.
 - CONTROLS ARE DESIGNED TO RETAIN SEDIMENT ON SITE. ANY SEDIMENT ESCAPING THE SITE AND ACCUMULATING MUST BE REMOVED. UPON FINAL COMPLETION DETENTION BASIN SHALL BE CLEANED OF CONSTRUCTION SEDIMENTATION PRIOR TO FINAL GRADING.
 - EACH CONTRACTOR SHALL PROVIDE TO OWNER OR OWNER'S AGENT A DETAILED DESCRIPTION OF 'BEST MANAGEMENT PRACTICES', STRUCTURAL PRACTICES (SILT FENCES, CHECK DAMS, ETC.), AND STABILIZATION PRACTICES (TEMPORARY VEGETATION, SOD, ETC.) WHICH COMPLIES WITH THE SHORT AND LONG TERM GOALS AND INTENT OF THE LOUISIANA WATER DISCHARGE PERMIT FOR THEIR PHASE OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL PROVIDE SAME INFORMATION TO THE PERMIT OFFICE.
 - THE CONTRACTOR FOR EACH LISTED PHASE OF CONSTRUCTION SHALL BE RESPONSIBLE FOR MAINTAINING DATES AND RECORDS AND FORWARDING TO DEVELOPER/OWNER FOR THE FOLLOWING INFORMATION: BEGINNING CONSTRUCTION, MAJOR GRADING ACTIVITIES, SOIL DISTRIBUTING ACTIVITIES, WHEN STABILIZATION MEASURES ARE INITIATED AND COMPLETED, TEMPORARY HALTS, AND COMPLETION OF THEIR PORTION OF PROJECT.
 - THE CONTRACTOR IN CHARGE OF EROSION CONTROL SHALL INITIATE STABILIZATION MEASURES OF DISTURBED AREAS WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED WITHIN 14 DAYS, UNLESS EARTH DISTURBING ACTIVITIES ARE TO RESUME WITHIN 21 DAYS.
 - EACH CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING (REPAIR SILT FENCE, REMOVE SEDIMENT BUILDUP, ETC.) STRUCTURAL CONTROLS LAID OUT IN STORM WATER POLLUTION PREVENTION PLAN AS WELL AS ANY ADDITIONAL CONTROLS IN CONTRACTOR'S DETAILED DESCRIPTION.
 - THE CONTRACTOR FOR EACH LISTED PHASE OF CONSTRUCTION SHALL BE RESPONSIBLE FOR PROVIDING INSPECTION OF DISTURBED AREAS AND STRUCTURAL CONTROLS EVERY 14 DAYS OR WITHIN 24 HOURS OF A STORM EVENT. A REPORT SUMMARIZING INSPECTION AND ANY MAINTENANCE TAKEN SHALL BE FILLED OUT AND FORWARDED TO DEVELOPER/OWNER.
 - ALL COMPLETED INSPECTION REPORTS ARE TO BE KEPT WITH THE SWPPP PLAN IN THE CONTRACTOR'S, DEVELOPER'S & OWNER'S FILES.
 - HOUSE CONTRACTORS TO PROVIDE PERMANENT SOIL STABILIZATION OF EACH LOT AT COMPLETION OF CONSTRUCTION AND TO FOLLOW THE LOUISIANA WATER DISCHARGE PERMIT FOR THEIR PHASE OF CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR IN CHARGE OF EROSION CONTROL SHALL BE RESPONSIBLE FOR SWEEPING ACCUMULATED SILT, MUD, SOIL, DEBRIS AND LITTER AT END OF EACH CONSTRUCTION DAY.
 - LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.
 - THE CONTRACTOR IN CHARGE OF EROSION CONTROL MUST ASSURE THAT ADJACENT ROADWAYS AND SHOULDERS ARE OPENED AND MAINTAINED FOR SAFE TRAVEL. IMMEDIATE ACTION SHOULD BE TAKEN TO REMOVE DEBRIS, MUD, EXCESS CONSTRUCTION WATER AND ANY OTHER UNSAFE ITEMS FROM THE ROADWAYS, SHOULDERS AND / OR NEARBY CONSTRUCTION SITES. FAILURE TO COMPLY MAY RESULT IN CITY / OWNER CLEANING UP AND THE COST BEING SUBTRACTED FROM THE CONTRACT.
 - SITE DATA:
 TOTAL AREA = 1.09 ACRES
 AREA DISTURBED BY DEVELOPMENT = 0.80 ACRES
 OVERALL RUNOFF COEFFICIENTS EXISTING = 0.35
 DEVELOPED = 0.90
 AREA NOT DISTURBED AT THIS TIME = 0.29 ACRES
 RECEIVING BODY OF WATER = EXISTING DRAINAGE DITCH
 - THE CONTRACTOR SHALL USE QUALIFIED PERSONNEL TO INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED. AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY 14 CALENDAR DAYS, BEFORE SIGNIFICANT STORM EVENTS, AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER.
 - GENERAL CONTRACTOR TO PROVIDE DUMPSTERS OR OTHER CITY APPROVED WASTE DISPOSAL PRACTICES DURING CONSTRUCTION.
 - NO CRITICAL HABITATS FOR THREATENED OR ENDANGERED SPECIES ARE FOUND IN PROXIMITY. NO HISTORIC PROPERTIES HAVE BEEN IDENTIFIED IN THE CONSTRUCTION ACTIVITY AREA OR STORM WATER DISCHARGE PATH.
 - A COPY OF THE SWPPP SHALL BE KEPT ON THE JOB UNTIL FINAL VEGETATION, STABILIZATION, AND CONSTRUCTION IS COMPLETE.
 - PERMITTEE SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ABOVE ITEMS AND COORDINATE WITH ALL CONTRACTORS / SUBCONTRACTORS WORKING ON THIS PROJECT WITH REGARDS TO ALL STORM WATER REGULATIONS. PERMITTEE SHALL PROVIDE ALL REQUIRED CONTACT INFORMATION TO THE LOCAL STORM WATER PERMITTING AGENCY HAVING JURISDICTION PRIOR TO BEGINNING CONSTRUCTION.

