

VICINITY MAP  
SCALE: 1" = 40'

**NOTES:**

1. VERIFY ALL BUILDING DIMENSIONS WITH CURRENT ARCHITECTURAL PLAN.
2. ALL ONSITE BUILDINGS, FOUNDATIONS, PAVING, UTILITIES, ETC., TO BE REMOVED BY OWNER / CONTRACTOR PRIOR TO PROPOSED DEVELOPMENT.
3. LOCATED IN FLOOD ZONE "X". FINISHED FLOOR TO BE BUILT A MINIMUM 1' ABOVE BFE.
4. TOTAL ACREAGE = 8.646 ACRES

**ZONED: I-1**

**SETBACK SUMMARY:**

FRONT SETBACK: 20'  
SIDE: 0'  
REAR: 15'

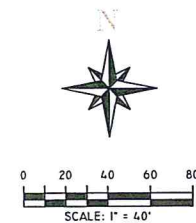
**PARKING SUMMARY:**

PROVIDED VEHICLE PARKING: 8  
REQUIRED VEHICLE PARKING: 8

**OWNER INFORMATION:**

BEST YET YOUREE, L.L.C.  
P.O. BOX 5682  
Shreveport, La. 71115  
Ph: 318-797-5510

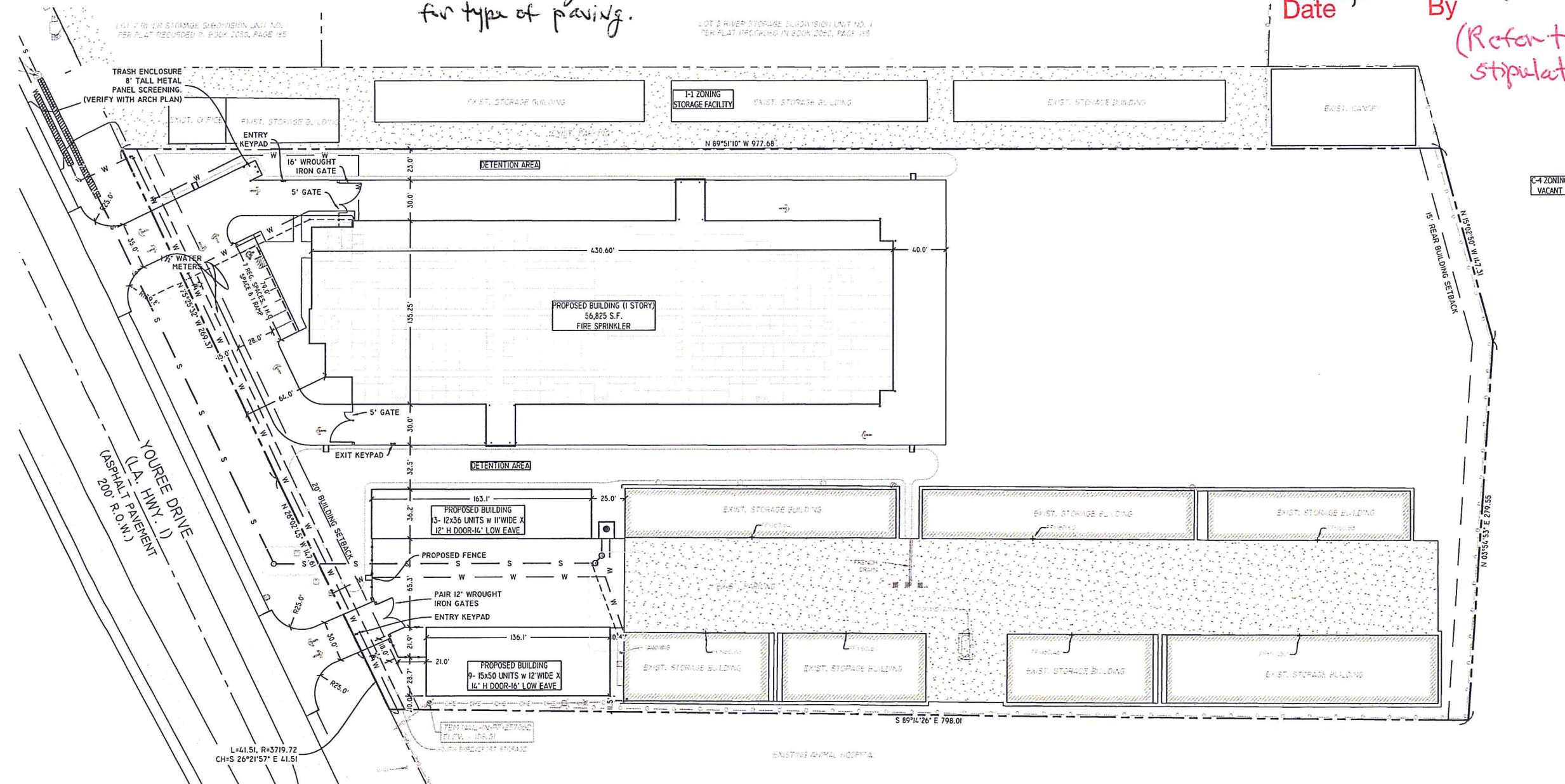
*Refer to paving plan  
for type of paving.*



LEGEND	
⊕ BENCH MARK	⊙ SAN. SEWER M.H.
⚡ POWER POLE	⊕ FIRE HYDRANT
⊕ GUY ANCHOR	⊕ WATER VALVE
⊙ GUY POLE	
— PROPOSED BUILDING	
- - - PROPERTY LINE	
- - - BUILDING SETBACK	
- - - PROPOSED FENCE	

**EXECUTIVE  
DIRECTOR  
REVIEWED AND APPROVED:  
APPROVAL**

MARK SWEENEY, EXEC. DIRECTOR DATE  
SHREVEPORT MPC  
Date By  
*(Refer to stipulations)*



REVISIONS	BY

MASTER SITE PLAN  
**Best Yet Youree**  
Shreveport, Louisiana



**RALEY AND ASSOCIATES, INC.**  
Civil & Structural  
Engineering,  
Surveying, Planning  
& Consulting

4913 Shed Road  
Bossier City, LA 71111

Phone 318.752-9023  
Fax 318.752-9025  
www.raleyanassociates.com

04/11/2018



DATE: 11/30/17  
SCALE: 1" = 40'  
DRAWN: NDV  
CHECKED: MK  
JOB: 16379

SHEET:  
**C1**  
OF - SHEET

16379 CIVIL PLANS.DWG

REVISIONS BY

DIMENSIONED SITE PLAN  
**Best Yet Youree**  
 Shreveport, Louisiana



**RALEY AND ASSOCIATES, INC.**

Civil & Structural  
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 Bossier City, LA 71111

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 Fax 318.752-9025  
 www.raleyandassociates.com

04/11/2018



DATE: 11/30/17  
 SCALE: 1" = 30'  
 DRAWN: NDV  
 CHECKED: MK  
 JOB: 16379

SHEET: **C2**  
 OF - SHEET

16379 CIVIL PLANS - REVISED.DWG

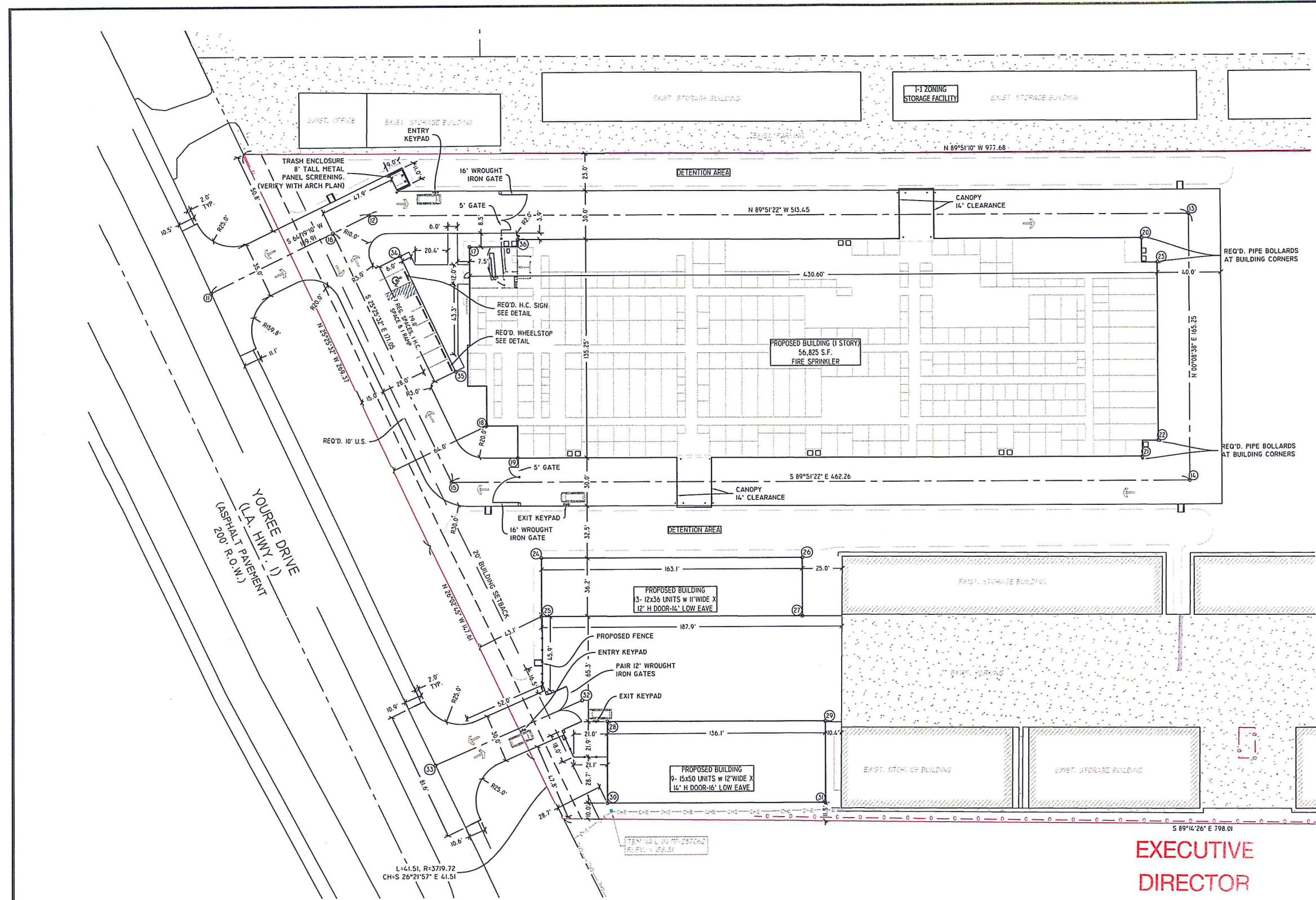


- NOTES:
1. VERIFY ALL BUILDING DIMENSIONS WITH CURRENT ARCHITECTURAL PLAN.
  2. ALL ONSITE BUILDINGS, FOUNDATIONS, PAVING, UTILITIES, ETC... TO BE REMOVED BY OWNER / CONTRACTOR PRIOR TO PROPOSED DEVELOPMENT.
  3. LOCATED IN FLOOD ZONE "X". FINISHED FLOOR TO BE BUILT A MINIMUM 1' ABOVE BFE.
  4. TOTAL ACREAGE = 8.646 ACRES

