

A REMODEL FOR
3301 LINE
 LOCATED 3301 LINE AVE
 SHREVEPORT, LOUISIANA 71104

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PERSPECTIVE

OWNER INFORMATION: OWNER: WHITLOCK & SHELTON PROPERTIES 1055 LOUISIANA AVE SHREVEPORT, LA 71101 PH: 318-219-7913	DRAWING INFORMATION: PLANS PREPARED BY: WHITLOCK & SHELTON CONSTRUCTION, INC. WARD BRYANT 1055 LOUISIANA AVENUE SHREVEPORT, LOUISIANA 71101 PH: 318-219-7913	PROJECT INFORMATION: PROJECT: 3301 LINE AVE PLAN TYPE: COVER PAGE/SHEET INDEX SUBDIVISION: PIRKLE PLACE SUB ACREAGE: 0.11 ACRES ADDRESS: 3301 LINE AVE CITY: SHREVEPORT PARISH: CADDO STATE: LOUISIANA 71104 LEGAL: W75FT OF N. 66FT OF LOT 1, PIRKLE PL SUB, 171307-39-83 GEO#: 171307-039-0083-00
SHEET NO.		A-01
SHEETS IN SET 00		

ADJACENT PROPERTY

1 3301 LINE AVE
 OWNER: WHITLOCK & SHELTON PROPERTIES
 1055 LOUISIANA AVE
 SHREVEPORT, LOUISIANA 71101
 SUB: PIRKLE PLACE SUB
 ZONED: C-UC
 USE: COMMERCIAL
 W. 75FT OF N. 66FT OF LOT 1, PIRKLE PLACE SUB
 171307-39-83
 GEO# 171307-039-0008-00

3 3240 LINE AVE
 OWNER: ERICKSON, CLARENCE BARTEL, III AND DINAH GUNTER ERICKSON
 1066 ERIE ST
 SHREVEPORT, LOUISIANA 71106-1404
 SUB: COLONIAL HILL
 ZONED: C-UC
 USE: COMMERCIAL
 LOT FRONTING 65FT ON LINE AVE BY 100 FT ON GLADSTONE BLVD IN LOTS 16, 17 & 18, BLK COLONIAL
 GEO# 171412-0590035-00

5 755 GLADSTONE BLVD
 OWNER: GLADSTONE LAND COMPANY, LLC
 126 CENTENARY CIR
 SHREVEPORT, LA 71104
 SUB: PIRKLE PLACE
 ZONED: C-UC
 USE: COMMERCIAL
 LOT 2 & E. 35FT OF LOT 1 & S. 64 FT. OF W. 75FT OF LOT 1, PIRKLE PLACE SUB 171307-39-99.
 GEO# 171307-039-0099-00

2 3310 LINE AVE
 OWNER: GLENWOOD DRUG CO. INC
 3310 LINE AVE
 SHREVEPORT, LOUISIANA 71104-4212
 SUB: COLONIAL HILL
 ZONED: C-UC
 USE: COMMERCIAL
 IMPS ON LEASED LAND LOCATED LOTS 12-15, BLK 1, COLONIAL HILL SUB. LAND ASSD TO JOHN L. BAIRD
 GEO# 171412-065-9053-01

4 3201 LINE AVE
 OWNER: CADDO PARISH SCHOOL BOARD
 SHREVEPORT
 LOUISIANA 00000
 SUB: T. 17 N., R. 13 W.
 ZONED: R-2
 USE: EDUCATION
 20 ACRES-5/2 OF N/2 OF SW/4 OF NW/4 & N/2 OF S/2 OF SW/4 OF NW/4 OF SEC 17-13 & LOTS 44-58, INCLUSIVE BON AIR SUBD. & 1/2 ABDN. ALLEY ADJ. 1/2 ABDN. DILLINGHAM ST ADJ. BYRD HIGH SCHOOL
 GEO# 171307-024-0016-00

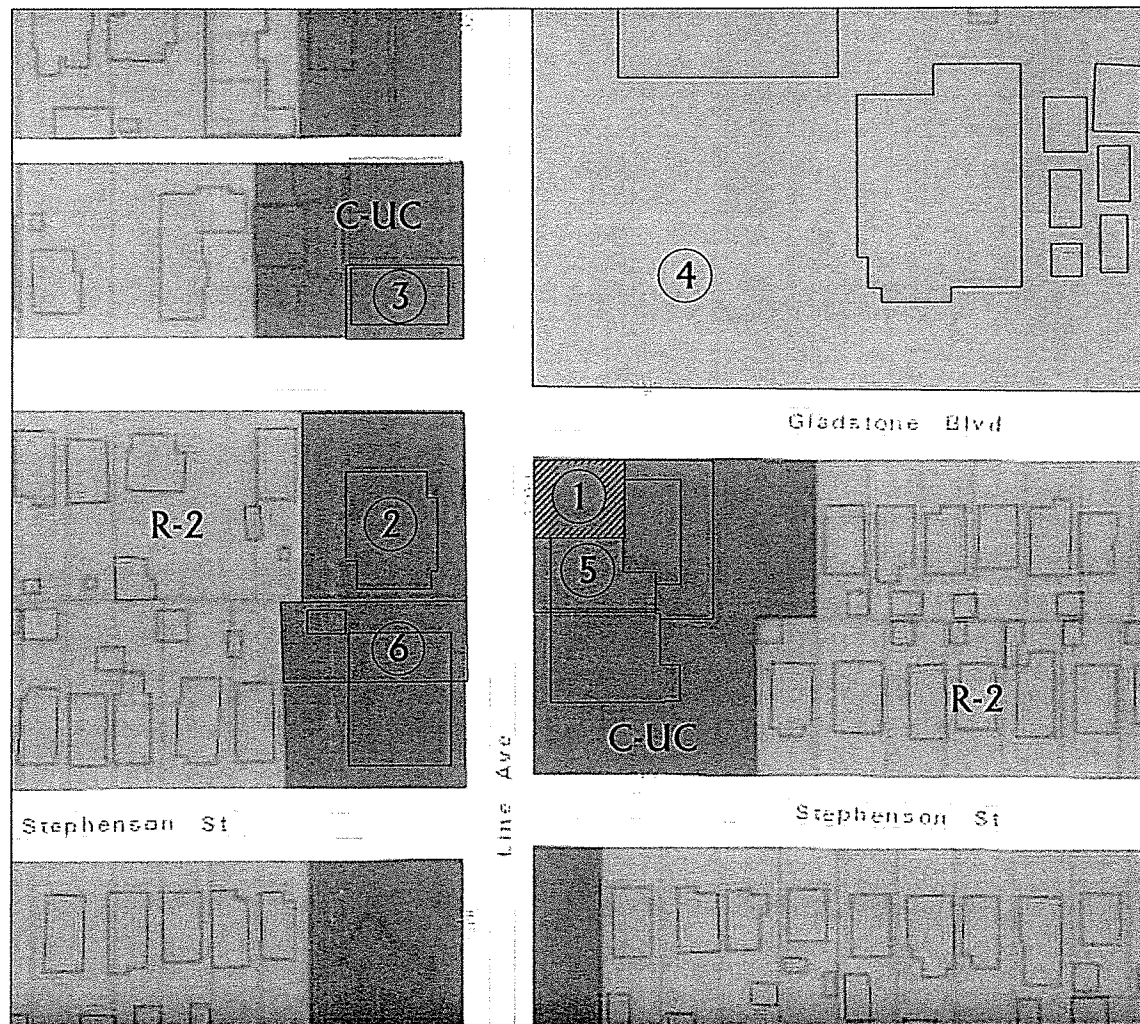
6 3316 LINE AVE
 OWNER: KOSMITIS
 3316 LINE AVE
 SHREVEPORT, LOUISIANA 71104
 SUB: COLONIAL HILL SUBDIVISION, UNIT NO.5
 ZONED: C-UC
 USE: COMMERCIAL
 0.243 AC. M/L - LOT 2, COLONIAL HILL SUBDIVISION UNIT NO. 5,
 171412-152-2.
 GEO# 171412-152-0002-00