REVISIONS	BY

GRADING AND DRAINAGE PLAN
Jeff Lowe - Line Ave.
 Shreveport, Louisiana

RALEY AND ASSOCIATES, INC.
 Civil & Structural
 Engineering,
 Surveying, Planning
 & Consulting

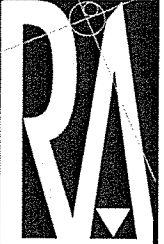
4913 Shed Road
 Bossier City, LA 71111

Phone 318.752-9023
 Fax 318.752-9025
 www.raleyandassociates.com

06/29/2018

DATE: 04/20/2018
 SCALE: 1" = 20'
 DRAWN: NDV
 CHECKED: MKK
 JOB: 18084
 SHEET: **C2**
 OF - SHEET

PROPOSED UTILITY PLAN
Jeff Lowe - Line Ave.
 Shreveport, Louisiana



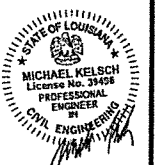
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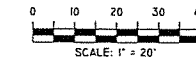
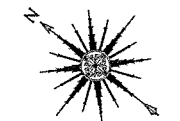
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C3
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LEGEND	
⊙ SAN. MANHOLE	⊕ POWER POLE
⊙ SAN. CLEANOUT	⊕ LIGHT POLE
⊕ SIGN	⊕ TELE. PEDESTAL
⊕ SURFACE INLET	⊕ FIRE HYDRANT
⊕ ELEC. METER/ PED.	⊕ WATER METER
- w - w - EXIST. WATER LINE	
- w - PROPOSED WATER LINE	
- s - PROPOSED SEWER LINE	
- - - - - EXIST. STORM DRAINAGE PIPE	
- - - - - PROP. STORM DRAINAGE PIPE	
- - - - - EXIST. SHRUB LINE	
- x - x - EXIST. BARB WIRE FENCE	
- o - o - EXIST. CHAIN LINK FENCE	

SEWER NOTES:

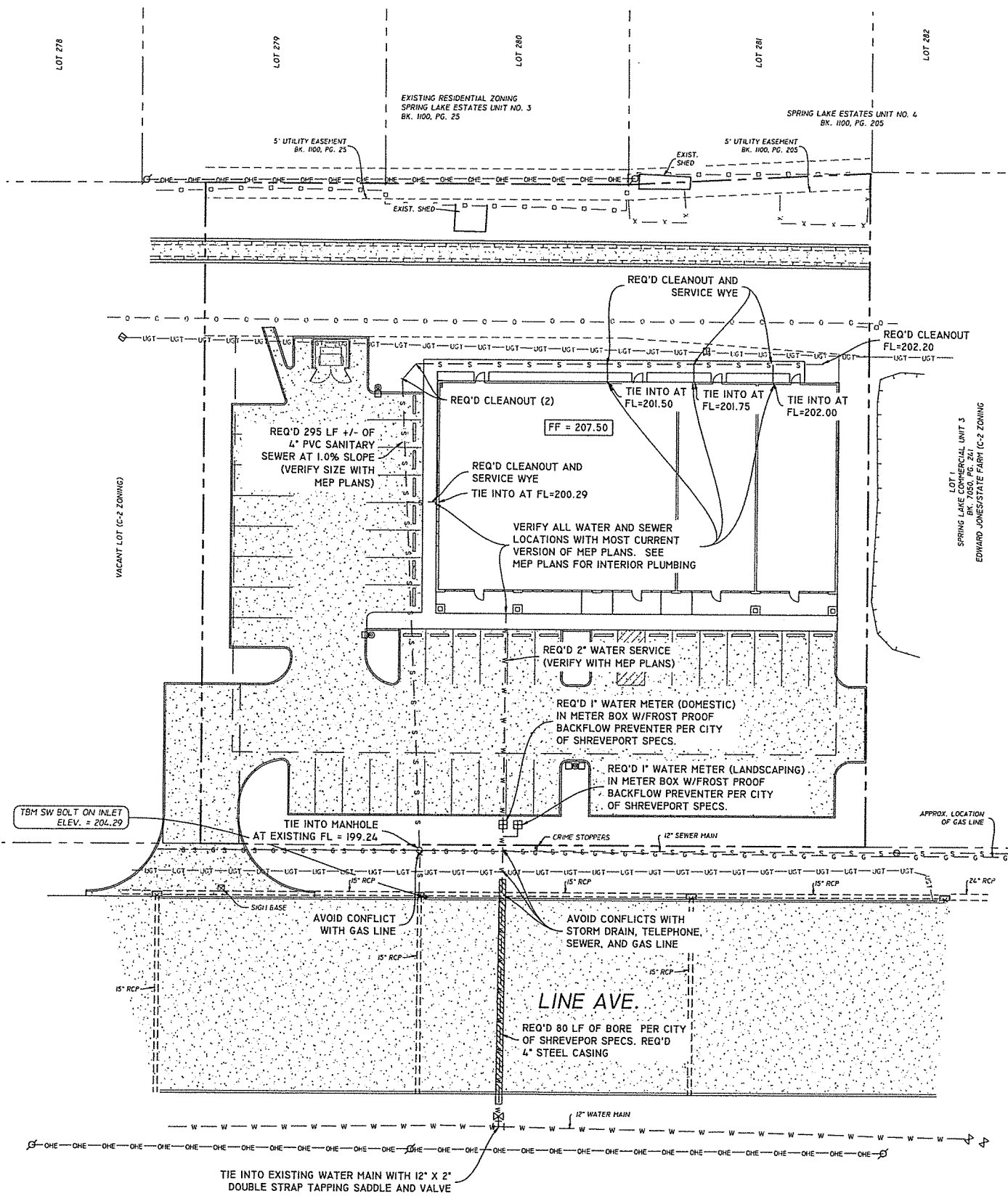
1. ALL SEWER MAINS SHALL CONFORM TO ASTM D-3034, SDR-35 STANDARDS FOR PVC BELL AND SPIGOT PIPE.
2. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SELECT MATERIAL FOR BACKFILL IF EXISTING MATERIAL DOES NOT MEET MINIMUM STANDARDS. IT WILL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE COMPACTION TESTS OF BACKFILL AT CROSSINGS. THE COST OF SELECT MATERIAL AND COMPACTION TESTS SHALL BE INCLUDED IN THE UNIT PRICES.
3. IT WILL BE THE RESPONSIBILITY OF THE UTILITY CONTRACTOR TO ADJUST THE TOP OF ALL CLEANOUTS TO GRADE AFTER FINISH GRADING HAS BEEN COMPLETED BY THE BUILDING CONTRACTOR.