POINT #	NORTHING	EASTING
11	694802.7787	2911755.8419
12	694850.4075	2911854.8935
13	694849.1186	2912368.3411
14	694683.8690	2912367.9262
15	694685.0293	2911905.6684
16	694839.5102	2911832.2308
17	694830.6247	2911917.6682
18	694719.9742	2911927.7655
19	694699.9248	2911947.3403
20	694834.1942	2912338.3035
21	694698.9446	2912337.9640
22	694708.9195	2912347.9891
23	694819.1692	2912348.2658
24	694637.4191	2911962.0722
25	694601.1692	2911961.9812
26	694637.0097	2912125.1966
27	694600.7598	2912125.1057
28	694535.7775	2912002.9367
29	694535.4359	2912159.0612
30	694485.1525	2912002.9367
31	694484.8109	2912159.0612
32	694548.8902	2911987.2060
33	694509.1139	2911895.3689
34	694825.1199	2911874.5036
35	694753.7729	2911908.4057
36	694855.1756	2911948.0545

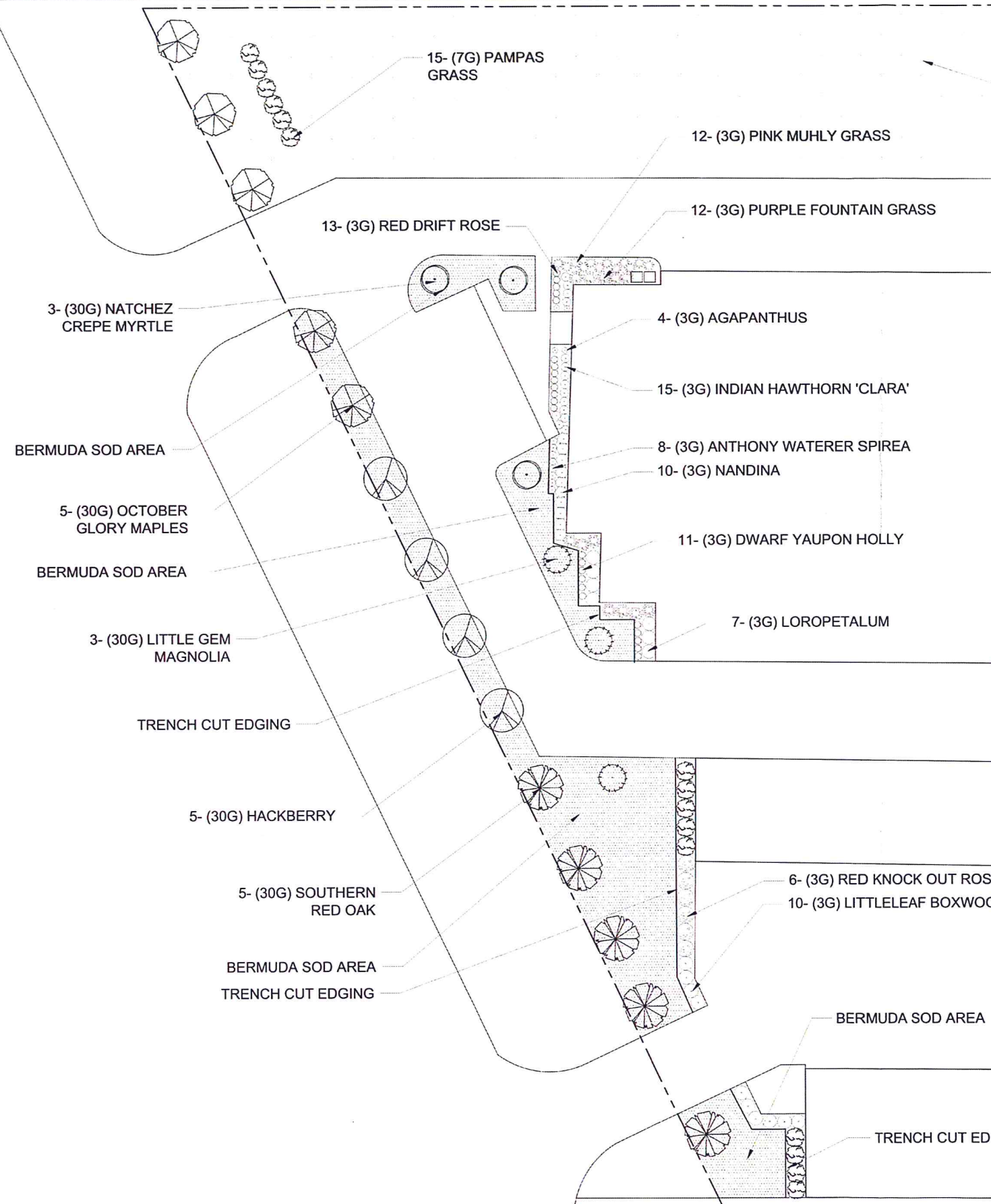
**EXECUTIVE  
 DIRECTOR  
 APPROVAL**

4/13/18 *MWT*  
 Date By  
 (Refer to Stipulations)



YOURE DRIVE  
 (LA. HWY. 1)  
 (ASPHALT PAVEMENT  
 200' R.O.W.)

L=41.51, R=3719.72  
 CH=S 26°21'57" E 41.51



**PLANT LEGEND**

QTY	SIZE	SHADE TREES- COMMON NAMES	LATIN NAMES
5-	30GAL	OCTOBER GLORY MAPLE	ACER RUBRUM OCTOBER GLORY
5-	30GAL	SOUTHERN RED OAK	QUERCUS FALCATA
4-	30GAL	HACKBERRY	CELTIS OCCIDENTALIS
<b>ORNAMENTAL TREES</b>			
3-	30GAL	'NATCHEZ' CREPE MYRTLE	LAGESTROMIA INDICA X FAUERI NATCHEZ
3-	30GAL	'LITTLE GEM' MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'
<b>SHRUBS</b>			
6-	3GAL	RED KNOCK OUT ROSE	ROSACEA ROSA 'RADTKO'
7-	3GAL	LOROPETALUM	LOROPETALUM CHINESE 'PLUM DELIGHT'
13-	3GAL	RED DRIFT ROSE	ROSA MEIJOCOS RED DRIFT
8-	3GAL	ANTHONY WATERER SPIREA	SPIRAEA X BUMALDA 'ANTHONY WATERER'
11-	3GAL	DWARF YAUPON HOLLY	ILEX VOMITORIA 'NANA'
10-	3GAL	NANDINA	NANDINA DOMESTICA
10-	3GAL	LITTLELEAF BOXWOOD	BUXUS MICROPHYLLA
15-	3GAL	'CLARA' INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'CLARA'
<b>GRASSES</b>			
15-	3GAL	PAMPAS GRASS	CORTADERIA SELLOANA
12-	3GAL	PURPLE FOUNTAIN GRASS	PENNISTUM SETACEUM RUBRUM
12-	3GAL	PINK MUHLY GRASS	MUCHLENBERGIA CAPILLARIA
<b>PERENNIAL</b>			
4-	3GAL	AGAPANTHUS	AGAPANTHUS AFRICANUS 'AFRICAN BLUE'

**EXECUTIVE  
DIRECTOR  
APPROVAL**

4/13/18  
Date By *[Signature]*

04/12/2018



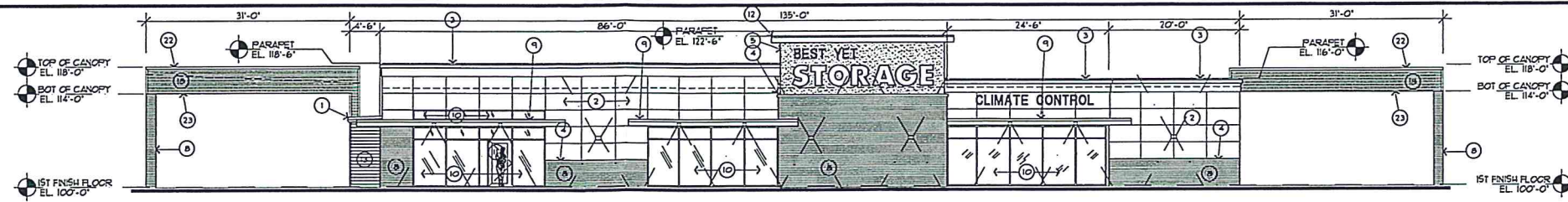
Raley and Associates, Inc. reviewed for compliance with Shreveport U.D.C.

A LANDSCAPE PLAN FOR:  
BEST YET STORAGE

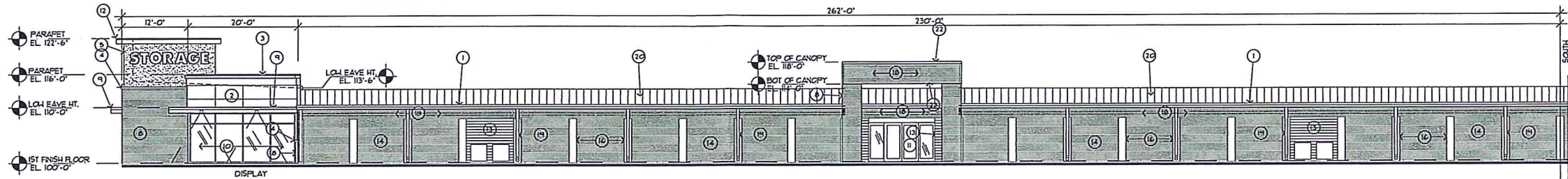
ADDRESS: YOUREE DRIVE  
SHREVEPORT, LA  
PHONE NUMBER: \_\_\_\_\_

SCALE: 1" = 20'-0"  
DATE: 04/02/2018  
DRAWN BY: TODD WAINWRIGHT

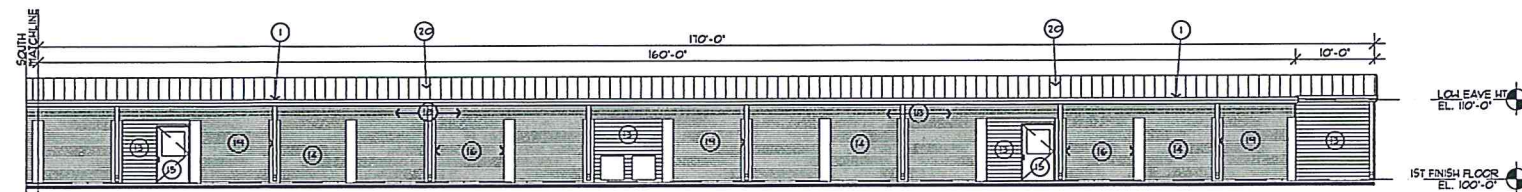




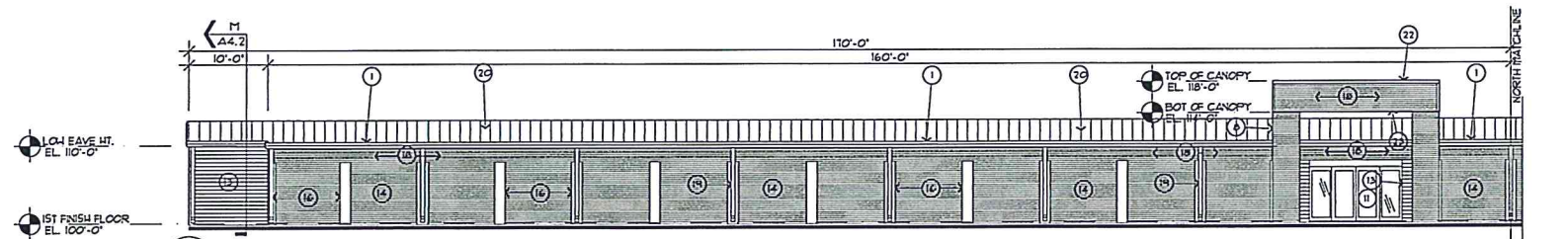
**A1 WEST ELEVATION BUILDING A**  
scale 3/32" = 1'-0"