SCALE: NOT TO SCALE



AERIAL VICINITY MAP

SCALE: NOT TO SCALE



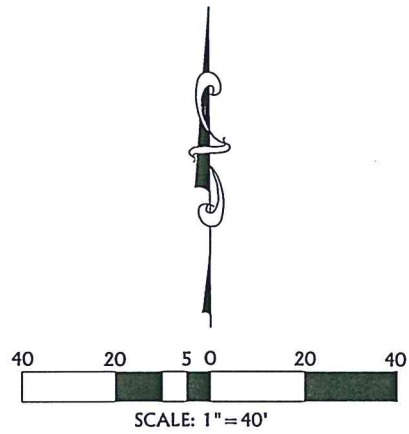
ZONING VICINITY MAP

SCALE: NOT TO SCALE

EXECUTIVE DIRECTOR

DATE

OWNER INFORMATION:	OWNER: WHITLOCK & SHELTON PROPERTIES 1055 LOUISIANA AVE SHREVEPORT, LA 71101 PH: 318-219-7913
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PROJECT INFORMATION:	PARISH: CADDO STATE: LOUISIANA 71104 LEGAL: W75FT OF N. 66FT OF LOT 1, PIRKLE PL SUB, 171307-39-83 GEO#: 171307-039-0083-00 PROJECT: 3301 LINE AVE PLAN TYPE: VICINITY MAP SUBDIVISION: PIRKLE PLACE SUB ACREAGE: 0.11 ACRES ADDRESS: 3301 LINE AVE CITY: SHREVEPORT
SHEET NO.	A-02
SHEETS IN SET 00	



EXISTING SITE INFORMATION

SITE 0.11 ACRES/4,950SFT
 SUBDIVISION: PIRKLE PLACE S-T-R-07-17-13
 ADDRESS: 3301 LINE AVE
 SHREVEPORT, LA 71104
 GEO# 171307-039-0083-00
 EXISTING CONTOURS DO NOT VARY ENOUGH FOR CONTOUR LINES
 EXISTING SITE IS AT 215 FT ELEVATION
 ALL AREAS OF SITE OUTSIDE OF BUILDING ARE FULLY PAVED AND COVERED IN EXISTING CONCRETE
 NO SPECIFIED AREA FOR DRIVEWAY, ALL CURB FACING RIGHT OF WAY ALONG GLADSTONE AND LINE AVE ARE "SOFT CURB"

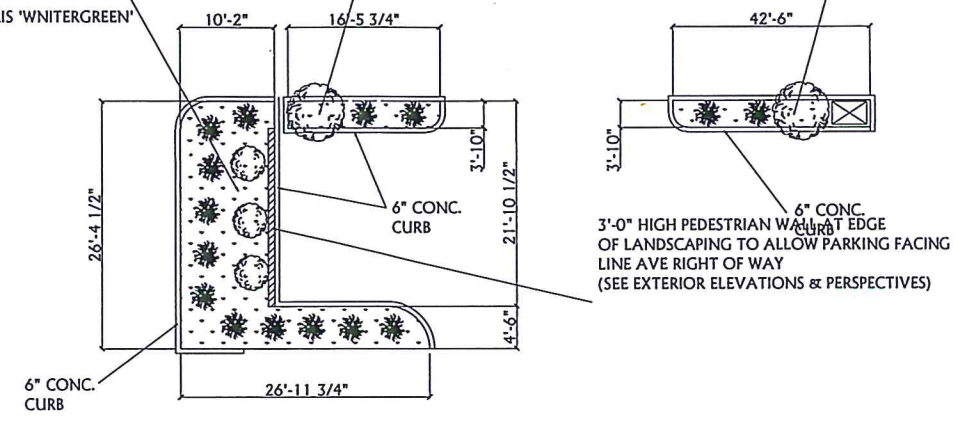
EXISTING BLDG. INFORMATION

EXISTING BUILDING IS 1,269 SQFT
 USE: COMMERCIAL, FORMER DRY CLEANERS (GLENWOOD CLEANERS)
 SINGLE STORY
 OVERALL HEIGHT OF BUILDING 11'-0"
 FINISHED FLOOR ELEVATION 215'-6"

AREA 1 IS 335 SQFT
 CONTAINING:
 (3) FOUNTAIN GRASS SHRUBS
 PENNISETUM ALOPECUROIDES SPP.
 (1) BOXWOOD, KOREAN
 BUXUS SINICA VAR. INSULARIS 'WNITERGREEN'

AREA 2 IS 47 SQFT
 CONTAINING:
 (2) BOXWOOD, KOREAN
 BUXUS SINICA VAR. INSULARIS 'WNITERGREEN'
 (1) OAK, BLUEJACK
 QUERCUS INCANA

AREA 3 IS 60 SQFT
 CONTAINING:
 (2) BOXWOOD, KOREAN
 BUXUS SINICA VAR. INSULARIS 'WNITERGREEN'
 (1) OAK, BLUEJACK
 QUERCUS INCANA



LANDSCAPE AREAS

SCALE: 1" = 10'

LANDSCAPE INFORMATION

CURRENT SITE CONTAINS NO LANDSCAPING AND ENTIRE SITE IS COMPLETELY PAVED OVER IN CONCRETE.

THIS PROJECT WILL BE SEEKING A VARIANCE OF THE LANDSCAPING REQUIREMENTS DUE TO THE LACK OF ANY CURRENT LANDSCAPING AND THE POTENTIAL HARDSHIP OF PROVIDING ALL NEEDED LANDSCAPING REGARDING THE REMOVAL OF EXCESSIVE AMOUNTS OF CONCRETE AND PAVING ON SITE.

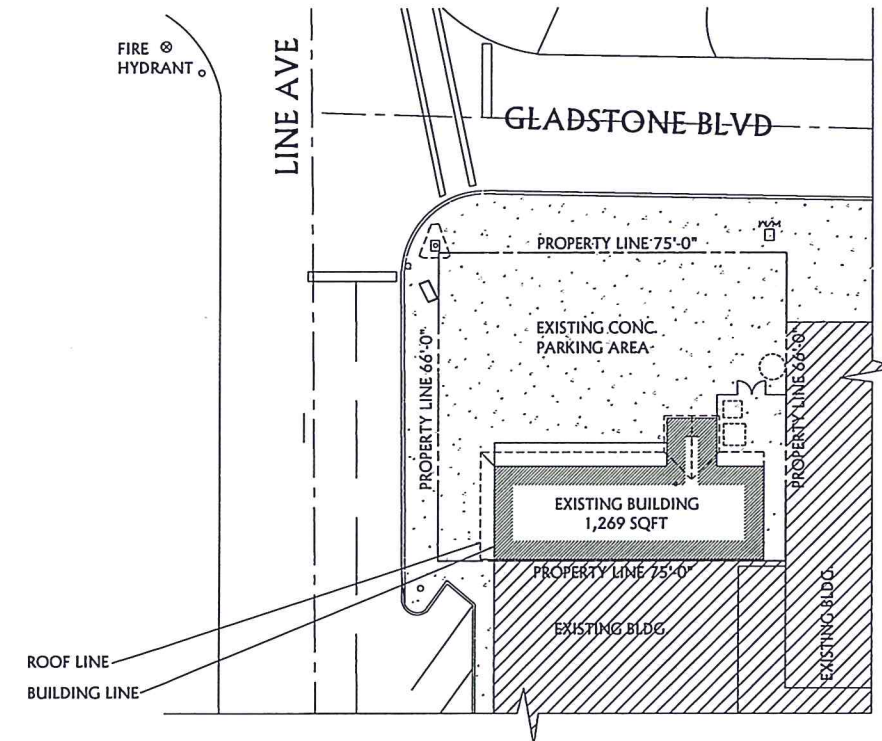
PROPOSED LANDSCAPING IS OF THREE AREAS:
 AREA 1 IS 335 SQFT
 CONTAINING:
 (3) FOUNTAIN GRASS SHRUBS
 PENNISETUM ALOPECUROIDES SPP.
 (1) BOXWOOD, KOREAN
 BUXUS SINICA VAR. INSULARIS 'WNITERGREEN'