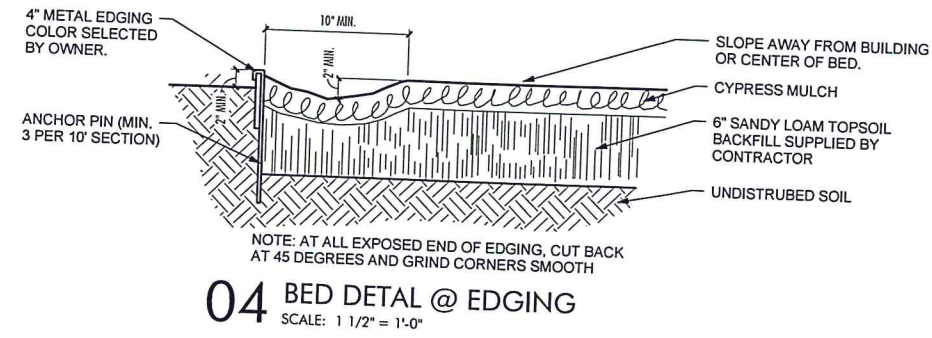
WATER:

1. ALL WATER MAINS SHALL CONFORM TO AWWA C900 DR-18 STANDARDS FOR PVC BELL AND SPIGOT PIPE.
2. ALL BENDS AND TIE-INS SHALL REQUIRE MECHANICAL RESTRAINT FITTINGS AND CONCRETE THRUST BLOCKS. ALL BENDS AND FITTINGS SHALL BE DUCTILE IRON IN ACCORDANCE WITH PROVISIONS OF AWWA C153. ALL IN-LINE VALVES, EITHER CONNECTING TO FITTINGS AND/OR PIPE, SHALL BE INSTALLED WITH MECHANICAL JOINT RESTRAINTS.
3. CONTRACTORS SHALL ASSURE THAT WATER MAINS ARE INSTALLED WITH A MINIMUM OF 4'-0" OF GROUND COVER.
4. WATER MAINS CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 24 INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER MAIN. REQUIRED HORIZONTAL CLEARANCE IS MINIMUM 10 FEET.
5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SELECT MATERIAL FOR BACKFILL IF EXISTING MATERIAL DOES NOT MEET MINIMUM STANDARDS. IT WILL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE COMPACTION TESTS OF BACKFILL AT CROSSINGS. THE COST OF SELECT MATERIAL AND COMPACTION TESTS SHALL BE INCLUDED IN THE UNIT PRICES.
6. ALL WATER MAINS, PIPES, FITTINGS, JOINTS, VALVES AND BACKFLOW PREVENTERS SHALL MEET OR EXCEED THE REDUCED LEAD REQUIREMENT OF ACT 362 AS ENACTED BY THE LOUISIANA LEGISLATURE EFFECTIVE JANUARY 1, 2015. ALL APPLICABLE PRODUCTS AND MATERIALS THAT JOIN OR SEAL PIPES SHALL BE EVALUATED AND LISTED AS CONFORMING WITH NSF/ANSI 372 DRINKING WATER SYSTEM COMPONENTS. LEAD CONTENT OR SHALL BE CERTIFIED TO BE LEAD FREE BY AN INDEPENDENT ANSI ACCREDITED THIRD PARTY TESTING LAB.

ELECTRIC:

VERIFY ALL LIGHTING/ELECTRIC WITH ARCHITECT/
 OWNER/LIGHTING PLAN/POWER COMPANY PRIOR TO
 CONSTRUCTION.





PLANTING AREAS

(A)	PLANTING BED	1,642 SF AREA
(B)	PLANTING BED	1,082 SF AREA
(C)	PLANTING BED	185 SF AREA
(D)	PLANTING BED	167 SF AREA
(E)	PLANTING BED	160 SF AREA
(F)	PLANTING BED	140 SF AREA
(G)	PLANTING BED	196 SF AREA
TOTAL PLANTING AREA		3,751 SF AREA