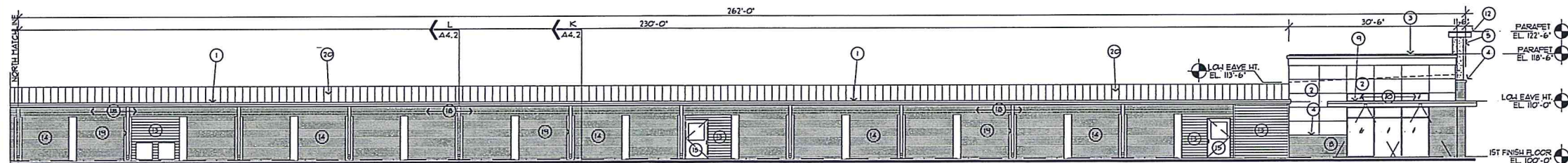
**A3a SOUTH ELEVATION BUILDING A WEST END**  
scale 3/32" = 1'-0"



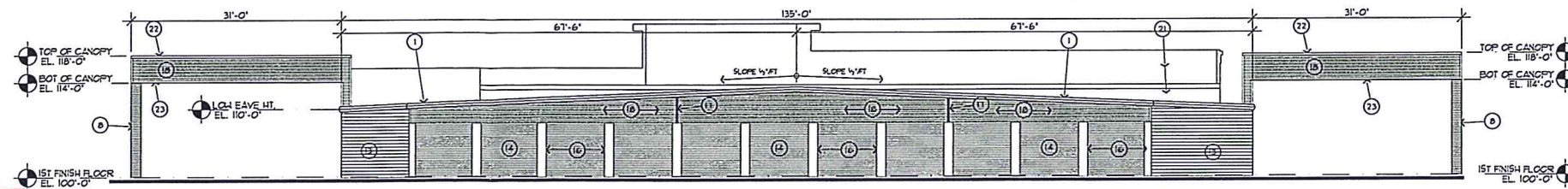
**A3b SOUTH ELEVATION BUILDING A EAST END**  
scale 3/32" = 1'-0"



**A2e NORTH ELEVATION BUILDING A EAST END**  
scale 3/32" = 1'-0"



**A2w NORTH ELEVATION BUILDING A WEST END**  
scale 3/32" = 1'-0"



**A4 EAST ELEVATION BUILDING A**  
scale 3/32" = 1'-0"

**YOUREE ROAD MATERIAL LEGEND**

- 1 FRESHFINISHED 26 GAUGE RAKE, EAVE TRIM OR SCULPTURED GUTTER. COLOR: MSCI ALMOND
- 2 EPS W/ VERTICAL REVEAL JOINTS AT 60" OC & HORIZ REVEAL JOINTS AT 30" OC. EPS COLOR: F2
- 3 STEPPED EPS CORNICE W/ PREFIN COPING CAP. EPS COLOR: F1. METAL COLOR: MSCI ALMOND
- 4 SLOPED EPS CAP OVER MASONRY. EPS COLOR: F1
- 5 ACCENT COLORED EPS. EPS COLOR: F3
- 6 STEPPED EPS CORNICE W/ PREFIN COPING CAP OVER EPS FASCIA & PREFIN METAL SOFFIT AT CANOPY. METAL COLOR: MSCI ALMOND. EPS COLOR: F1
- 7 NOT USED
- 8 KING SITE BRICK VENEER. COLOR: TO BE SELECTED
- 9 24" WIDE PROJECTED 12" STEEL CEE FRAME (COVER W/ PREFIN FLAT TRIM) W/ METAL PANEL COVER, AND PREFINISHED FLUSH METAL SOFFIT. FASCIA COLOR: MSCI ALMOND. SOFFIT COLOR: MSCI ALMOND
- 10 STOREFRONT WINDOWS W/ INSUL. GLAZING IN MILL FINISH ALUM FRAME
- 11 ALUMINUM AND GLASS DOOR & FRAME -MILL FINISH
- 12 PROJECTED PREFIN METAL FASCIA, COPING CAP, AND SOFFIT. COLOR: MSCI ALMOND
- 13 26 GA. HORIZONTAL REVERSE U METAL PANEL. COLOR: MSCI SADDLE TAN
- 14 ROLL-UP DOOR. COLOR: JANUS CEDAR RED
- 15 HOLLOW METAL DOOR & FRAME-SEE SCHED. COLOR: TO BE SELECTED
- 16 24 GA. G.I. PREFIN METAL COLUMN COVER. COLOR: MSCI ALMOND
- 17 BACK TO BACK FLASHED CLOSURE TRIM. COLOR: MSCI SADDLE TAN
- 18 PREFIN 26 GA. 'D' PANEL HEADER OR HORIZ SIDING. COLOR: MSCI SADDLE TAN
- 19 24 GA. 4X6 FRESHFINISHED DOWNSPOUT 20" OC MAX AT BUILDING A. COLOR: MSCI ALMOND
- 20 24 GA. GALVALINE STANDING SEAM ROOF
- 21 26 GA. VERTICAL LINER PANEL
- 22 24 GA. PREFIN COPING CAP. COLOR: MSCI SADDLE TAN
- 23 FRESHFINISHED BEADED FLUSH SOFFIT PANEL. COLOR: MSCI ALMOND
- 24 BACKLIT SIGNAGE BY OWNER. PROVIDE ELEC. CIRCUIT

PAINT	
PAINT ALL EXTERIOR ELECTRICAL EQUIPMENT, BOXES AND CONDUIT ADJACENT TO MATCH ADJACENT HALL SURFACE.	
AT INTERIOR, PAINT DEVICES TO MATCH FRESHFINISHED PARTITION PANEL OR ADJACENT HALL SURFACE.	
PAINT COLORS	
(P1)	SHERWIN WILLIAMS 544 6120 BELIEVABLE BUFF
(P2)	SHERWIN WILLIAMS 544 6174 CAMBOSIA
(P3)	SHERWIN WILLIAMS 544 12911 RED BARN
(P4)	SHERWIN WILLIAMS 544 1048 UPGRADE BRONZE
MOCK UP	
CONTRACTOR TO PREPARE A FIELD MOCK UP OF BUILDING MATERIALS AND COLORS FOR ARCHITECT AND OWNER APPROVAL OF BUILDING FINISHES.	

**EXECUTIVE  
DIRECTOR  
APPROVAL**

Date 4/13/18 By MWJ.

ISSUE DATE  
DD REV# 11/2/01

MONARCH'S  
BEST YET STORAGE  
SELFF STORAGE  
YOUREE DRIVE  
SHREVEPORT, LA

**Kaufman  
Design  
Group**

ARCHITECTURE

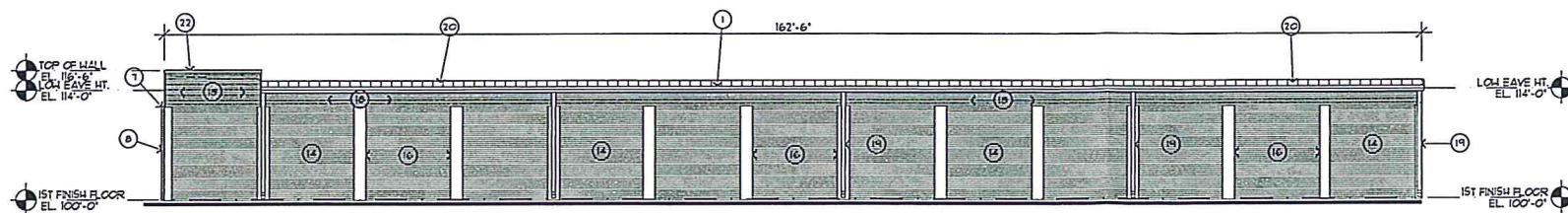
12371 E. LINCOLN CT.  
WICHITA, KS 67207  
(316) 618-0448  
(316) 618-0048 fax  
skaufman@cox.net

SHEET TITLE  
EXTERIOR ELEVATIONS

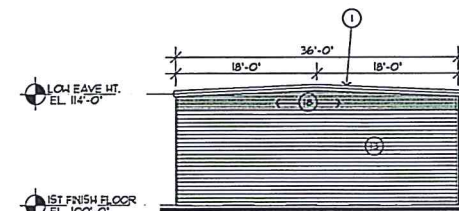
SHEET NUMBER

**A3.1**

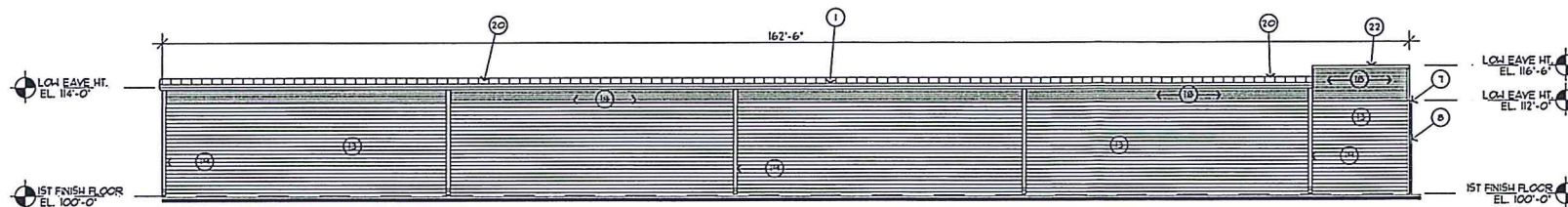
OF SHEETS



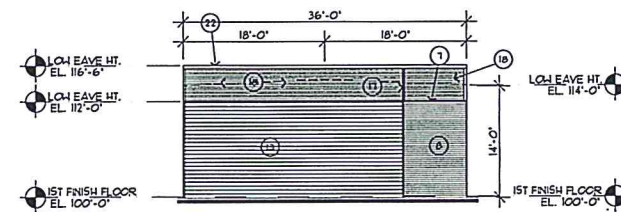
**A1 SOUTH ELEVATION RV BUILDING 1**  
scale 3/32" = 1'-0"



**A2 EAST ELEVATION RV BUILDING 1**  
scale 3/32" = 1'-0"



**A3 NORTH ELEVATION RV BUILDING 1**  
scale 3/32" = 1'-0"



**A4 WEST ELEVATION RV BUILDING 1**  
scale 3/32" = 1'-0"

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- 5 ACCENT COLORED EFS EFS COLOR: F3
- 6 STEPPED EFS CORNICE W/ PREFIN COPING CAP OVER EFS FASCIA & PREFIN METAL SOFFIT AT CANOPY METAL COLOR: FBCI ALMOND EFS COLOR: F1
- 7 24 GA SLOPED METAL FLASHING CAP OVER MASONRY VENEER METAL COLOR: FBCI ALMOND
- 8 KING SIZE BRICK VENEER COLOR: TO BE SELECTED
- 9 24" WIDE PROJECTED I2" STEEL CEE FRAME (COVER W/ PREFIN FLAT TRIM) W/ METAL PANEL COVER AND PREFINISHED FLUSH METAL SOFFIT FASCIA COLOR: FBCI ALMOND SOFFIT COLOR: FBCI ALMOND
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- 23 PREFINISHED BEADED FLUSH SOFFIT PANEL COLOR: FBCI ALMOND
- 24 BACKLIT SIGNAGE BY OWNER PROVIDE ELEC CIRCUIT

**PAINT**

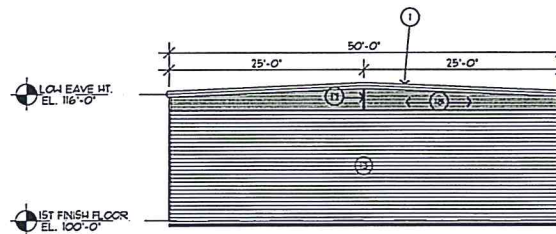
PAINT ALL EXTERIOR ELECTRICAL EQUIPMENT, BOXES AND CONDUIT ADJACENT TO MATCH ADJACENT WALL SURFACE.  
AT INTERIOR PAINT DEVICES TO MATCH PREFINISHED PARTITION PANEL OR ADJACENT WALL SURFACE.