AREA 2 IS 47 SQFT
 CONTAINING:
 (2) BOXWOOD, KOREAN
 BUXUS SINICA VAR. INSULARIS 'WNITERGREEN'
 (1) OAK, BLUEJACK
 QUERCUS INCANA

AREA 3 IS 60 SQFT
 CONTAINING:
 (2) BOXWOOD, KOREAN
 BUXUS SINICA VAR. INSULARIS 'WNITERGREEN'
 (1) OAK, BLUEJACK
 QUERCUS INCANA

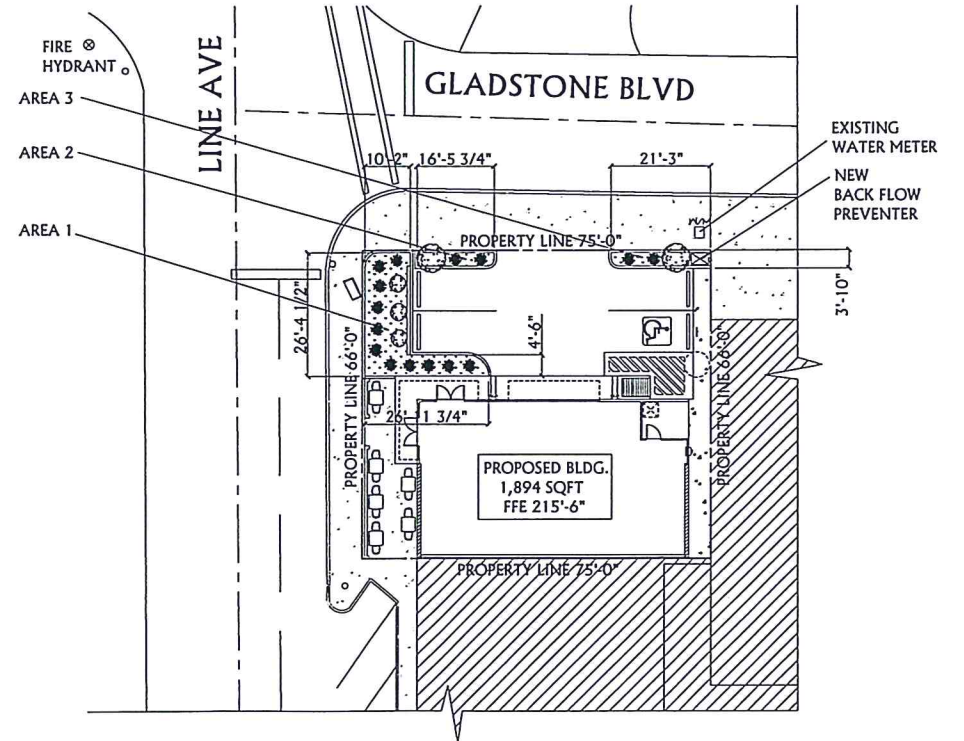
*ALL AREAS OF PROPOSED LANDSCAPING AREAS OUTSIDE OF AREAS DESIGNATED FOR PLANTS WILL BE COVERED IN SOD GROUND COVER
 *ALL LANDSCAPED AREAS ARE 6" CONCRETE CURBS AT ALL SIDES FACING PAVEMENT

REQUIRED LANDSCAPING WITH EXEMPTIONS FROM DRIVEWAYS AND OUTDOOR AREAS IS 467 SQFT PER UDC CODE, PROVIDED LANDSCAPING SHOWN IS 442 SQFT



EXISTING SITE PLAN

SCALE: 1" = 40'



PROPOSED LANDSCAPING PLAN

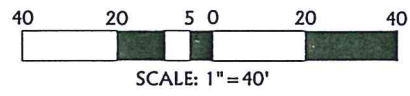
SCALE: 1" = 40'

(Refer to Stipulations)

**EXECUTIVE
 DIRECTOR
 APPROVAL**

EXECUTIVE DIRECTOR _____ DATE _____
 Date 5/16/18 By [Signature]

OWNER INFORMATION: OWNER: WHITLOCK & SHELTON PROPERTIES 1055 LOUISIANA AVE SHREVEPORT, LA 71101 PH: 318-219-7913	DRAWING INFORMATION: PLANS PREPARED BY: WHITLOCK & SHELTON CONSTRUCTION, INC. WARD BRYANT 1055 LOUISIANA AVENUE SHREVEPORT, LOUISIANA 71101 PH: 318-219-7913	PROJECT INFORMATION: PARISH: CADDO STATE: LOUISIANA 71104 LEGAL: W75FT OF N. 66FT OF LOT 1, PIRKLE PL SUB, 171307-39-83 GEO#: 171307-039-0083-00
SHEET NO. A-04		
SHEETS IN SET 00		



PROPOSED SITE INFORMATION

SITE 0.11 ACRES/4,950SFT
 SUBDIVISION: PIRKLE PLACE S-T-R-07-17-13
 ADDRESS: 3301 LINE AVE
 SHREVEPORT, LA 71104
 GEO# 171307-039-0083-00
 EXISTING CONTOURS DO NOT VARY ENOUGH FOR CONTOUR LINES
 EXISTING SITE IS AT 215 FT ELEVATION
 ALL AREAS OF EXISTING PAVED AREAS FOR PARKING ARE TO BE REMOVED TO INSTALL LANDSCAPING

PROPOSED BLDG. INFORMATION

PROPOSED BUILDING IS 1,894 SQFT
 USE: COMMERCIAL, SINGLE TENANT SPACE
 SINGLE STORY, HEIGHT OF BUILDING ROOF STRUCTURE IS 14'-0"
 OVERALL HEIGHT OF BUILDING 18'-0" (TOP OF PARAPET WALL)
 FINISHED FLOOR ELEVATION 215'-6"
 ADDITION TO BUILDING WILL BE ADDING TO THE EXISTING SLAB STRUCTURE AND BUILDING OUT TOWARDS GLADSTONE