GENERAL NOTES - LANDSCAPE

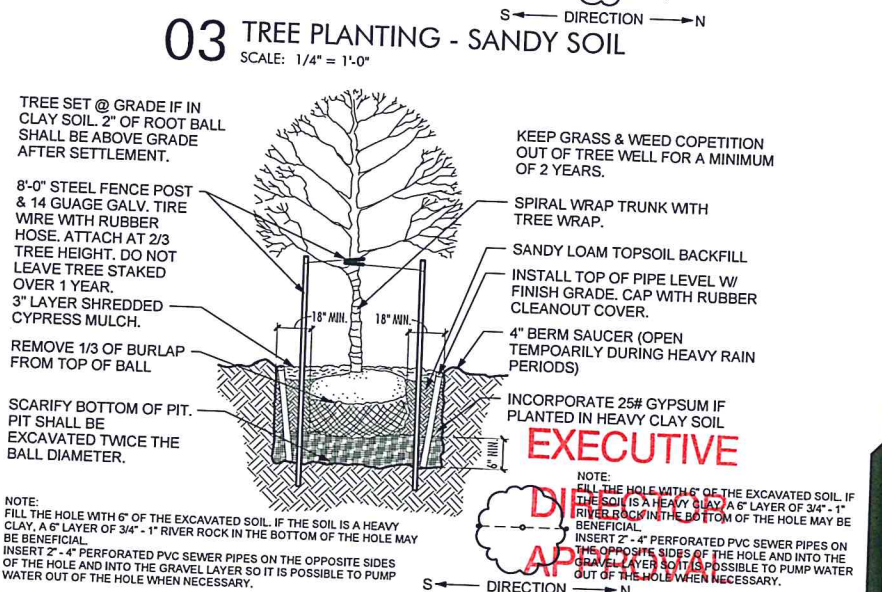
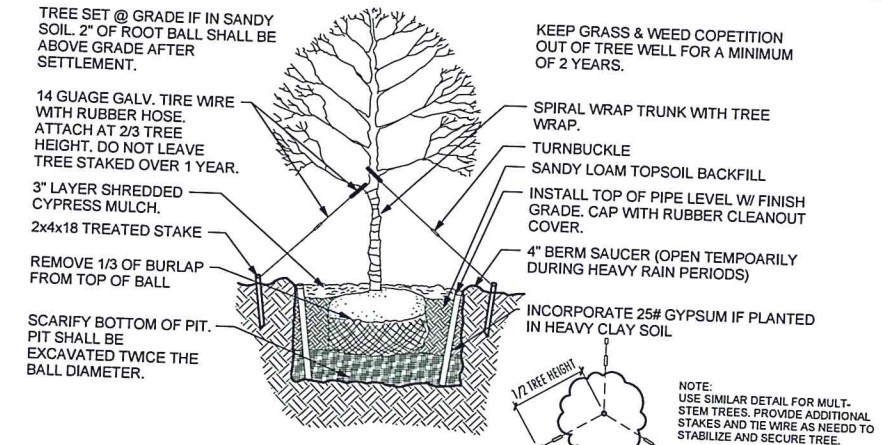
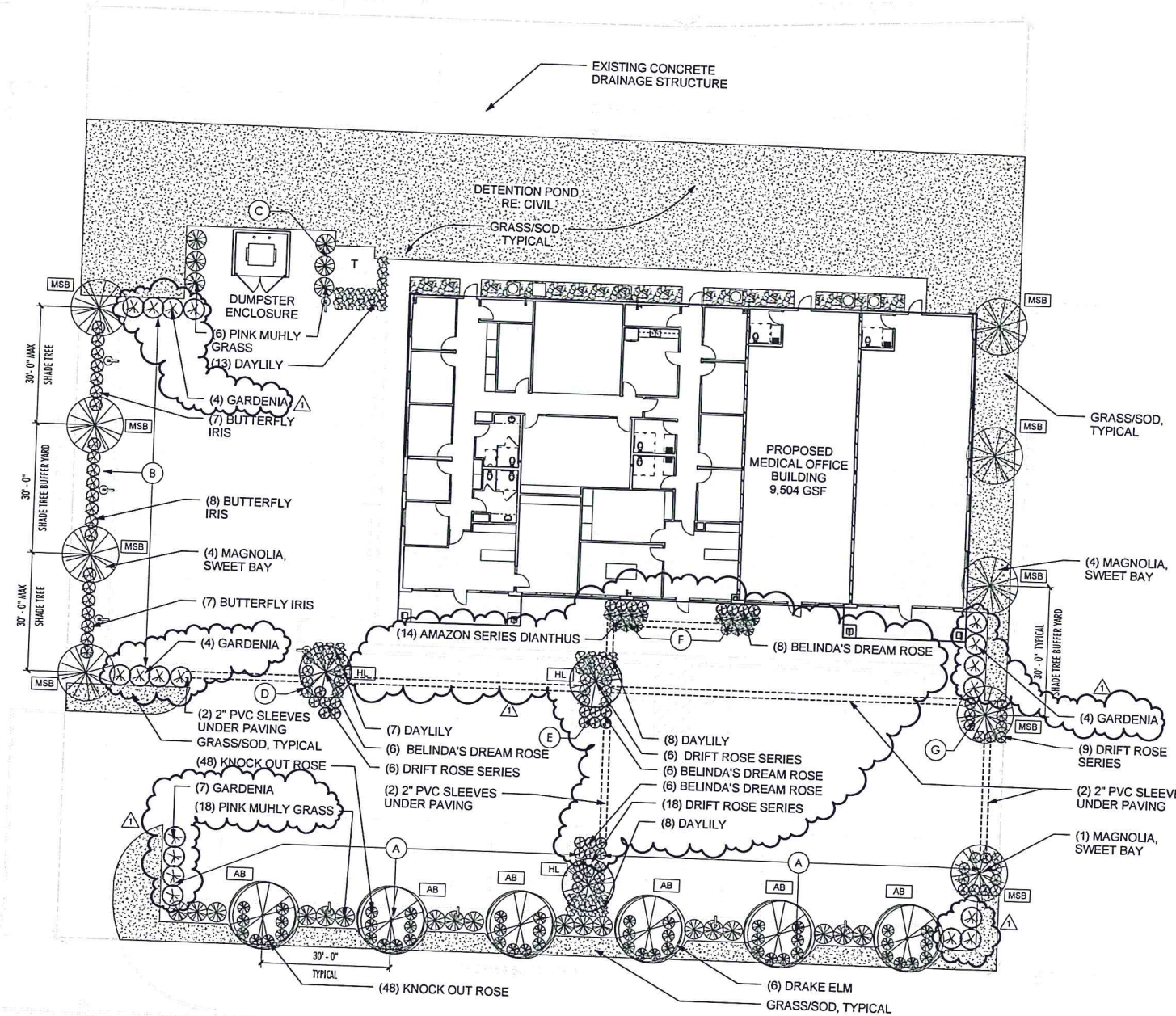
1. THE SIZE AND QUALITY OF ALL PLANT MATERIAL MUST CONFORM TO THE CURRENT "HORTICULTURAL STANDARDS" FOR NUMBER ONE GRADE NURSERY STOCK AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
2. ALL PLANT MATERIAL SHALL BE TRUE TO NAME IN ALL CASES. BOTANICAL NAMES TAKE PRECEDENCE OVER COMMON NAMES.
3. ALL TREES OVER 8'-FEET TALL SHALL BE STAKED PROPERLY TO INSURE STRAIGHT GROWTH AND PROTECTION FROM WIND DAMAGE DURING ESTABLISHMENT.
4. VERIFY QUANTITY OF ALL PLANT MATERIAL USING PLANTING PLAN.
5. STAKE AND VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND PLANTING.
6. MULCH ALL PLANTING BEDS WITH 1 1/2" SHREDDED CYPRESS MULCH.

TREE SCHEDULE

COMMON NAME	SCIENTIFIC NAME	PROPOSED SIZE (DBH)	QUANTITY	COMMENTS
DRAKE ELM (DE)	ULMUS PARVIFOLIA	2" (DBH)	6	LARGE SHADE TREE
HONEY LOCUST	GLIEDITSIA TRIACANTHOS	2" (DBH)	3	SHADE TREE
MAGNOLIA, SWEET BAY (MSB)	MAGNOLIA VERGINIANA	2" (DBH)	9	SHADE TREE
TOTAL TREES: 18				

PLANT SCHEDULE

COMMON NAME	SCIENTIFIC NAME	PROPOSED HEIGHT	QUANTITY	COMMENTS
AMAZON SERIES DIANTHUS	DIANTHUS 'AMAZON SERIES'	16"	14	
BELINDA'S DREAM ROSE	ROSA 'BELINDA'S DREAM'	30"	26	
BUTTERFLY IRIS	DIETES BICOLOR	48"	22	
DAYLILY	HEMEROCALLIS FULVA	36"	36	
DRIFT ROSE SERIES	ROSA MELJOCOS	12"	39	
GARDENIA	GARDENIA JASMINOIDES	30"	19	
KNOCK OUT ROSE	ROSA RADRAZZ	24"	48	
PINK MUHLY GRASS	MUHLENBERGIA CAPILLARIS	48"	24	
TOTAL SHRUBS: 228				



plan a
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ph: 318-469-1201 | www.plana-designs.com



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Shreveport, LA 71101
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civil & structural engineer
RALEY & ASSOCIATES
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Bossier City, LA 71111
318.752.9023

project
LINE AVENUE MEDICAL OFFICE
Shreveport, LA 71106

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original issue
SITE PLAN APPLICATION 06.29.2018
revisions
1 MPC COMMENTS 07.09.2018