**PAINT COLORS**

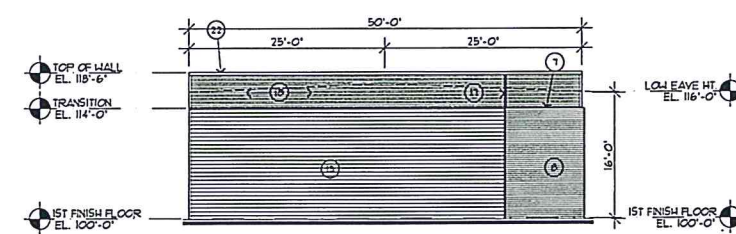
- (1) SHERWIN WILLIAMS SW 700 BELIEVABLE BUFF
- (2) SHERWIN WILLIAMS SW 6124 CARIBBEAN
- (3) SHERWIN WILLIAMS SW 1391 RED BARN
- (4) SHERWIN WILLIAMS SW 1048 URSINE BRONZE

**MOCK UP**

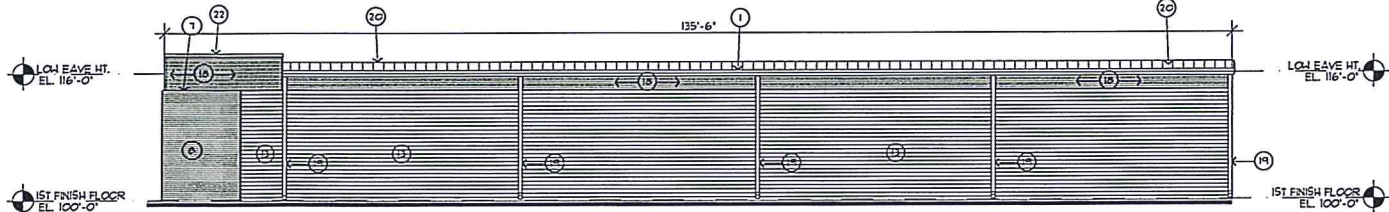
CONTRACTOR TO PREPARE A FIELD MOCK UP OF BUILDING MATERIALS AND COLORS FOR ARCHITECT AND OWNER APPROVAL OF BUILDING FINISHES.



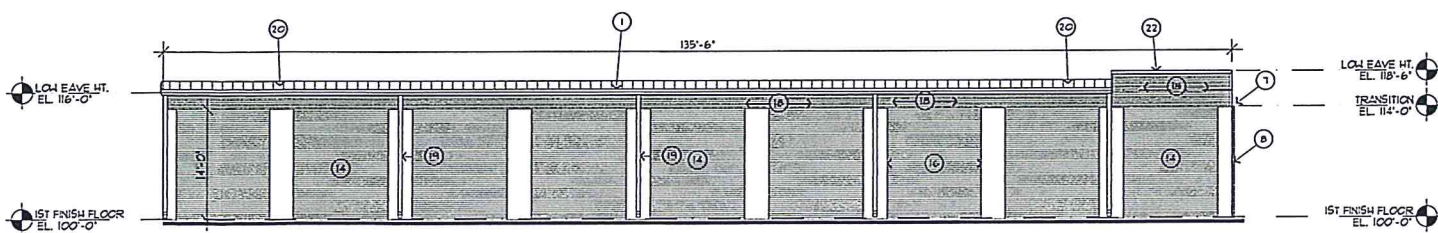
**A5 EAST ELEVATION RV BUILDING 2**  
scale 3/32" = 1'-0"



**A6 WEST ELEVATION RV BUILDING 2**  
scale 3/32" = 1'-0"



**A7 SOUTH ELEVATION RV BUILDING 2**  
scale 3/32" = 1'-0"



**A8 NORTH ELEVATION RV BUILDING 2**  
scale 3/32" = 1'-0"

**EXECUTIVE DIRECTOR APPROVAL**

4/13/18 Date By *[Signature]*

ISSUE DATE  
00 REV#1 11/2/01

MONARCH'S  
BEST YET  
SELF STORAGE  
YOUREE DRIVE  
SHREVEPORT, LA

**Kaufman Design Group**

ARCHITECTURE

12371 E. LINCOLN CT.  
WICHITA, KS 67207  
(316) 618-0448  
(316) 618-0048 fax  
skaufman@cox.net

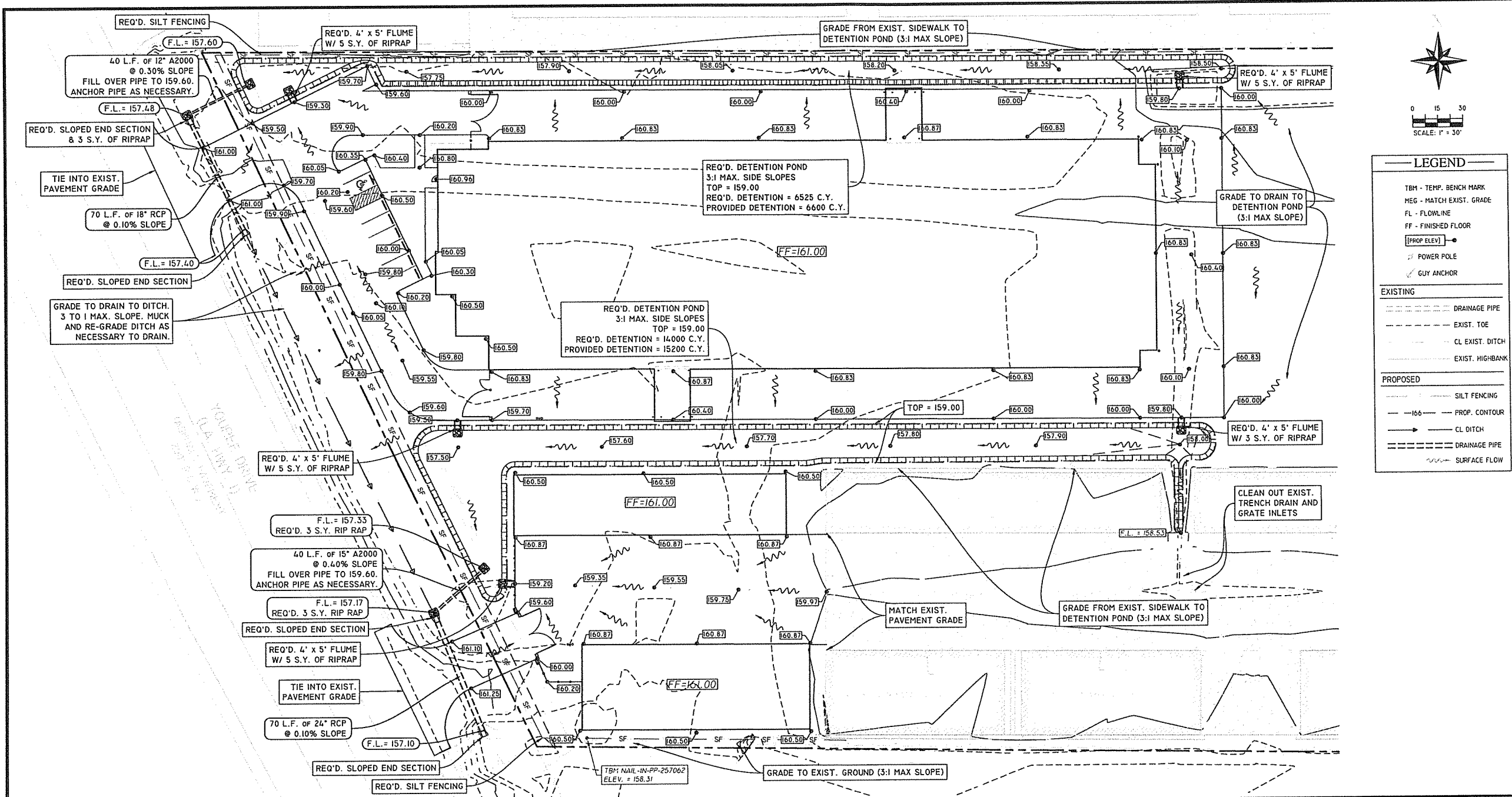
SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

**A3.2**

OF SHEETS



**LEGEND**

TBM - TEMP. BENCH MARK  
 MEG - MATCH EXIST. GRADE  
 FL - FLOWLINE  
 FF - FINISHED FLOOR  
 [PROP ELEV] - PROPOSED ELEVATION  
 [P] - POWER POLE  
 [G] - GUY ANCHOR

**EXISTING**

--- DRAINAGE PIPE  
 --- EXIST. TOE  
 --- CL EXIST. DITCH  
 --- EXIST. HIGHBANK

**PROPOSED**

--- SILT FENCING  
 --- PROP. CONTOUR  
 --- CL DITCH  
 --- DRAINAGE PIPE  
 --- SURFACE FLOW

**DRAINAGE PLAN**  
**Best Yet Youree**  
 Shreveport, Louisiana



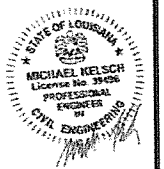
**RALEY AND ASSOCIATES, INC.**  
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4913 Shed Road  
 Bossier City, LA 71111