PARKING INFORMATION

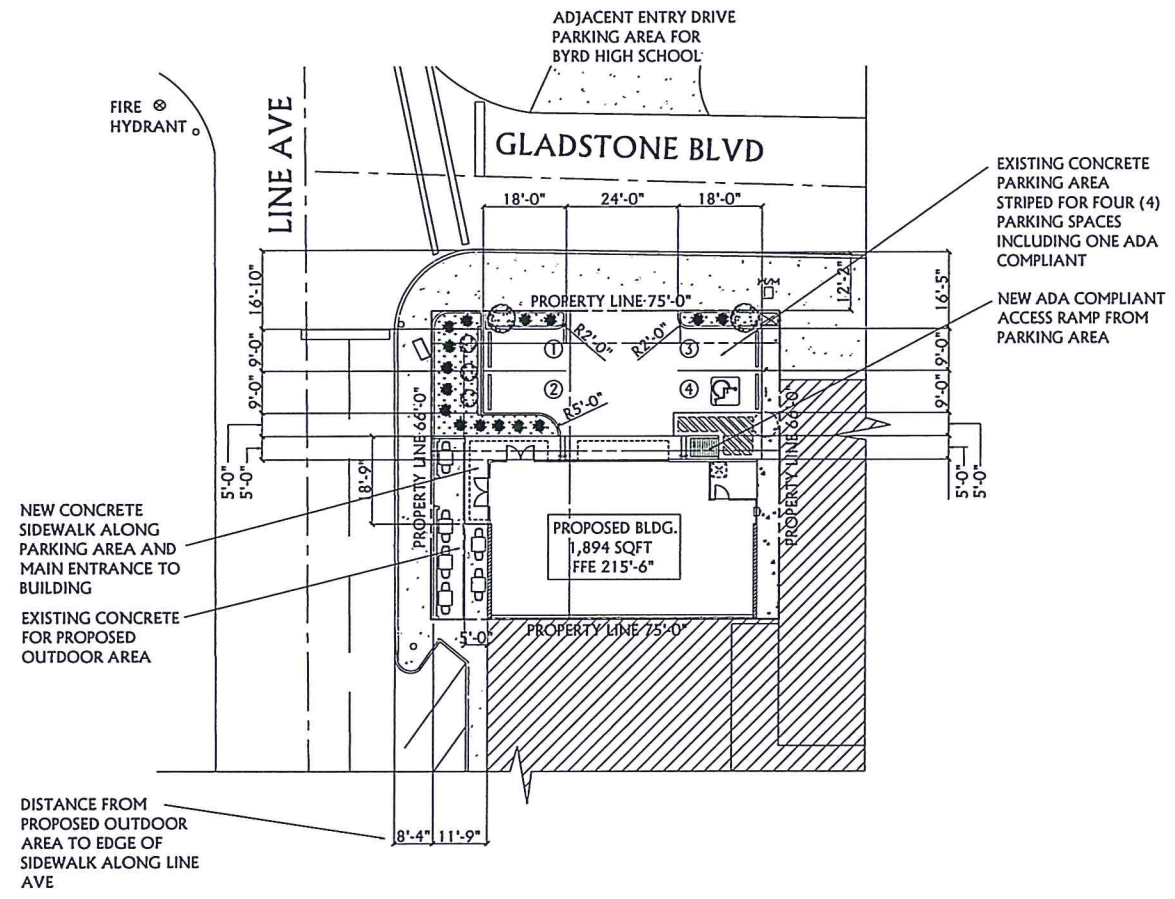
PROPOSED BUILDING 1,894 SQFT
 ZONED C-UC
 PER UDC 8.11 B. 3.
 NON-RESIDENTIAL USES OF 2,500 SQFT OR LESS OF GROSS FLOOR AREA IN C-1, C-UC, AND I-MU DISTRICTS ARE EXEMPT FROM ALL OFF-STREET VEHICLE PARKING REQUIREMENTS.

ON SITE PARKING PROVIDED FOUR (4) PARKING SPACES
 ALL PARKING SPACES ARE 9'-0" WIDE AND 18'-0" DEEP
 ACCESS AISLE FOR PARKING IS 24'-0" WIDE

PROPOSED PARKING LAYOUT CONTAINS ONE (1) HANDICAP ACCESSIBLE PARKING SPACE WITH ACCESS AISLE MEASURING 5'-0" WIDE.

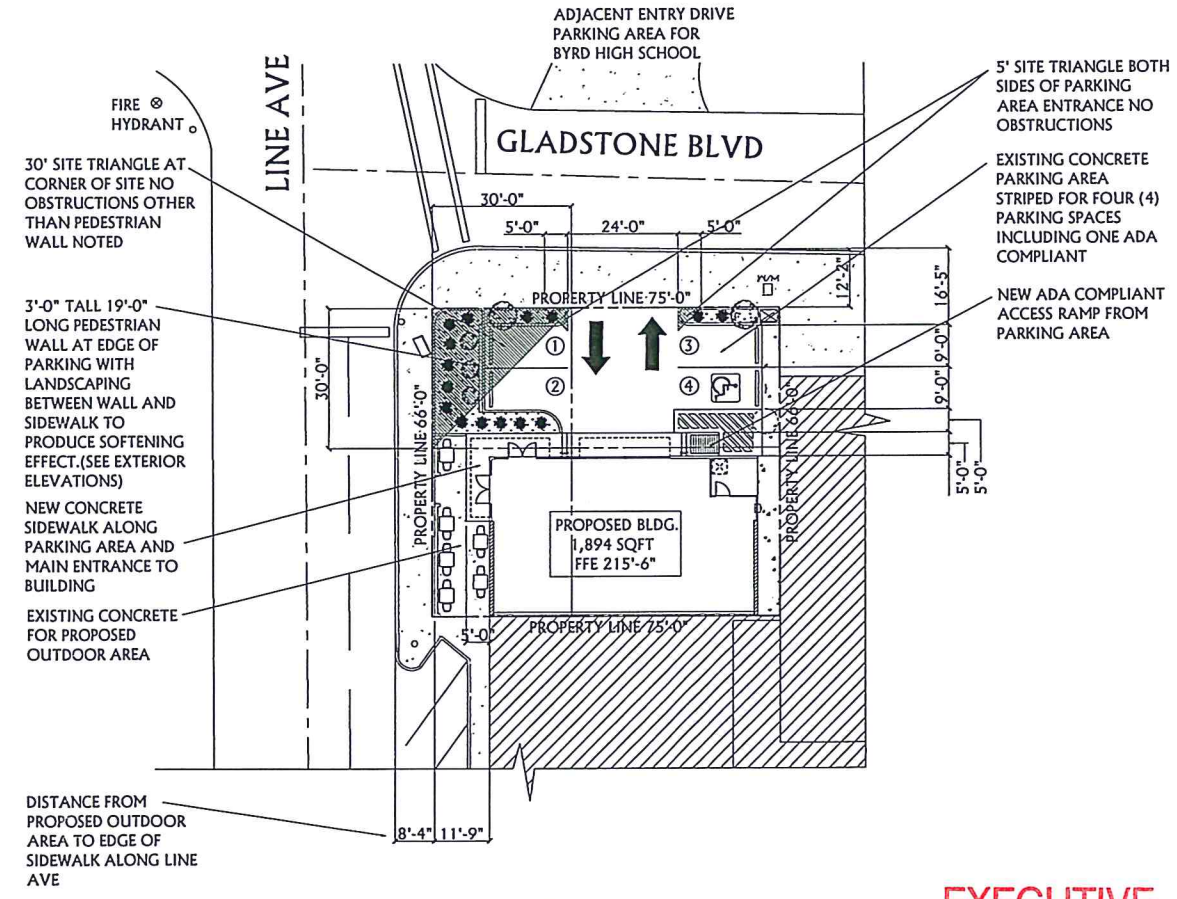
ALL PARKING SPACES WILL BE PROVIDED WITH CURB STOPS

36" HIGH PEDESTRIAN WALL LOCATED ALONG WEST FACING PARKING STALLS FACING LINE AVE. LANDSCAPING BETWEEN SIDEWALK AND PEDESTRIAN WALL TO SOFTEN EDGE.



PROPOSED PARKING PLAN

SCALE: 1" = 40'



PROPOSED VEHICLE CIRCULATION PLAN

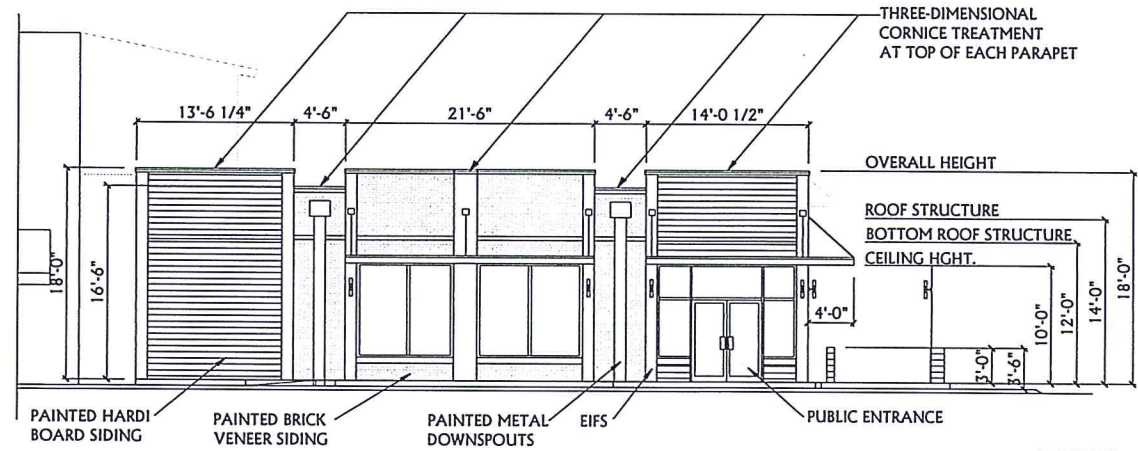
SCALE: 1" = 40'