(Refer to Report for Stipulation)

title
LANDSCAPE PLAN & DETAILS

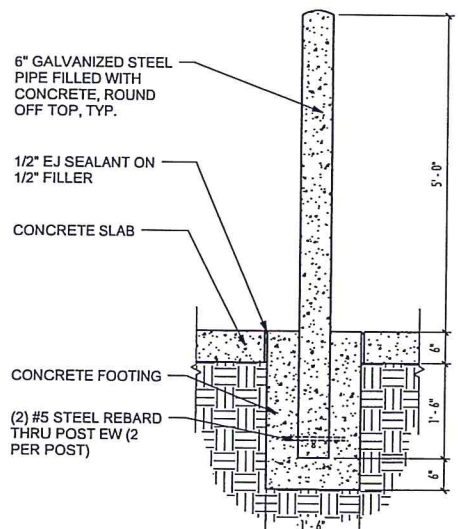
project number 18004
date 06.29.2018
sheet

L1.01

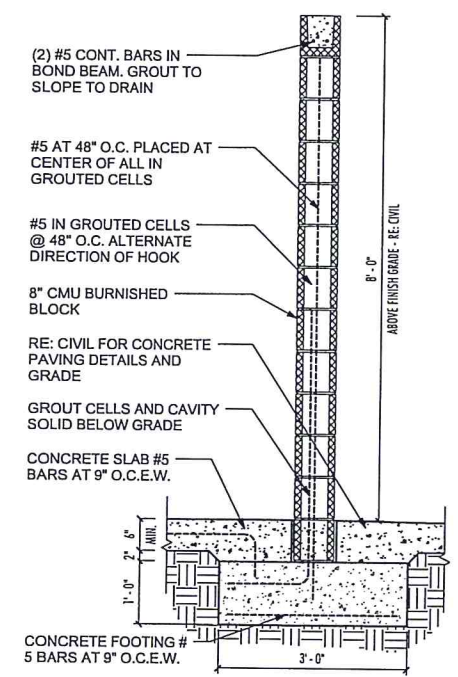
01 LANDSCAPE PLAN
SCALE: 1/16" = 1'-0"

02 TREE PLANTING - CLAY SOIL
SCALE: 1/4" = 1'-0"

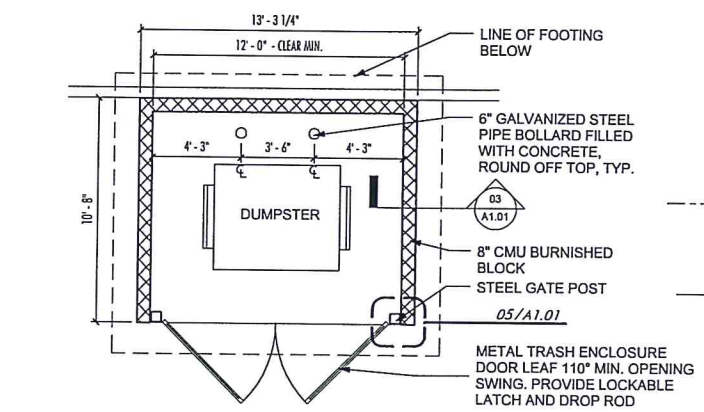
Date 7/18/18 By [Signature]
SHREVEPORT MPC EXECUTIVE DIRECTOR DATE



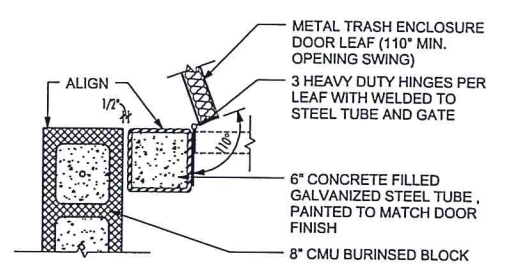
04 SECTION DETAIL - BOLLARD
SCALE: 3/4" = 1'-0"



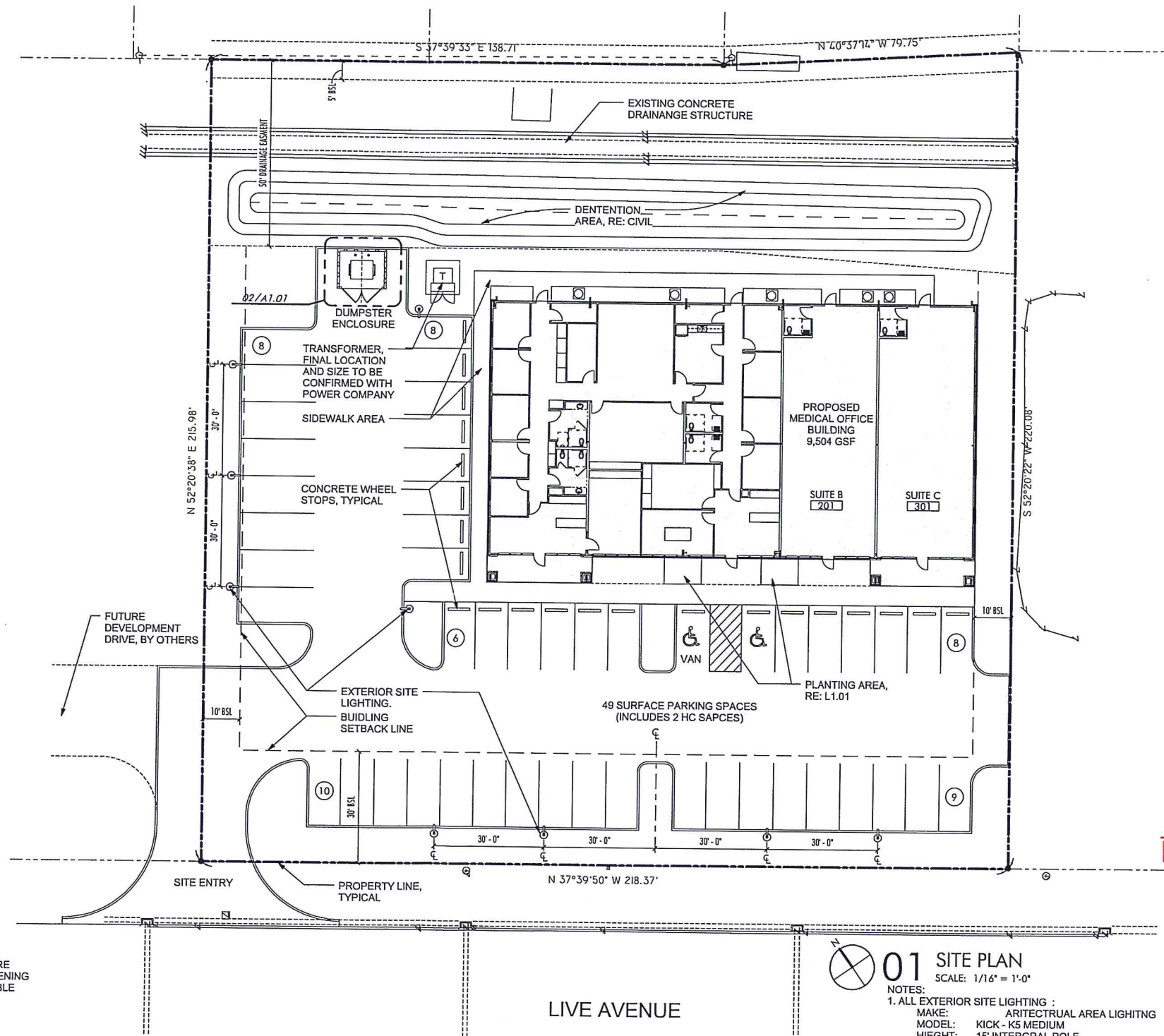
03 SECTION DETAIL DUMPSTER WALL
SCALE: 3/4" = 1'-0"