Phone 318.752-9023  
 Fax 318.752-9025

www.raleysandassociates.com

04/11/2018



DATE: 11/30/17  
 SCALE: 1" = 40'  
 DRAWN: NDV  
 CHECKED: MK  
 JOB: 16379  
 SHEET: **C3**  
 OF - SHEET

- EROSION CONTROL AND SWPPP NOTES:**
1. THE NATURE OF CONSTRUCTION ACTIVITY IS THE DEVELOPMENT OF A COMMERCIAL STORAGE SITE.
  2. MAJOR ACTIVITIES AND CONTRACTOR RESPONSIBLE ARE AS FOLLOWS:
    - A.1. CLEARING AND DEGRASSING - PAVING AND DRAINAGE CONTRACTOR. INSTALL SILT FENCING, HAYBALES, DETENTION BASIN AND OTHER NECESSARY STORM WATER CONTROLS PRIOR TO BEGINNING OF CLEARING AND DEGRASSING.
    - A.2. WATER AND SEWER - WATER AND SEWER CONTRACTOR SHALL COORDINATE W/ PAVING CONTRACTOR TO ENSURE SILT FENCING, HAYBALES AND OTHER, ARE INSTALLED AT R/W TO PREVENT RUNOFF FROM LEAVING THE SITE.
    - A.3. EXCAVATION - PAVING AND DRAINAGE CONTRACTOR SHALL INSTALL SILT FENCING AND HAYBALES TO PREVENT RUNOFF FROM LEAVING THE SITE.
    - A.4. STORM DRAINAGE - PAVING AND DRAINAGE CONTRACTOR SHALL INSTALL SILT FENCING AND HAYBALES TO PREVENT RUNOFF FROM LEAVING THE SITE AND DETENTION BASINS.
    - A.5. BUILDING CONSTRUCTION - GENERAL CONTRACTOR. INSTALL NECESSARY STORM WATER CONTROLS DURING CONSTRUCTION.
    - A.6. PAVING - PAVING AND DRAINAGE CONTRACTOR. INSTALL NECESSARY STORM WATER CONTROLS DURING CONSTRUCTION.
    - A.7. GAS, ELECTRIC, PHONE & CABLE - EACH UTILITY OWNER / CONTRACTOR.
  3. EACH CONTRACTOR LISTED ABOVE IS RESPONSIBLE FOR BEING KNOWLEDGEABLE OF THEIR LISTED ACTIVITY. AS SUCH EACH CONTRACTOR SHALL PROVIDE TO OWNER OR OWNER'S AGENT A DETAILED SCHEDULE OF CONSTRUCTION ACTIVITIES FOR THEIR PHASE OF CONSTRUCTION.
  4. THE EROSION CONTROL PLAN SHOWN IS PROVIDED AS A MINIMUM GUIDE TO BE SUPPLEMENTED BY EACH CONTRACTOR'S DETAILED DESCRIPTION OF CONTROL MEASURES. THE DETAIL SHEET PROVIDES SPECIFIC CONTROLS WHICH MAY BE USED BY CONTRACTORS ON THIS SITE.
  5. CONTROLS ARE DESIGNED TO RETAIN SEDIMENT ON SITE. ANY SEDIMENT ESCAPING THE SITE AND ACCUMULATING MUST BE REMOVED. UPON FINAL COMPLETION DETENTION BASIN SHALL BE CLEARED OF CONSTRUCTION SEDIMENTATION PRIOR TO FINAL GRADING.
  6. EACH CONTRACTOR SHALL PROVIDE TO OWNER OR OWNER'S AGENT A DETAILED DESCRIPTION OF "BEST MANAGEMENT PRACTICES", STRUCTURAL PRACTICES (SILT FENCES, CHECK DAMS, ETC.), AND STABILIZATION PRACTICES (TEMPORARY VEGETATION, SOO, ETC.) WHICH COMPLIES WITH THE SHORT AND LONG TERM GOALS AND INTENT OF THE LOUISIANA WATER DISCHARGE PERMIT FOR THEIR PHASE OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL PROVIDE SAME INFORMATION TO THE PERMIT OFFICE.
  7. THE CONTRACTOR FOR EACH LISTED PHASE OF CONSTRUCTION SHALL BE RESPONSIBLE FOR MAINTAINING DATES AND RECORDS AND FORWARDING TO DEVELOPER/OWNER FOR THE FOLLOWING INFORMATION: BEGINNING CONSTRUCTION, MAJOR GRADING ACTIVITIES, SOIL DISTRIBUTING ACTIVITIES, WHEN STABILIZATION MEASURES ARE INITIATED AND COMPLETED, TEMPORARY HALTS, AND COMPLETION OF THEIR PORTION OF PROJECT.
  8. THE CONTRACTOR IN CHARGE OF EROSION CONTROL SHALL INITIATE STABILIZATION MEASURES OF DISTURBED AREAS WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED WITHIN 14 DAYS, UNLESS EARTH DISTURBING ACTIVITIES ARE TO RESUME WITHIN 21 DAYS.
  9. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING (REPAIR SILT FENCE, REMOVE SEDIMENT BUILDUP, ETC.) STRUCTURAL CONTROLS LAID OUT IN STORM WATER POLLUTION PREVENTION PLAN AS WELL AS ANY ADDITIONAL CONTROLS IN CONTRACTOR'S DETAILED DESCRIPTION.
  10. THE CONTRACTOR FOR EACH LISTED PHASE OF CONSTRUCTION SHALL BE RESPONSIBLE FOR PROVIDING INSPECTIONS OF DISTURBED AREAS AND STRUCTURAL CONTROLS EVERY 14 DAYS OR WITHIN 24 HOURS OF A STORM EVENT. A REPORT SUMMARIZING INSPECTION AND ANY MAINTENANCE TAKEN SHALL BE FILLED OUT AND FORWARDED TO DEVELOPER/OWNER.
  11. ALL COMPLETED INSPECTION REPORTS ARE TO BE KEPT WITH THE SWPP PLAN IN THE CONTRACTOR'S, DEVELOPER'S & OWNER'S FILES.
  12. HOUSE CONTRACTORS TO PROVIDE PERMANENT SOIL STABILIZATION OF EACH LOT AT COMPLETION OF CONSTRUCTION AND TO FOLLOW THE LOUISIANA WATER DISCHARGE PERMIT FOR THEIR PHASE OF CONSTRUCTION ACTIVITIES.
  13. THE CONTRACTOR IN CHARGE OF EROSION CONTROL SHALL BE RESPONSIBLE FOR SWEEPING ACCUMULATED SILT, MUD, SOIL, DEBRIS AND LITTER AT END OF EACH CONSTRUCTION DAY.
  14. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.
  15. THE CONTRACTOR IN CHARGE OF EROSION CONTROL MUST ASSURE THAT ADJACENT ROADWAYS AND SHOULDERS ARE OPENED AND MAINTAINED FOR SAFE TRAVEL. IMMEDIATE ACTION SHOULD BE TAKEN TO REMOVE DEBRIS, MUD, EXCESS CONSTRUCTION WATER AND ANY OTHER UNSAFE ITEMS FROM THE ROADWAYS, SHOULDERS AND / OR NEARBY CONSTRUCTION SITES. FAILURE TO COMPLY MAY RESULT IN CITY / OWNER CLEANING UP AND THE COST BEING SUBTRACTED FROM THE CONTRACT.
  16. THE CONTRACTOR SHALL USE QUALIFIED PERSONNEL TO INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY 14 CALENDAR DAYS, BEFORE SIGNIFICANT STORM EVENTS, AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER.
  17. GENERAL CONTRACTOR TO PROVIDE DUMPSTERS OR OTHER CITY APPROVED WASTE DISPOSAL PRACTICES DURING CONSTRUCTION.
  18. NO CRITICAL HABITATS FOR THREATENED OR ENDANGERED SPECIES ARE FOUND IN PROXIMITY. NO HISTORIC PROPERTIES HAVE BEEN IDENTIFIED IN THE CONSTRUCTION ACTIVITY AREA OR STORM WATER DISCHARGE PATH.
  19. A COPY OF THE SWPPP SHALL BE KEPT ON THE JOB UNTIL FINAL VEGETATION, STABILIZATION, AND CONSTRUCTION IS COMPLETE.
  20. PERMITTEE SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE ABOVE ITEMS AND COORDINATE WITH ALL CONTRACTORS / SUBCONTRACTORS WORKING ON THIS PROJECT WITH REGARDS TO ALL STORM WATER REGULATIONS. PERMITTEE SHALL PROVIDE ALL REQUIRED CONTACT INFORMATION TO THE LOCAL STORM WATER PERMITTING AGENCY HAVING JURISDICTION PRIOR TO BEGINNING CONSTRUCTION.
- GENERAL NOTES:**
1. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE ENGINEER / SURVEYOR DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES OR ALL UTILITY SERVICES AFFECTING THIS TRACT ARE SHOWN IN THEIR EXACT LOCATION. THEY HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION PROVIDED BY ONE CALL OR THE LOCAL UTILITY COMPANY. LOUISIANA ONE CALL 811 OR UTILITY COMPANY.
  2. CONTRACTOR SHALL INSTALL SILT FENCES, HAY BALES AND NECESSARY STORM WATER CONTROL MEASURES DURING CONSTRUCTION AS REQUIRED BY THE CITY.
  3. CONTRACTOR(S) SHALL KEEP EXISTING PAVING CLEAN OF MUD AND OTHER CONSTRUCTION DEBRIS.
  4. ALL TRENCH EXCAVATION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH OSHA REGULATIONS AND APPLICABLE LOCAL CODES AND ORDINANCES.
  5. CONTRACTOR SHALL FIELD VERIFY ALIGNMENT AND GRADE OF ALL PAVING, DRAINAGE PIPES AND PROPOSED MAINS. CONFLICTS, DISCREPANCIES OR IRREGULARITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER. FAILURE TO DO SO MAY RESULT IN ADDITIONAL COSTS TO THE CONTRACTOR FOR REMOVAL, REPLACEMENT, OR REVISIONS TO ITEMS INSTALLED WITHOUT VERIFICATION BY OWNER.
  6. CONTRACTOR SHALL REDISTRIBUTE TOPSOIL IN 4" LAYER AS PER OWNER.
  7. CONTRACTOR SHALL COORDINATE AND PROVIDE FOR ALL SAFEGUARDS, SAFETY DEVICES AND REQUIRED JOB SITE SAFETY REGULATIONS AS NEEDED.
  8. MATERIALS AND CONSTRUCTION SHALL BE IN STRICT COMPLIANCE WITH LOCAL SPECIFICATION STANDARDS AND/OR LOCAL BUILDING CODES.
  9. CONTRACTOR SHALL COORDINATE WITH CITY AND LOCAL UTILITY COMPANIES FOR TYING INTO EXISTING MAINS. ALL UTILITY SERVICES SHALL BE INSTALLED PER CITY CODE AND GOVERNING UTILITY CODE.
  10. ALL DISTURBED EARTH TO RECEIVE SLAB SOD UNLESS OTHERWISE DIRECTED BY OWNER/ENGINEER. POSITIVE DRAINAGE SHOULD BE MAINTAINED AT ALL TIMES.
  11. MAXIMUM SLOPE IN ANY DIRECTION IN HANDICAP SPACES TO BE 2%.
  12. ALL EXITS MUST HAVE A MINIMUM 5' x 5' LEVEL LANDING.
  13. MAX. CROSS-SLOPE OF ALL SIDEWALKS = 2%
  14. SIDEWALKS TO HAVE A MAXIMUM RISE ALONG PATH OF TRAVEL NOT TO EXCEED 1:20.
  15. MAXIMUM SLOPE OF CURB RAMPS NOT TO EXCEED 1:12.