(Refer to Stipulations)

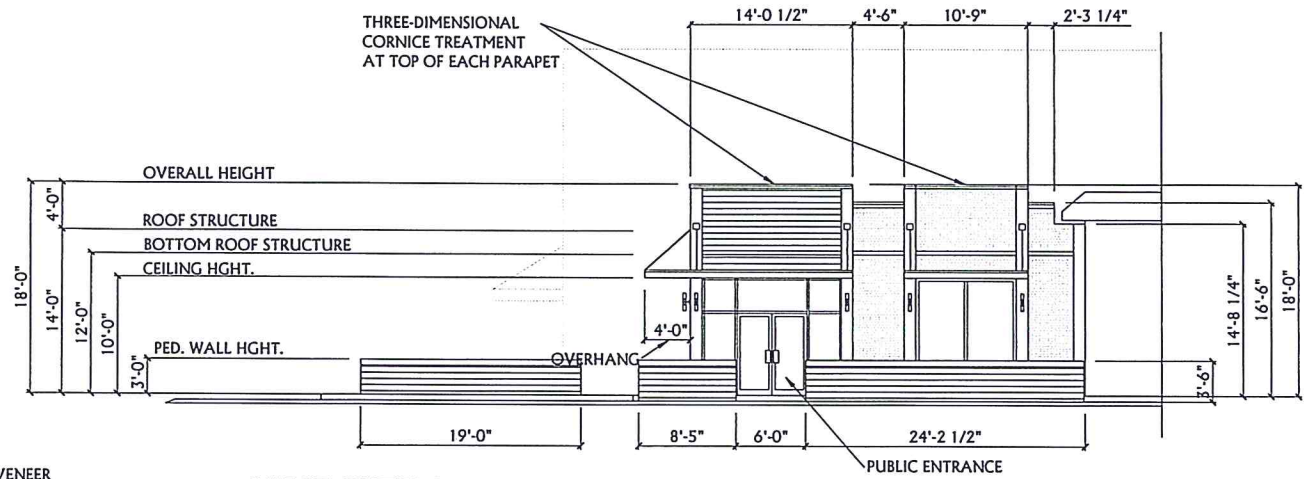
EXECUTIVE DIRECTOR APPROVAL

EXECUTIVE DIRECTOR _____ DATE _____
 By 5/16/18

OWNER INFORMATION:	OWNER: WHITLOCK & SHELTON PROPERTIES 1055 LOUISIANA AVE SHREVEPORT, LA 71101 PH: 318-219-7913
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	PROJECT: 3301 LINE AVE PLAN TYPE: PAVING/PARKING CIRCULATION SUBDIVISION: PIRKLE PLACE SUB ACREAGE: 0.11 ACRES ADDRESS: 3301 LINE AVE CITY: SHREVEPORT
SHEET NO.	A-05
SHEETS IN SET	00



NORTH EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"



WEST EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"

- EXISTING BRICK/BRICK VENEER
PAINTED SW 7004 SNOWBOUND
SHERWIN WILLIAMS
- CEMENT BOARD SIDING
PAINTED SW 6005 FOLKSTONE
SHERWIN WILLIAMS
- EIFS TRIM
COLORED LIGHT GREY
- AWNINGS ARE POWDER COATED BLACK
SCUPPERS AND DOWNSPOUTS PAINTED TO
MATCH EIFS LIGHT GREY

*PLEASE SEE PERSPECTIVES FOR REPRESENTATION OF EXTERIOR MATERIAL AND COLOR FOR FACADE



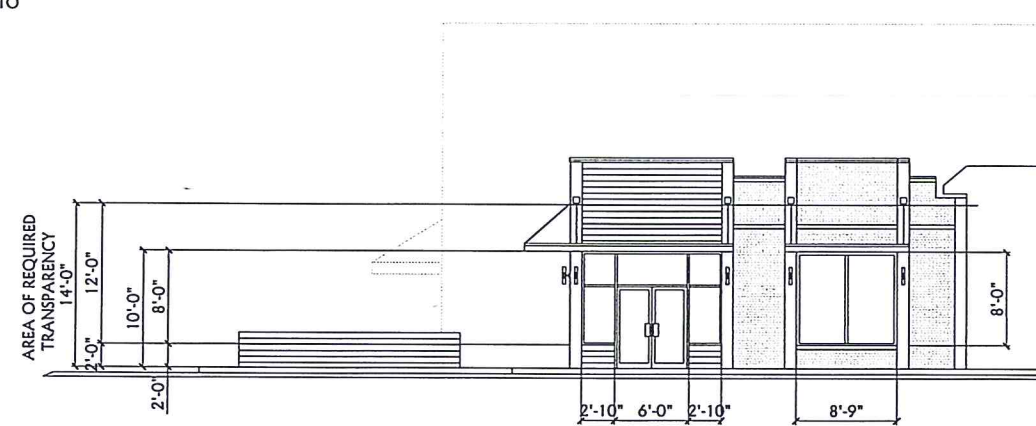
NORTH EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"

TRANSPARENCY INFORMATION

FRONT ELEVATION IS THE WEST ELEVATION, ADDRESS FOR SITE IS ON LINE AVE AND ALLOWS PARKING ACCESS LOCATED ON GLADSTONE BLVD. WITH LESS TRAFFIC FLOW THAN USING LINE AVE.

REQUIRED AREA TO CONTAIN TRANSPARENCY IS 50% COVERAGE BETWEEN 2'-14" FROM GRADE. THIS REQUIRES 205 SQFT OF TRANSPARENCY. THE ROOF STRUCTURE BEING BETWEEN 12'-14" FROM GRADE, DUE TO NOT DISTURBING THE OVERHANG AND CORNICE WORK OF THE ADJACENT BUILDING AND A CEILING HEIGHT OF 10' ON THE INTERIOR OF THE SPACE TO ALLOW FOR MECHANICAL DUCTWORK AND ELECTRICAL TO BE RUN THROUGH THE SPACE ANY TRANSPARENCY IS MISUSED ABOVE THIS POINT. THE SCALE OF THE PROJECT ALONG WITH REDUCED AREA TO PLACE TRANSPARENT MATERIAL IN KEEPING WITH THE OVERALL AESTHETIC OF THE PROPOSED PROJECT RESULTS IN A LESS TRANSPARENCY THAN REQUIRED.

PROVIDED IS 166 SQFT OF THE REQUIRED TRANSPARENCY, 80.9% OF THE REQUIRED AMOUNT BY CODE. A VARIANCE IN THIS ASPECT OF THE FENESTRATION IS BEING REQUESTED DUE TO THE CIRCUMSTANCES LISTED ABOVE.



WEST EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"

(OUTDOOR AREA PEDESTRIAN WALL REMOVED)

ROOF INFORMATION

ROOF IS TO BE A WHITE FLAT BUILT UP ROOF SLOPED TO DRAIN NORTH TOWARDS GLADSTONE BLVD. THROUGH SCUPPERS AND DOWNSPOUTS LOCATED ON THE NORTH ELEVATION.