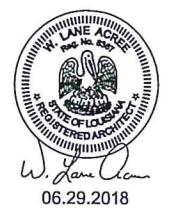
02 ENLARGED PLAN - DUMPSTER ENCLOSURE
SCALE: 1/4" = 1'-0"



05 SECTION DETAIL DUMPSTER ENCLOSURE HINGE
SCALE: 1 1/2" = 1'-0"



01 SITE PLAN
SCALE: 1/16" = 1'-0"
NOTES:
1. ALL EXTERIOR SITE LIGHTING :
MAKE: ARITECTURAL AREA LIGHTING
MODEL: KICK - K5 MEDIUM
HEIGHT: 15' INTEGRAL POLE
FIXTURE TO MOUNT ON 2" DIA. CONCRETE PEDESTAL 2' ABOVE FINISH GRADE.



client
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318.210.0813

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RALEY & ASSOCIATES
4913 Shed Rd.
Bossier City, LA 71111
318.752.9023

(Refer to Report for Stipulations)

project
LINE AVENUE MEDICAL OFFICE
Shreveport, LA 71106

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SITE PLAN APPLICATION 06.29.2018

EXECUTIVE DIRECTOR APPROVAL

Date: 7/18/18
By: *my*

title
SITE PLAN & DETAILS

project number: 18004
date: 06.29.2018
sheet:

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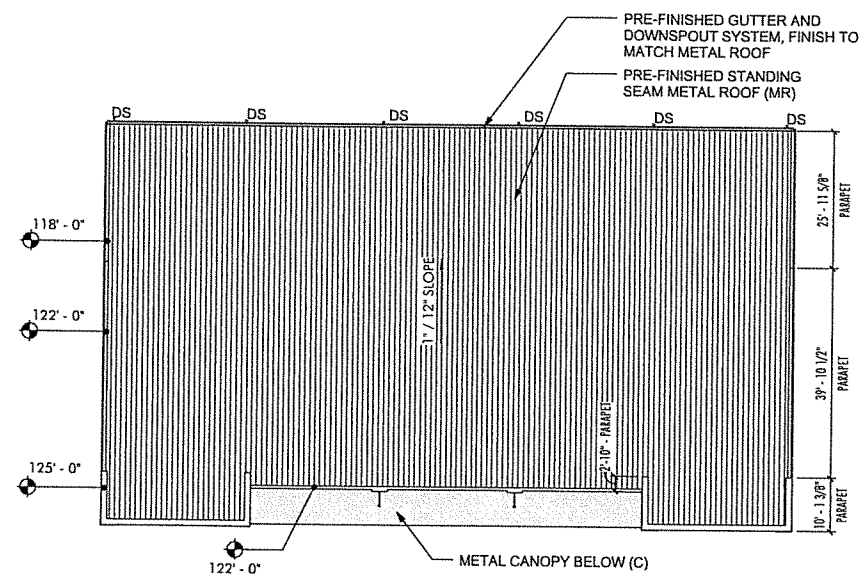
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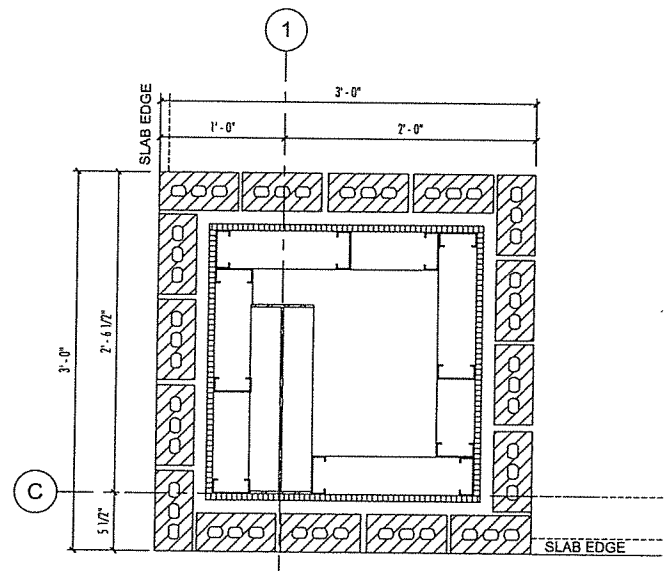
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FLOOR PLANS