REVISIONS BY

PAVING PLAN  
**Best Yet Youree**  
 Shreveport, Louisiana

**RA**  
**RALEY AND ASSOCIATES, INC.**  
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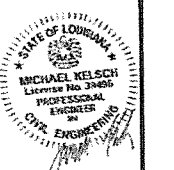
4913 Shed Road  
 Bossier City, LA 71111

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Fax 318.752-9025

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04/11/2018



DATE: 11/30/17

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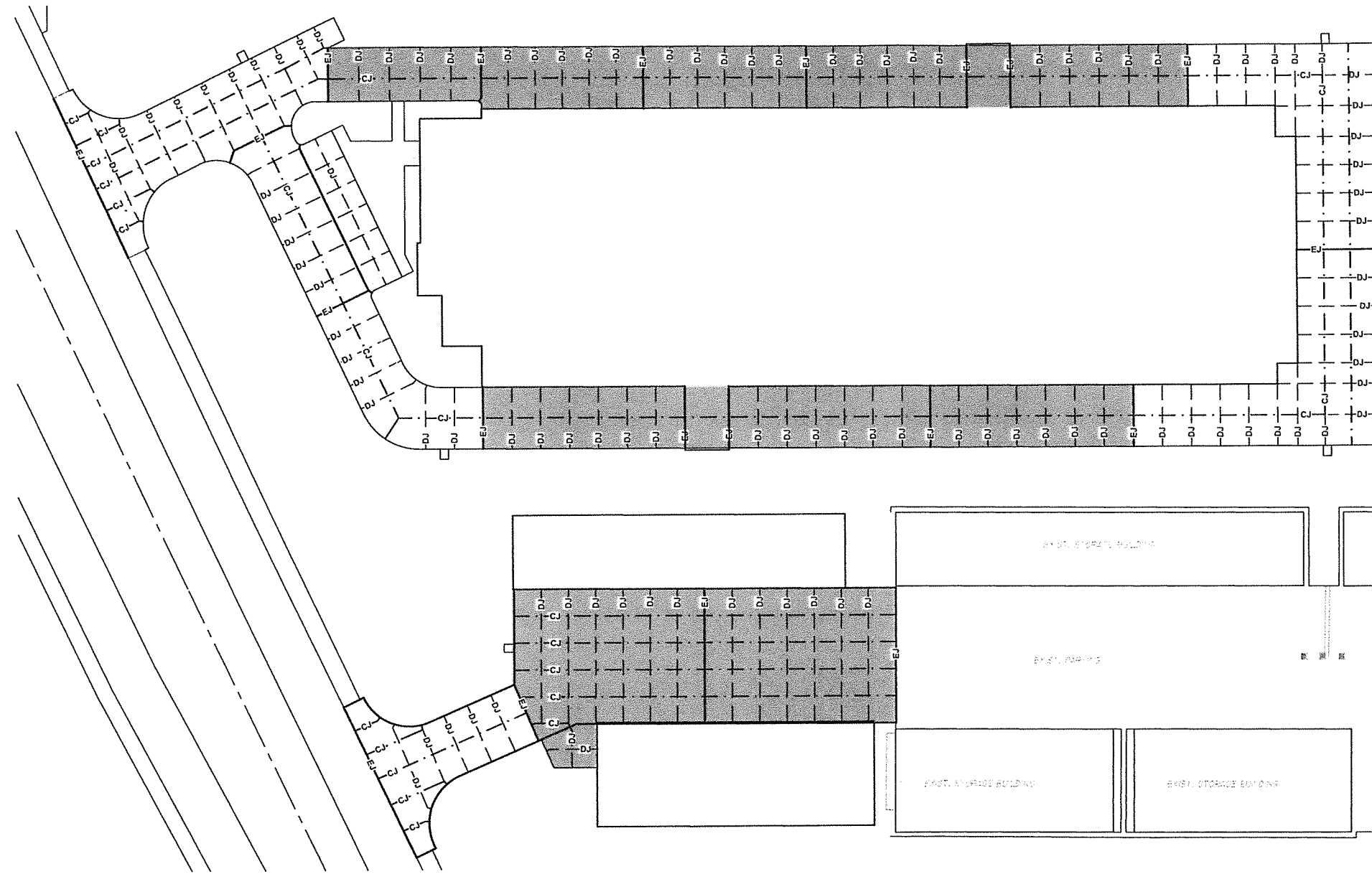
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16379 CIVIL PLANS.DWG



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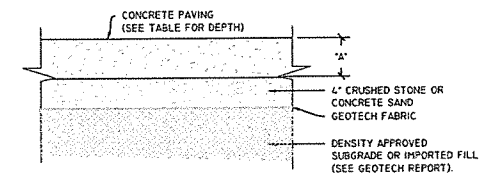
**NOTES:**

1. VERIFY ALL BUILDING DIMENSIONS WITH CURRENT ARCHITECTURAL PLANS.
2. PAVING, PARKING, DRIVES & DIMENSIONS PROVIDED BY OTHERS.

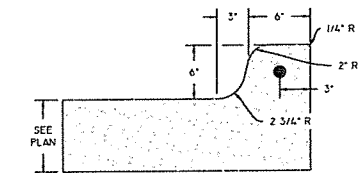
**PAVING NOTES:**

1. THE SITE SHALL BE STRIPPED OF ALL VEGETATION PRIOR TO FILL OR CONSTRUCTION.
2. ALL SELECT FILL SHALL BE 8-18 P.I. AND LIQUID LIMIT LESS THAN 35 AND CLASSIFIED AS LEAN SANDY CLAY OR CLAYEY SAND WITH NO MORE THAN 50% PASSING THE NO. 200 SIEVE, WITH A COMPACTION TEST RUN ON EACH 8' LIFT, 1 TEST / 5000 SF - COMPACTED TO 95% STD. PROCTOR. ALL TEST RESULTS MUST BE PROVIDED TO PROJECT ENGINEER FOR REVIEW.
3. ANY SOFT AREAS (TREE STUMP HOLES, ETC.) SHALL BE CUT OUT AND RECOMPACTED TO SAID PROCTOR. CONTRACTOR SHALL PROOF-ROLL SITE W/ A HEAVILY LOADED PNEUMATIC-TIRED DUMP TRUCK (20-25 TONS). SOILS WHICH RUT OR DEFLECT EXCESSIVELY SHALL BE UNDERCUT AND REPLACED W/ PROPERLY COMPACTED STRUCTURAL FILL PER THE GEOTECH REPORT.
4. THE CONTRACTOR SHALL KEEP THE SITE SO IT WILL HAVE POSITIVE DRAINAGE AT ALL TIMES.
5. ALL EXCAVATION SHALL BE FREE OF ALL WATER BEFORE PLACING CONCRETE.
6. ALL STEEL BARS SHALL BE GRADE 60 STEEL. NUMBER 3 BARS MAY BE GRADE 40.
7. CLEAR DIMENSIONS FOR STEEL: STEEL AGAINST EARTH SHALL BE 3". STEEL AGAINST FORM 1 1/2".
8. ALL WIRE AND BARS SHALL BE SECURED PROPERLY BEFORE PLACING CONCRETE.
9. ALL CONCRETE SHALL HAVE A 4000 PSI COMPRESSIVE STRENGTH AT 28 DAYS W/ 600 PSI FLEXURAL STRENGTH.
10. CHAMFER ALL EXPOSED CONCRETE EDGES.
11. MAXIMUM SLUMP SHALL BE 5".
12. SUBMIT DESIGN MIX FOR APPROVAL PRIOR TO BEGINNING CONSTRUCTION.
13. ALL AGGREGATE BASE COURSE (IF USED) SHALL MEET THE LATEST LADOT REQUIREMENTS. THE AGGREGATE BASE SHALL BE COMPACTED TO 95% STANDARD PROCTOR (ASTM D698) AT OR NEAR OPTIMUM MOISTURE CONTENT.
14. THE AGGREGATE BASE COURSE (IF USED) SHALL EXTEND BEYOND THE BACK OF CURB AT LEAST 6".
15. SAW CUT JOINTS IN PAVEMENT WITHIN 4-7 HOURS AFTER PLACING AND STRIKING OFF PAVEMENT, OR SOONER IF CONCRETE ALLOWS WITHOUT EXCESS RAVELING ALONG THE CUT. **DO NOT POUR ONE DAY AND SAW THE NEXT.**
16. BRING SAW CUT JOINTS THRU THE BARRIER CURB.
17. DIRECT RUNOFF AWAY FROM PAVEMENT.

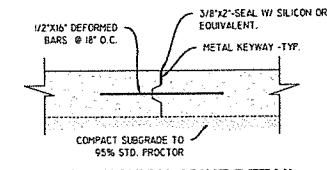
PAVEMENT LEGEND	
	EJ - EXPANSION JOINT
	DJ - DUMMY JOINT
	CJ - CONSTRUCTION JOINT
	5" CONCRETE
	6" CONCRETE
	7" CONCRETE
	8" CONCRETE



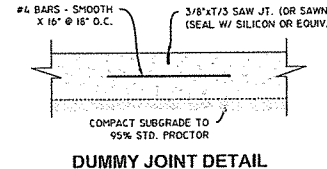
**STANDARD DUTY CONCRETE SECTION**  
 N.T.S.



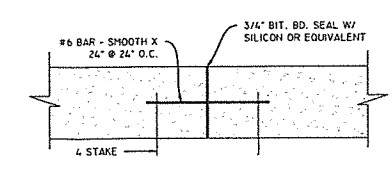
**TYP. BARRIER CURB DETAIL**  
 N.T.S. (IF NEEDED)



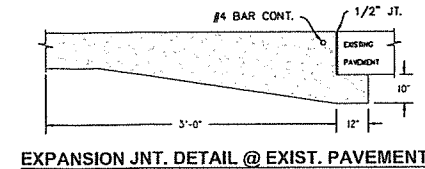
**CONSTRUCTION JOINT DETAIL**  
 N.T.S. MAX 15' SPACING.