FACADE MATERIAL INFORMATION

ONLY MATERIAL FROM THE LIMITED USE OF MATERIALS FOR COMMERCIAL DISTRICT USED ON THIS PROJECT IS (C. ALUMINUM, STEEL, OR OTHER METAL SIDINGS) LOCATED IN THE SCUPPERS AND DOWNSPOUTS AND ARCHITECTURAL AWNINGS OVER WINDOWS.

EAST ELEVATION USE OF LIMITED MATERIAL IS 6%
WEST ELEVATION USE OF LIMITED MATERIAL IS 3%

(Refer to stipulations)

**EXECUTIVE
DIRECTOR
APPROVAL**

5/16/18 DATE
Date By

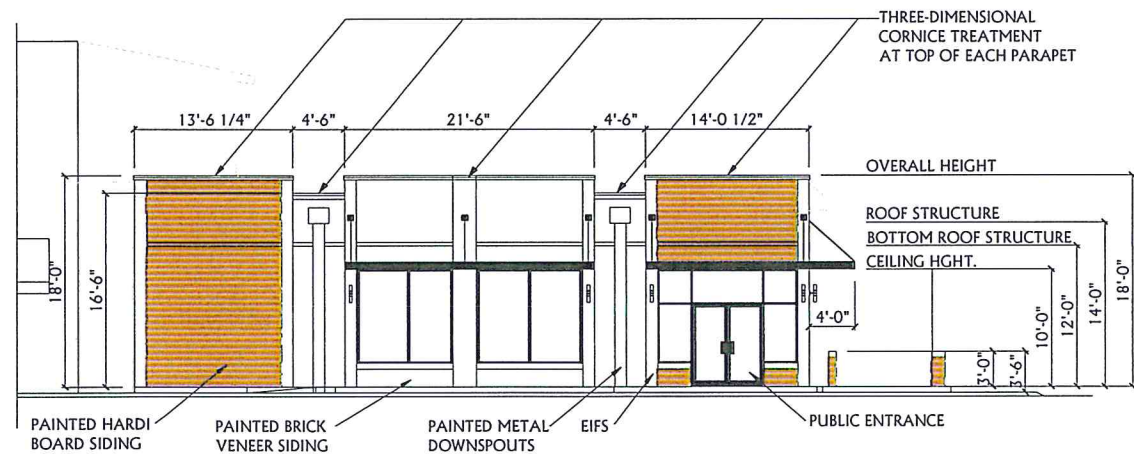
OWNER INFORMATION:
OWNER: WHITLOCK & SHELTON PROPERTIES
1055 LOUISIANA AVE
SHREVEPORT, LA 71101
PH: 318-219-7913

DRAWING INFORMATION:
PLANS PREPARED BY:
WHITLOCK & SHELTON CONSTRUCTION, INC.
WARD BRYANT
1055 LOUISIANA AVENUE
SHREVEPORT, LOUISIANA 71101
PH: 318-219-7913

PROJECT INFORMATION:
PARISH: CADDO
STATE: LOUISIANA 71104
LEGAL: W75FT OF N. 66FT OF LOT 1,
PIKLE PL SUB. 171307-39-83
GEO#: 171307-039-0083-00

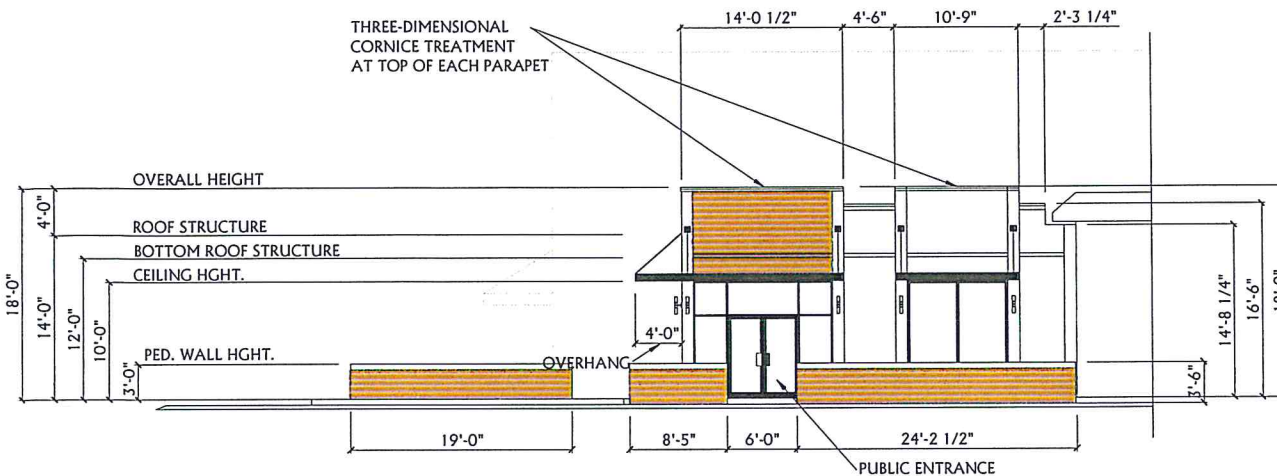
PROJECT: 3301 LINE AVE
PLAN TYPE: EXTERIOR ELEVATIONS
SUBDIVISION: PIKLE PLACE SUB
ACREAGE: 0.11 ACRES
ADDRESS: 3301 LINE AVE
CITY: SHREVEPORT

SHEET NO.
A-06
SHEETS IN SET 00







NORTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"



WEST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"

-  EXISTING BRICK/BRICK VENEER PAINTED SW 7004 SNOWBOUND SHERWIN WILLIAMS
-  CEMENT BOARD SIDING PAINTED SW 6005 FOLKSTONE SHERWIN WILLIAMS
-  EIFS TRIM COLORED LIGHT GREY
-  AWNINGS ARE POWDER COATED BLACK SCUPPERS AND DOWNSPOUTS PAINTED TO MATCH EIFS LIGHT GREY

*PLEASE SEE PERSPECTIVES FOR REPRESENTATION OF EXTERIOR MATERIAL AND COLOR FOR FACADE



NORTH EXTERIOR ELEVATION

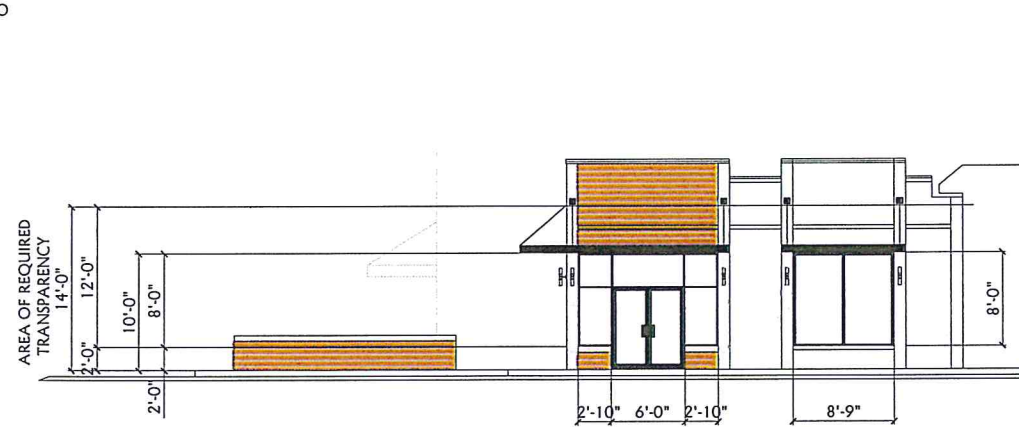
SCALE: 1/16" = 1'-0"

TRANSPARENCY INFORMATION

FRONT ELEVATION IS THE WEST ELEVATION, ADDRESS FOR SITE IS ON LINE AVE AND ALLOWS PARKING ACCESS LOCATED ON GLADSTONE BLVD. WITH LESS TRAFFIC FLOW THAN USING LINE AVE.