project number 18004
date 06.29.2018
sheet

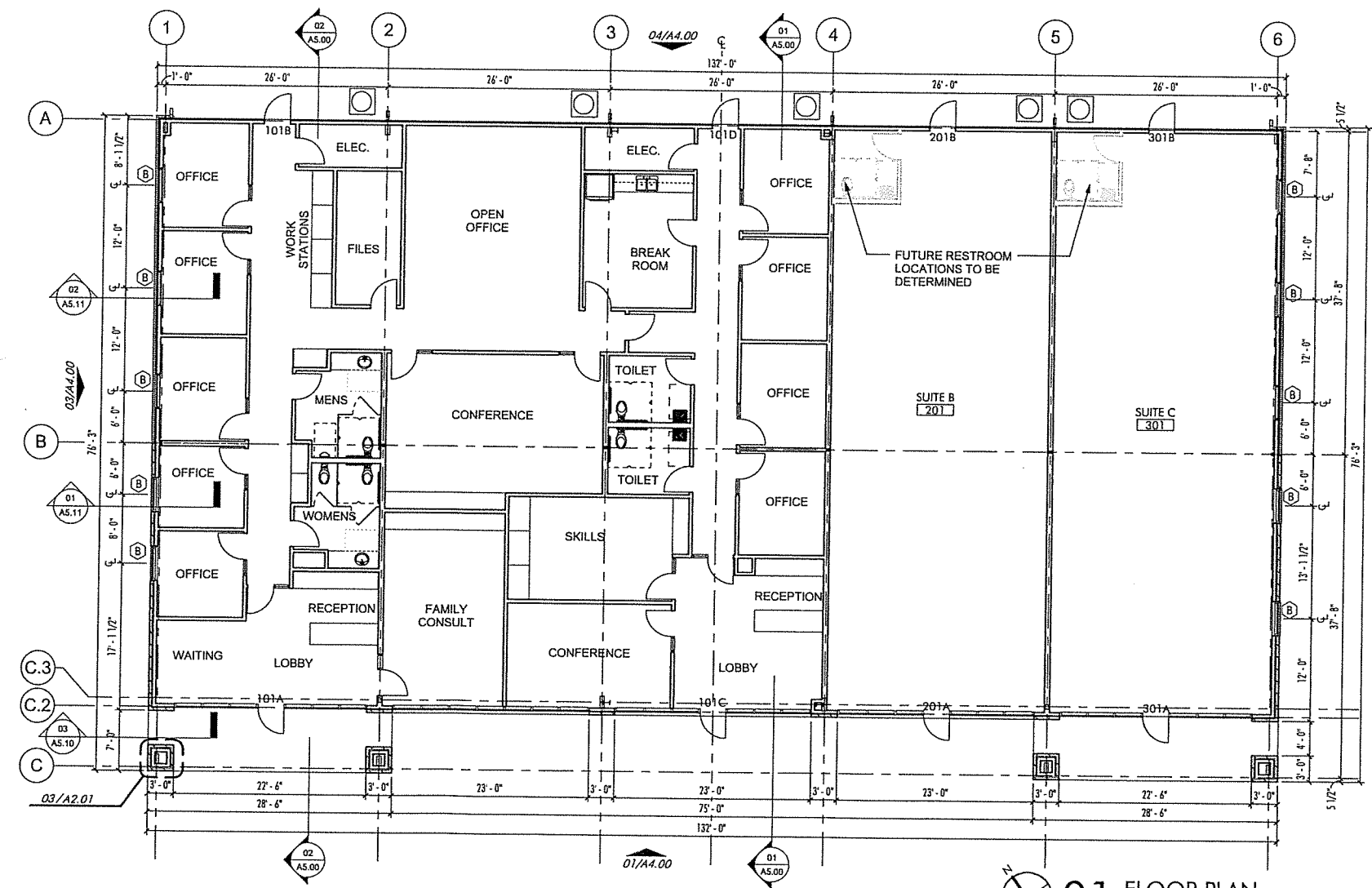
A2.01



02 ROOF PLAN
SCALE: 1/16" = 1'-0"



03 PLAN DETAIL
SCALE: 1 1/2" = 1'-0"



01 FLOOR PLAN
SCALE: 1/8" = 1'-0"

SHREVEPORT MPC EXECUTIVE DIRECTOR DATE

PROJECT: 6-29-2018 3:15:41 PM



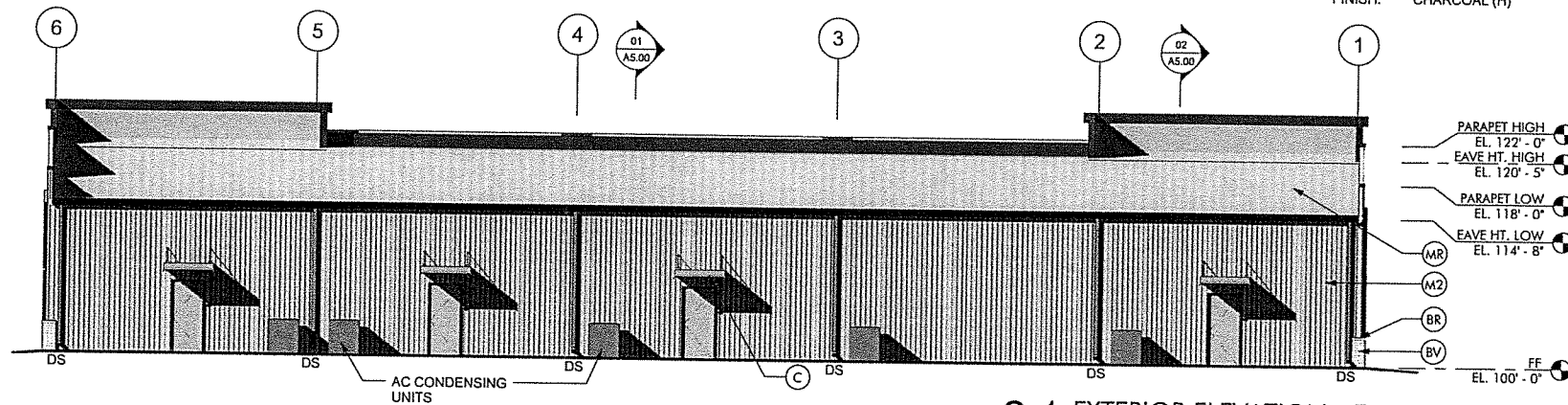
05 PERSPECTIVE VIEW
SCALE:

EXTERIOR FACADE CALCULATIONS

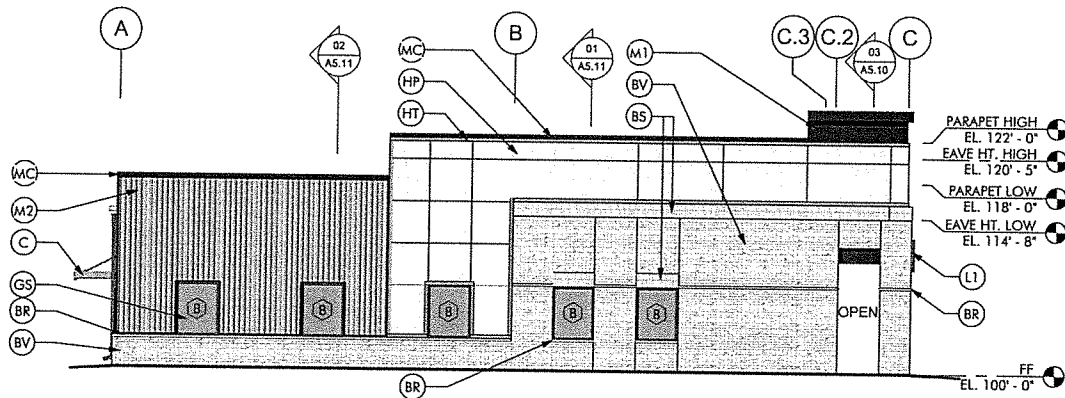
NORTH & SOUTH FACADE - TOTAL FACADE AREA - 1,576 SF		
FACADE MATERIAL	AREA	FACADE %
BRICK VENEER (BV)	636 SF	40.3%
FIBER CEMENT PANEL (HP)	433 SF	27.4%
METAL PANEL (M2)	345 SF	21.9%
GLAZING (GS)	133 SF	8.4%
METAL PANEL (M1)	29 SF	2.0%
EAST FACADE - TOTAL FACADE AREA - 1,824 SF (DOORS EXCLUDED)		
FACADE MATERIAL	AREA	FACADE %
METAL PANEL (M2)	1,816 SF	99.5%
BRICK VENEER (BV)	8 SF	.5%
WEST FACADE - TOTAL FACADE AREA - 3,067 SF		
FACADE MATERIAL	AREA	FACADE %
FIBER CEMENT PANEL (HP)	1,200 SF	39.1%
GLAZING (GS)	1,191 SF	38.8%
BRICK VENEER (BV)	329 SF	10.7%
METAL CANOPY (C)	180 SF	6.0%
METAL PANEL (M1)	167 SF	5.4%