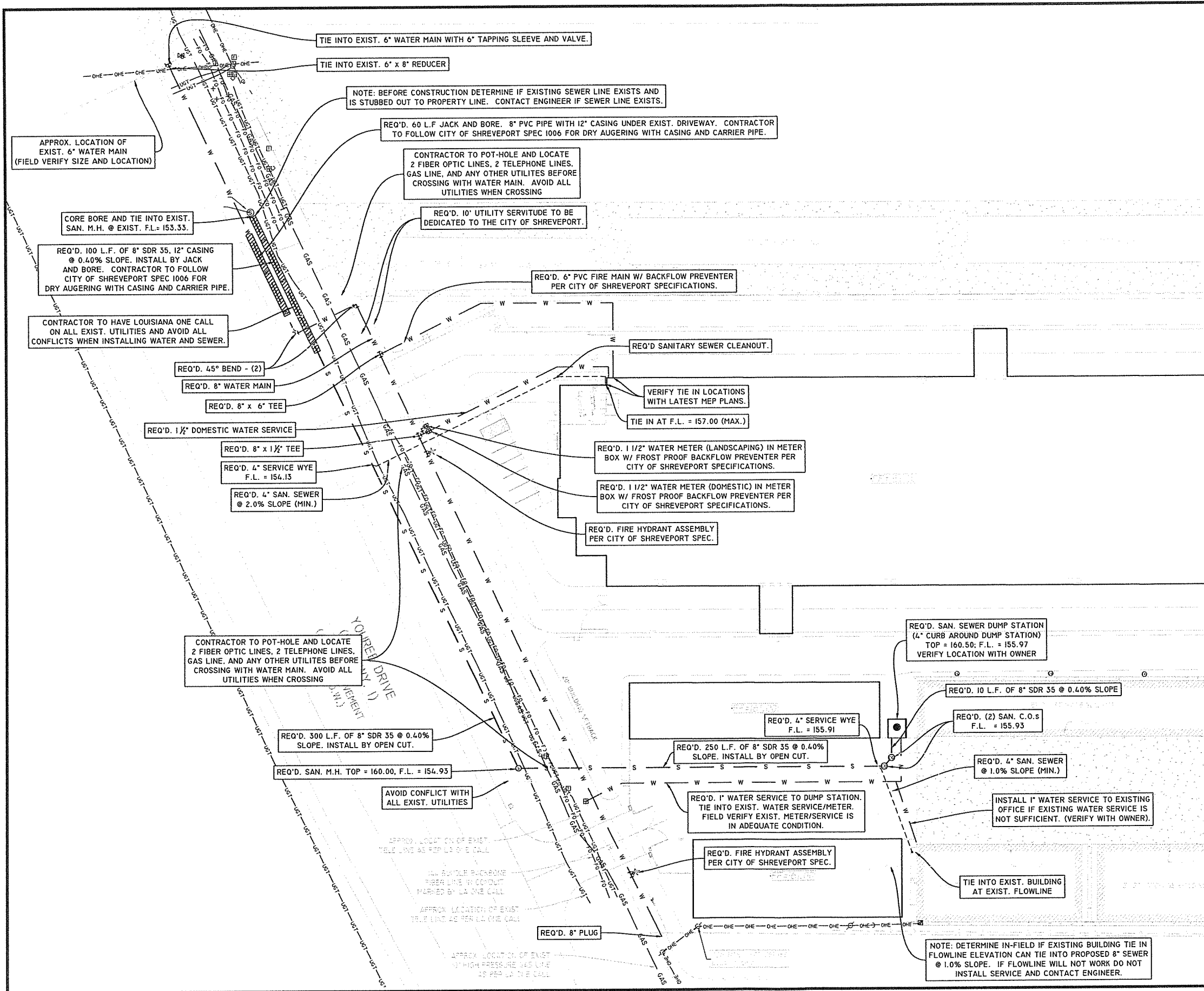
**DUMMY JOINT DETAIL**  
 N.T.S. MAX 15' SPACING.



**EXPANSION JOINT**  
 N.T.S.



**EXPANSION JNT. DETAIL @ EXIST. PAVEMENT**  
 N.T.S.



**LEGEND**

TW - TOP OF WALL	◆ BENCH MARK
TC - TOP OF CURB	⚡ POWER POLE
G - GUTTER	⊕ GUY ANCHOR
FF - FINISHED FLOOR	⊙ SAN. SEWER M.H.
	⊕ FIRE HYDRANT
	⊕ WATER METER

---	EXIST. OVERHEAD TELE LINE
---	EXIST. UNDERGROUND TELE LINE
---	EXIST. WATER LINE
---	EXIST. OVERHEAD ELEC. LINE
---	EXIST. SEWER LINE
---	EXIST. GAS LINE
---	EXIST. FIBER OPTIC LINE
---	PROPOSED UNDERGROUND ELEC. LINE
---	PROPOSED OVERHEAD ELEC. LINE
---	PROPOSED WATER LINE
---	PROPOSED SEWER LINE
---	EXIST. FENCE

**SEWER NOTES:**

1. ALL SEWER MAINS SHALL CONFORM TO ASTM D-3034 SDR-35 STANDARDS FOR PVC BELL AND SPIGOT PIPE.
2. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SELECT MATERIAL FOR BACKFILL. IF EXISTING MATERIAL DOES NOT MEET MINIMUM STANDARDS, IT WILL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE COMPACTION TESTS OF BACKFILL AT CROSSINGS. THE COST OF SELECT MATERIAL AND COMPACTION TESTS SHALL BE INCLUDED IN THE UNIT PRICES.
3. IT WILL BE THE RESPONSIBILITY OF THE UTILITY CONTRACTOR TO ADJUST THE TOP OF ALL CLEANOUTS TO GRADE AFTER FINISH GRADING HAS BEEN COMPLETED BY THE BUILDING CONTRACTOR.

**WATER:**

1. ALL WATER MAINS SHALL CONFORM TO AWWA C900 DR-18 STANDARDS FOR PVC BELL AND SPIGOT PIPE.
2. ALL BENDS AND TIE-INS SHALL REQUIRE MECHANICAL RESTRAINT FITTINGS AND CONCRETE THRUST BLOCKS. ALL BENDS AND FITTINGS SHALL BE DUCTILE IRON IN ACCORDANCE WITH PROVISIONS OF AWWA C153. ALL IN-LINE VALVES, EITHER CONNECTING TO FITTINGS AND/OR PIPE, SHALL BE INSTALLED WITH MECHANICAL JOINT RESTRAINTS.
3. CONTRACTORS SHALL ASSURE THAT WATER MAINS ARE INSTALLED WITH A MINIMUM OF 4'-0" OF GROUND COVER.
4. WATER MAINS CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 24 INCHES BETWEEN THE INSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER MAIN. REQUIRED HORIZONTAL CLEARANCE IS MINIMUM 10 FEET.
5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SELECT MATERIAL FOR BACKFILL IF EXISTING MATERIAL DOES NOT MEET MINIMUM STANDARDS. IT WILL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE COMPACTION TESTS OF BACKFILL AT CROSSINGS. THE COST OF SELECT MATERIAL AND COMPACTION TESTS SHALL BE INCLUDED IN THE UNIT PRICES.
6. ALL WATER MAINS, PIPES, FITTINGS, JOINTS, VALVES AND BACKFLOW PREVENTERS SHALL MEET OR EXCEED THE REDUCED LEAD REQUIREMENT OF ACT 362 AS ENACTED BY THE LOUISIANA LEGISLATURE EFFECTIVE JANUARY 1, 2013. ALL APPLICABLE PRODUCTS AND MATERIALS THAT JOIN OR SEAL PIPES SHALL BE EVALUATED AND LISTED AS CONFORMING WITH NSF/ANSI 372 DRINKING WATER SYSTEM COMPONENTS. LEAD CONTENT OR SHALL BE CERTIFIED TO BE LEAD FREE BY AN INDEPENDENT ANSI ACCREDITED THIRD PARTY TESTING LAB.

**ELECTRIC:**

VERIFY ALL LIGHTING/ELECTRIC WITH ARCHITECT/OWNER/LIGHTING PLAN/POWER COMPANY PRIOR TO CONSTRUCTION. PARKING LIGHTING IS LOCATED ON BUILDING. SEE ELECTRICAL PLAN.

REVISIONS	BY

PROPOSED UTILITY PLAN  
**Best Yet Youree**  
 Shreveport, Louisiana

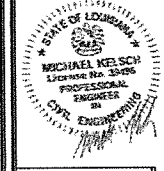


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04/11/2018



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 JOB: 16379  
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6379 CIVIL PLANS.DWG



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PROPOSED UTILITY PLAN  
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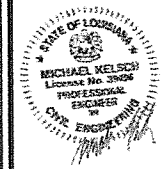