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WEST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0"

(OUTDOOR AREA PEDESTRIAN WALL REMOVED)

ROOF INFORMATION

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FACADE MATERIAL INFORMATION

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EAST ELEVATION USE OF LIMITED MATERIAL IS 6%
WEST ELEVATION USE OF LIMITED MATERIAL IS 3%

(Refer to stipulations)

**EXECUTIVE
DIRECTOR
APPROVAL**

EXECUTIVE DIRECTOR 5/16/18 DATE May
Date By

OWNER INFORMATION:
OWNER: WHITLOCK & SHELTON PROPERTIES
1055 LOUISIANA AVE
SHREVEPORT, LA 71101
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ACREAGE: 0.11 ACRES
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CITY: SHREVEPORT

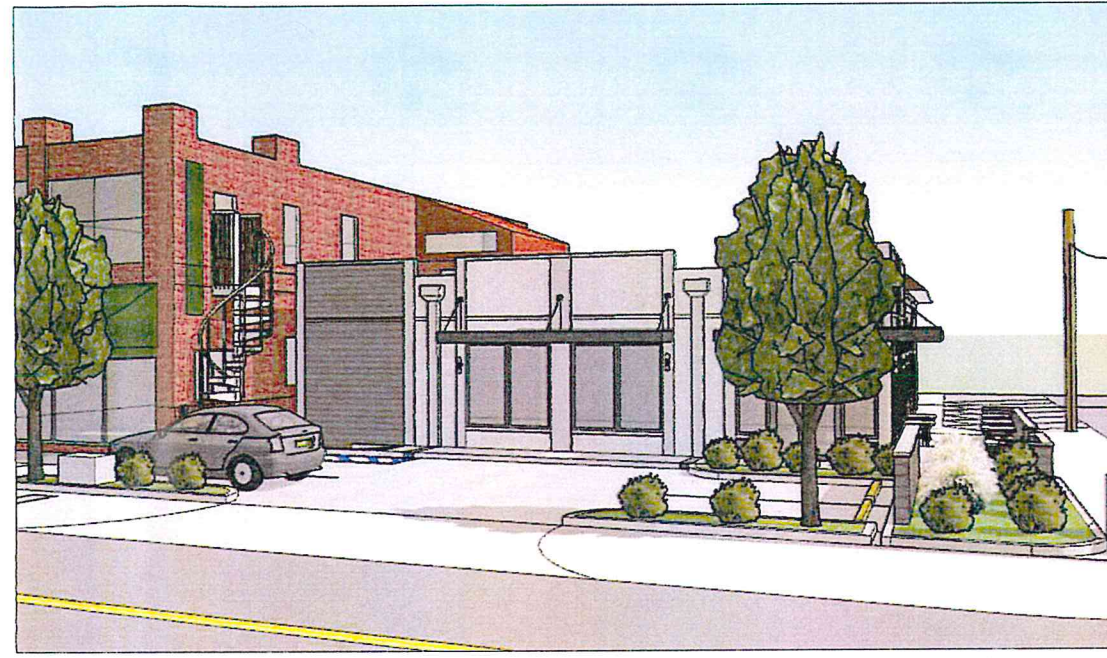
SHEET NO.

A-07

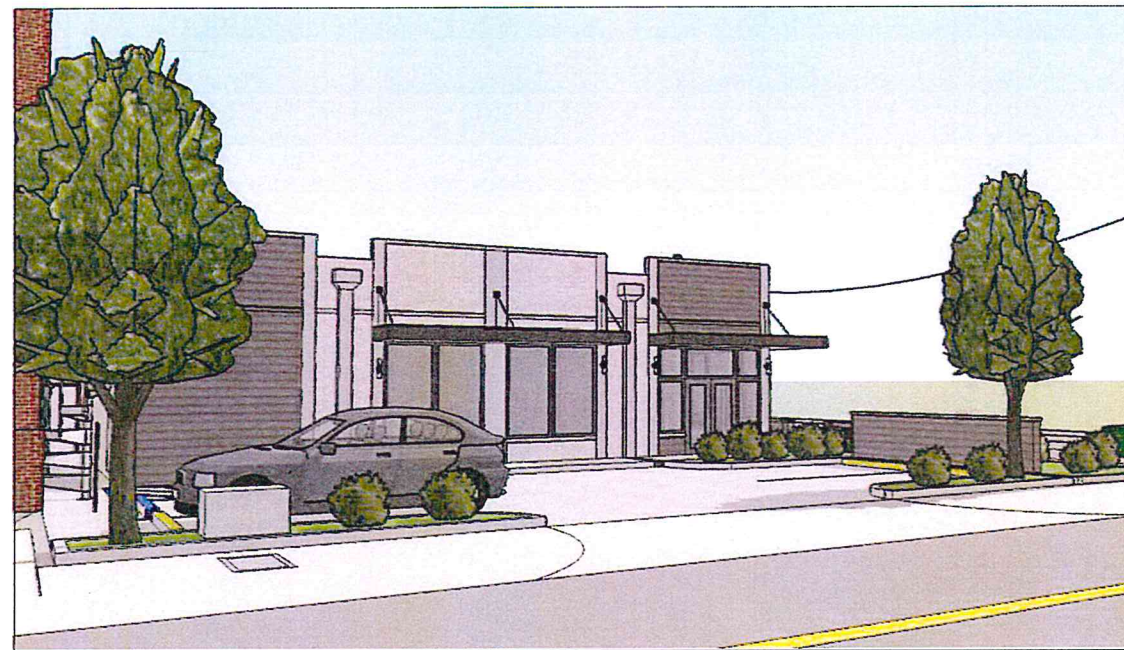
SHEETS IN SET 00



EXTERIOR PERSPECTIVE A
SCALE: NOT TO SCALE



EXTERIOR PERSPECTIVE B
SCALE: NOT TO SCALE



EXTERIOR PERSPECTIVE C
SCALE: NOT TO SCALE



EXTERIOR PERSPECTIVE D
SCALE: NOT TO SCALE

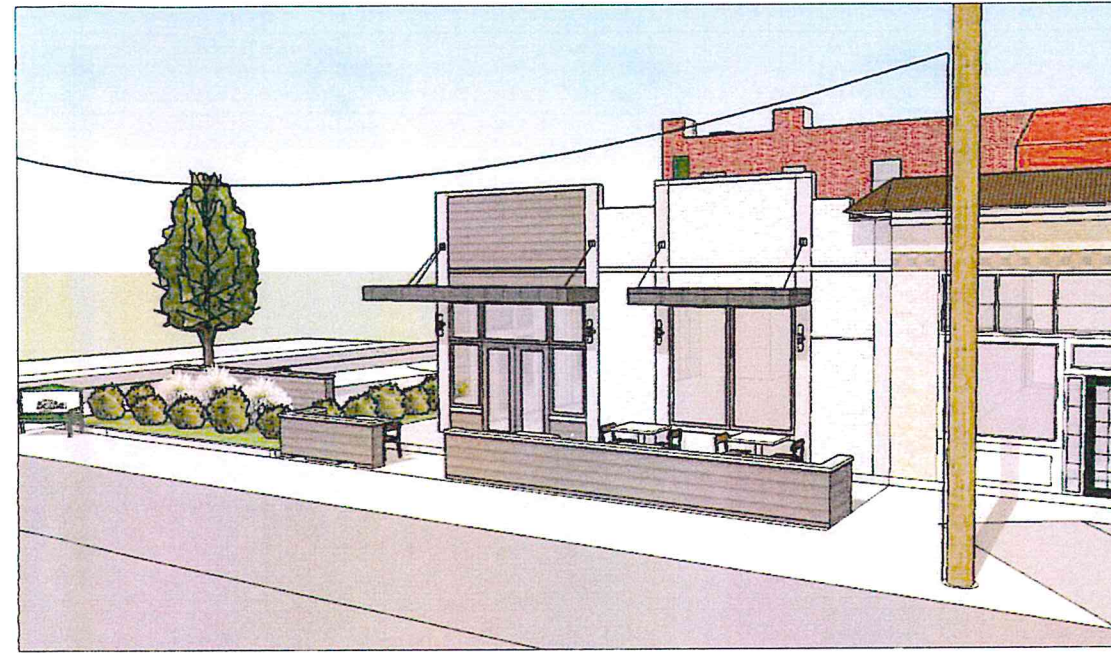
(Refer to stipulations)

EXECUTIVE DIRECTOR APPROVAL
 EXECUTIVE DIRECTOR _____ DATE _____
 Date 5/16/18 By Muj.