EXTERIOR FINISH LEGEND (X) →

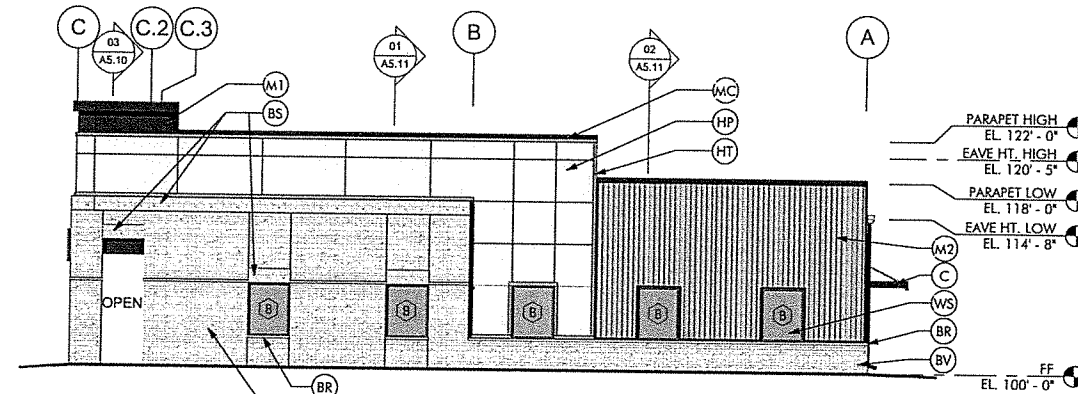
- (BV) BRICK VENEER
TYPE: MODULAR
PATTERN: RUNNING
COMPANY: ACME BRICK
NAME: SAN JOSE
MORTAOR: PLAIN GRAY
- (BS) BRICK VENEER - SOLDIER COURSE
MATCH BV MATERIAL
- (BR) BRICK VENEER - ROWLOCK
MATCH BV MATERIAL
- (GS) INSULATED GLAZING SYSTEM
COMPANY: KAWNEER
TYPE: 451T
FINISH: BRONZE ANODIZED
- (HP) FIBER CEMENT PANEL
COMPANY: JAMES HARDIE
TYPE: SMOOTH
FINISH: PAINT
- (HT) FIBER CEMENT TRIM
COMPANY: JAMES HARDIE
TYPE: 4/4 SMOOTH
FINISH: PAINT
- (M1) ALUMINUM COMPOSITE PANEL
COMPANY: ALPOLIC
TYPE: RAINSCREEN SYSTEM
FINISH: SBR BRONZE
- (M2) PRE-FINISHED METAL PANEL
COMPANY: McELROY METAL
TYPE: CONCEALED FASTENER
FINISH: ASH GRAY
- (MC) PRE-FINISHED METAL PARAPET CAP
FINISH: MATCH M1
- (MR) PRE-FINISHED METAL ROOF
COMPANY: McELROY METAL
TYPE: MAXIMA
SIZE: 12" x 1.5"
FINISH: ASH GRAY
- (C) PRE-FINISHED METAL CANOPY
COMPANY: MAPES ARCHITECTURAL CANOPIES
TYPE: SUPER LUMIDECK FLAT SOFFIT
FINISH: EXTRA DARK BRONZE
- (LI) SURFACE MOUNTED LIGHT FIXTURE
COMPANY: TECH LIGHTING
TYPE: ASPEN WEDGE 36
TEMP: 3000K
FINISH: CHARCOAL (H)



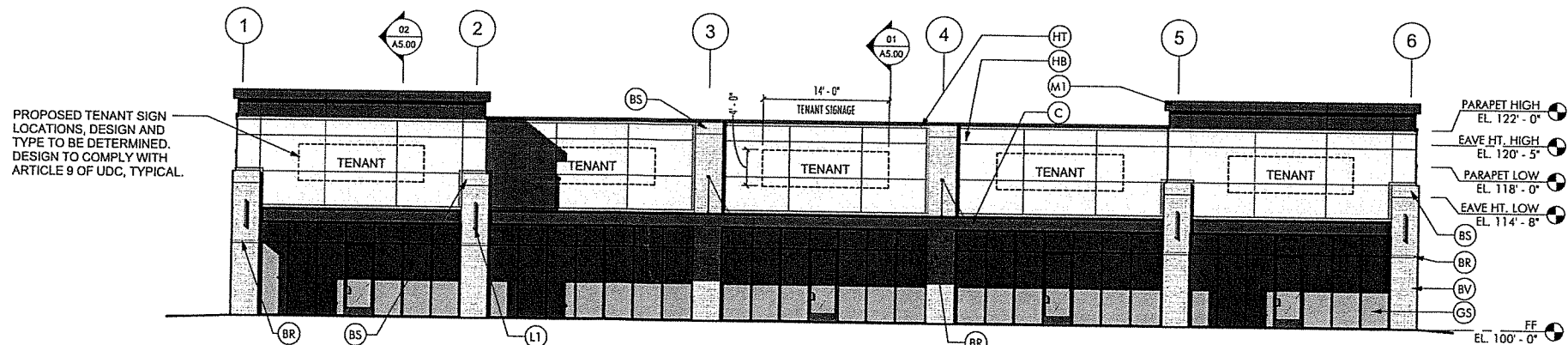
04 EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"



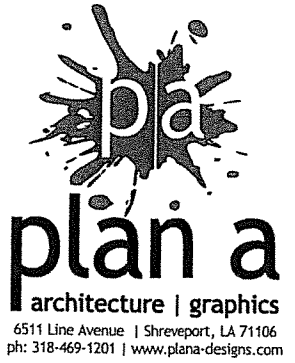
03 EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



02 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



01 EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



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