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SHEET NO.	A-08
SHEETS IN SET	00



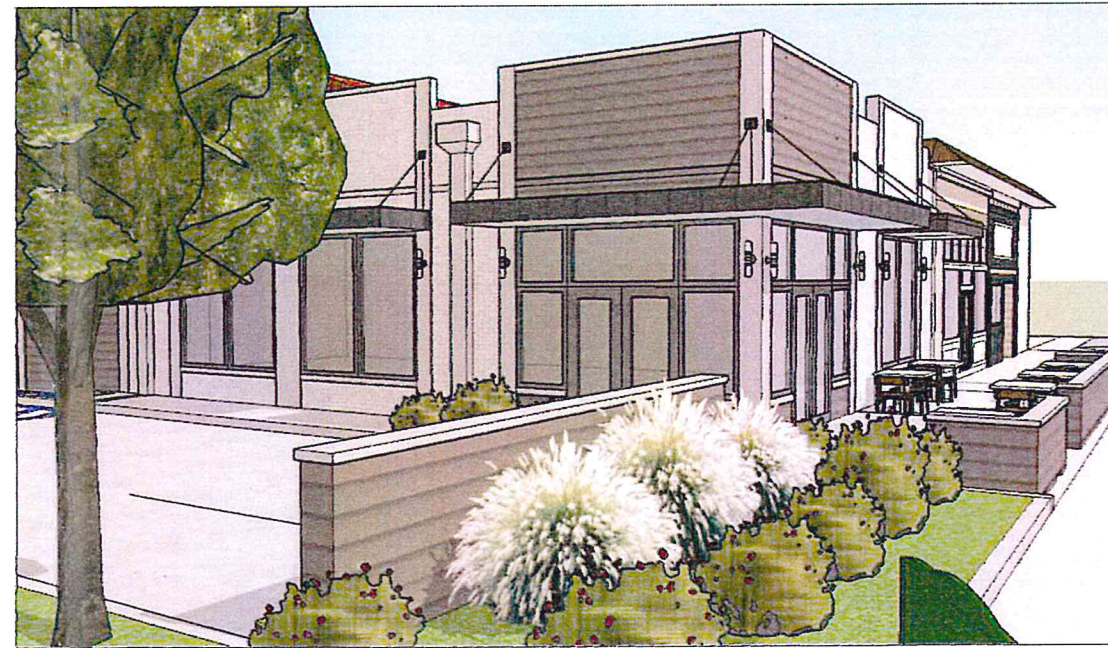
EXTERIOR PERSPECTIVE E
SCALE: NOT TO SCALE



EXTERIOR PERSPECTIVE F
SCALE: NOT TO SCALE



EXTERIOR PERSPECTIVE G
SCALE: NOT TO SCALE



EXTERIOR PERSPECTIVE H
SCALE: NOT TO SCALE

OWNER INFORMATION:	OWNER: WHITLOCK & SHELTON PROPERTIES 1055 LOUISIANA AVE SHREVEPORT, LA 71101 PH: 318-219-7913
DRAWING INFORMATION:	PLANS PREPARED BY: WHITLOCK & SHELTON CONSTRUCTION, INC. WARD BRYANT 1055 LOUISIANA AVENUE SHREVEPORT, LOUISIANA 71101 PH: 318-219-7913
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SHEET NO.	A-09
SHEETS IN SET	00

(Refer to Stipulations)

EXECUTIVE DIRECTOR APPROVAL DATE _____
 5/16/18 Date By *Muy*



EXTERIOR PERSPECTIVE I

SCALE: NOT TO SCALE



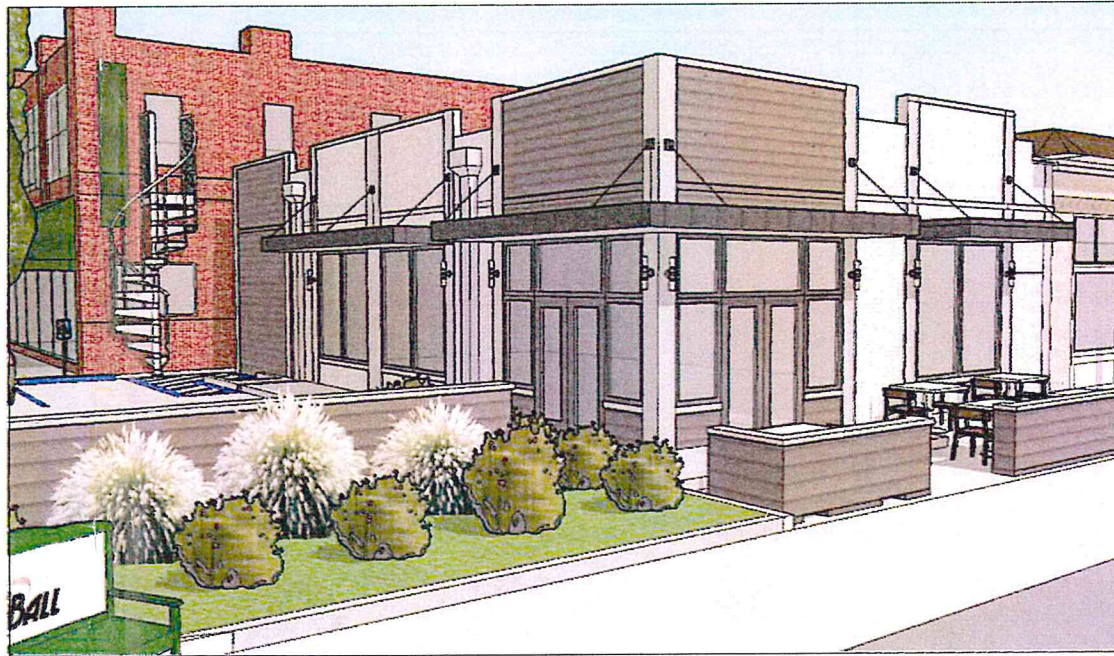
EXTERIOR PERSPECTIVE J

SCALE: NOT TO SCALE



EXTERIOR PERSPECTIVE K

SCALE: NOT TO SCALE



EXTERIOR PERSPECTIVE L

SCALE: NOT TO SCALE

(Per to stipulations)

EXECUTIVE DIRECTOR APPROVAL DATE _____
 EXECUTIVE DIRECTOR _____
 5/16/18 Date By *MW*

OWNER INFORMATION:	OWNER: WHITLOCK & SHELTON PROPERTIES 1055 LOUISIANA AVE SHREVEPORT, LA 71101 PH: 318-219-7913
DRAWING INFORMATION:	PLANS PREPARED BY: WHITLOCK & SHELTON CONSTRUCTION, INC. WARD BRYANT 1055 LOUISIANA AVENUE SHREVEPORT, LOUISIANA 71101 PH: 318-219-7913
PROJECT INFORMATION:	PARISH: CADDO STATE: LOUISIANA 71104 LOT TYPE: PERSPECTIVES SUBDIVISION: PIRKLE PLACE SUB ACREAGE: 0.11 ACRES ADDRESS: 3301 LINE AVE CITY: SHREVEPORT
SHEET NO.	A-10
SHEETS IN SET	00

LEGAL: W75FT OF N. 66FT OF LOT 1,
 PIRKLE PL SUB, 171307-39-83
 GEO#: 171307-039-0083-00