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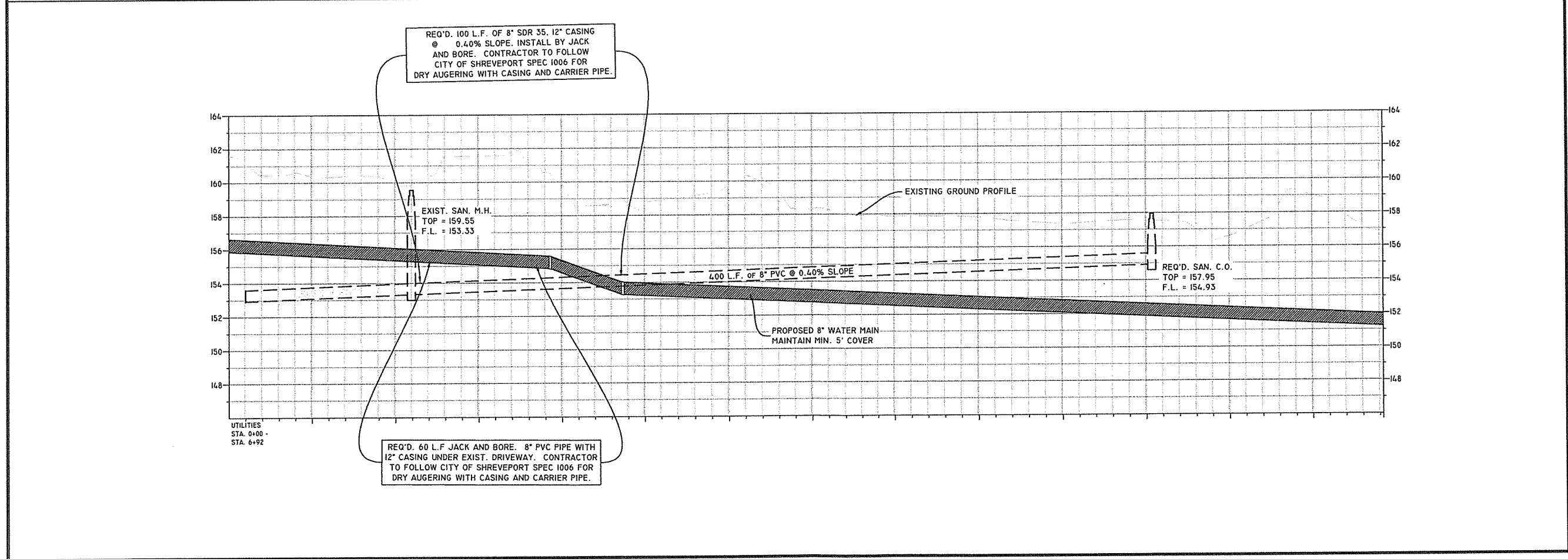
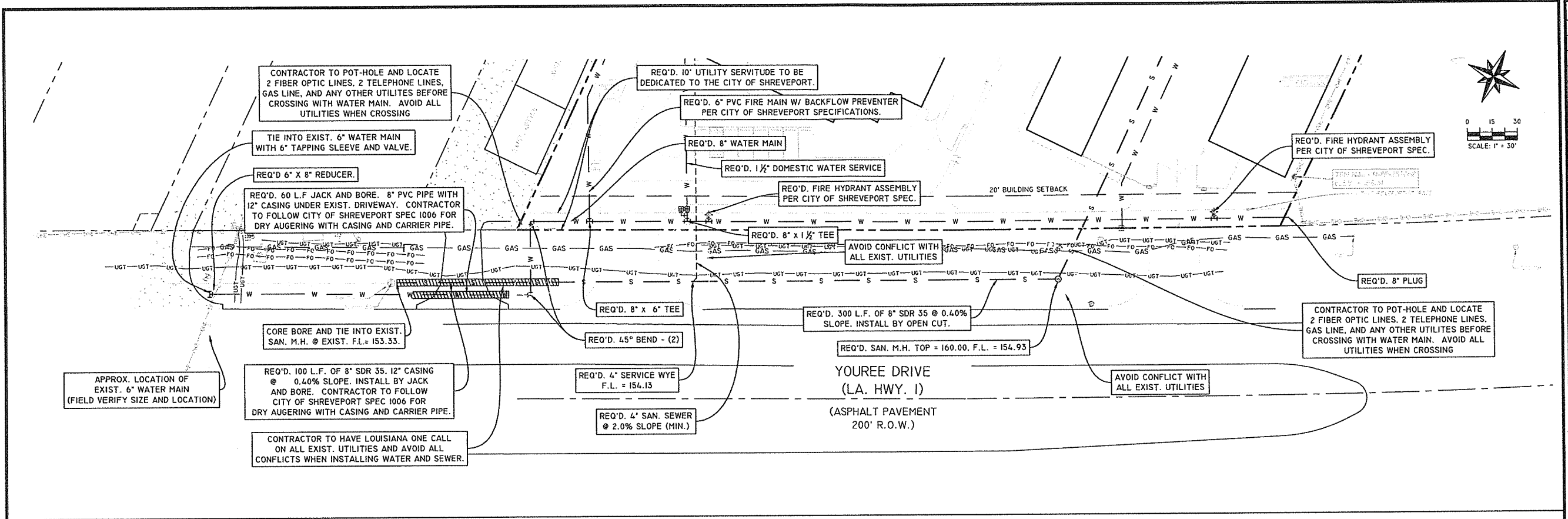
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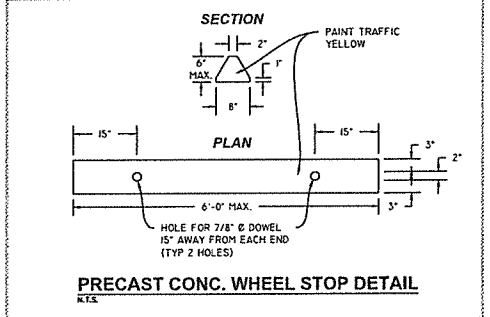
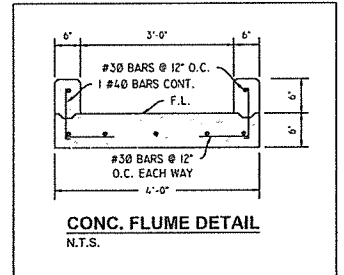
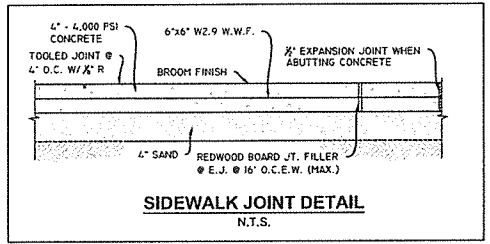
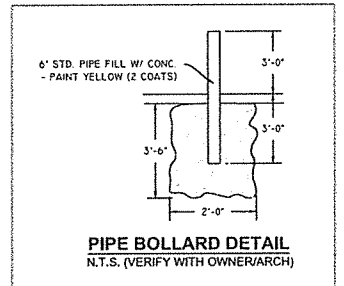
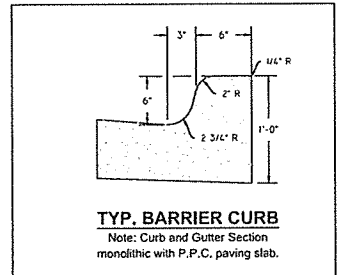
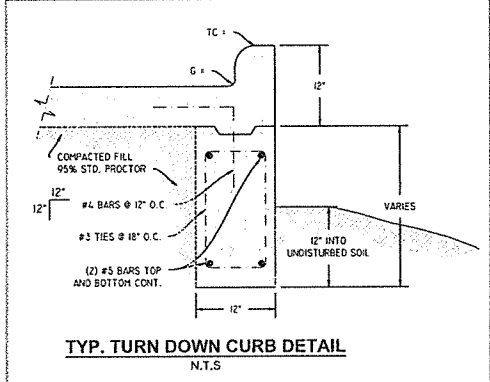
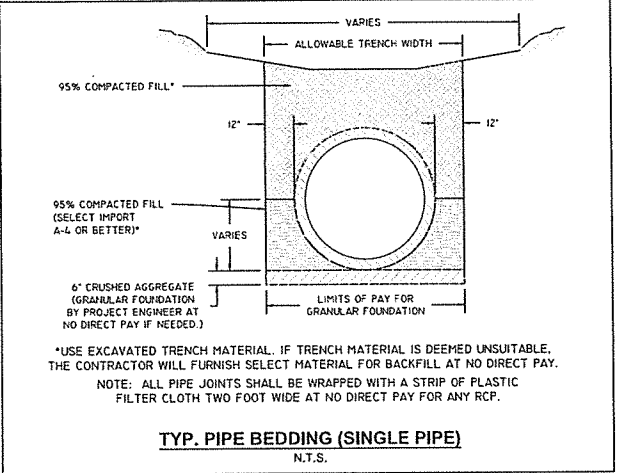
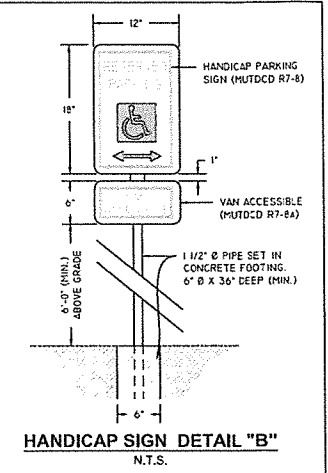
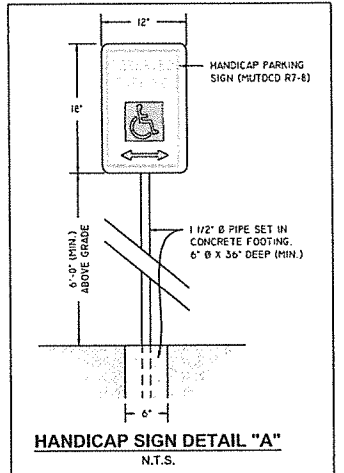
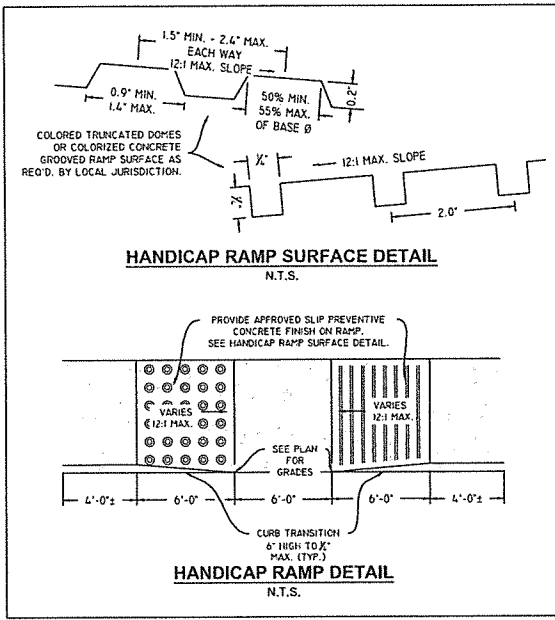


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16379 Civil Plans DWG





**Stormwater Detention Worksheet**  
25-Year Frequency Storm  
(For Sites Greater Than 1/2 Acre Citywide)

PROPOSED PROJECT: Best Yet Youree (North Pond)  
ADDRESS: Youree  
DRAINAGE BASIN: TOTAL AREA: 1.5  
CALCULATED BY: Raley and Associates

EXISTING CONDITIONS: (10 YR.)		PROPOSED CONDITIONS: (25 YR.)	
RUNOFF COEFFICIENT (C <sub>r</sub> ):	0.35	RUNOFF COEFFICIENT (C <sub>r</sub> ):	0.90
TIME OF CONCENTRATION (t <sub>c</sub> in min):	35.09	TIME OF CONCENTRATION (t <sub>c</sub> in min):	15.00
RAINFALL INTENSITY (i in in/hr):	4.60	RAINFALL INTENSITY (i in in/hr):	6.00
AREA (A in acres):	1.50	AREA (A in acres):	1.50
DISCHARGE (Q in cfs):	2.42	DISCHARGE (Q in cfs):	8.10
MAXIMUM PERMISSIBLE RELEASE RATE (Q <sub>max</sub> in cfs):		MAXIMUM PERMISSIBLE RELEASE RATE (Q <sub>max</sub> in cfs):	2.42

**REQUIRED STORMWATER VOLUME**

Rainfall Duration (min)	Rainfall Intensity (in/hr)	Peak Rainfall Rate (cfs/ft)	Storm Runoff Volume (cu ft)	Release Rate Volume (cu ft)	Storage Volume (cu ft)
T	i	2.58i	1.50i	1.50i	0
5	8.97	22.95	3442.5	2250.0	2776.0
10	7.00	17.50	2700.0	1750.0	4221.0
15	6.00	15.00	2250.0	1500.0	5116.5
20	5.40	13.50	2025.0	1350.0	5890.0
25	4.87	12.18	1827.0	1218.0	6647.5
30	4.47	11.18	1677.0	1118.0	7389.0
40	3.80	9.50	1425.0	950.0	8516.0
50	3.42	8.55	1282.5	855.0	9525.0
60	3.13	7.83	1174.5	783.0	10372.0

REQUIRED STORAGE VOLUME (MAX. S<sub>r</sub>): **R<sub>req</sub> = 6,525**

**Stormwater Detention Worksheet**  
25-Year Frequency Storm  
(For Sites Greater Than 1/2 Acre Citywide)

PROPOSED PROJECT: Best Yet Youree (South Pond)  
ADDRESS: Youree  
DRAINAGE BASIN: TOTAL AREA: 3.2  
CALCULATED BY: Raley and Associates

EXISTING CONDITIONS: (10 YR.)		PROPOSED CONDITIONS: (25 YR.)	
RUNOFF COEFFICIENT (C <sub>r</sub> ):	0.35	RUNOFF COEFFICIENT (C <sub>r</sub> ):	0.90
TIME OF CONCENTRATION (t <sub>c</sub> in min):	35.00	TIME OF CONCENTRATION (t <sub>c</sub> in min):	15.00
RAINFALL INTENSITY (i in in/hr):	4.60	RAINFALL INTENSITY (i in in/hr):	6.00
AREA (A in acres):	3.20	AREA (A in acres):	3.20
DISCHARGE (Q in cfs):	5.15	DISCHARGE (Q in cfs):	17.28
MAXIMUM PERMISSIBLE RELEASE RATE (Q <sub>max</sub> in cfs):		MAXIMUM PERMISSIBLE RELEASE RATE (Q <sub>max</sub> in cfs):	5.15

**REQUIRED STORMWATER VOLUME**

Rainfall Duration (min)	Rainfall Intensity (in/hr)	Peak Rainfall Rate (cfs/ft)	Storm Runoff Volume (cu ft)	Release Rate Volume (cu ft)	Storage Volume (cu ft)
T	i	2.58i	3.20i	3.20i	0
5	8.97	22.95	7344.0	4800.0	15480.0
10	7.00	17.50	5880.0	3900.0	20940.0
15	6.00	15.00	5040.0	3300.0	24840.0
20	5.40	13.50	4500.0	2970.0	28830.0
25	4.87	12.18	4032.0	2637.0	32847.0
30	4.47	11.18	3624.0	2337.0	36885.0
40	3.80	9.50	3072.0	1900.0	43860.0
50	3.42	8.55	2772.0	1716.0	49800.0
60	3.13	7.83	2520.0	1548.0	55702.0

REQUIRED STORAGE VOLUME (MAX. S<sub>r</sub>): **R<sub>req</sub> = 13,920**

REVISIONS	BY

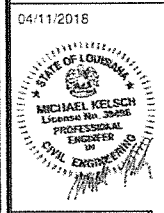
**SITE DETAILS**  
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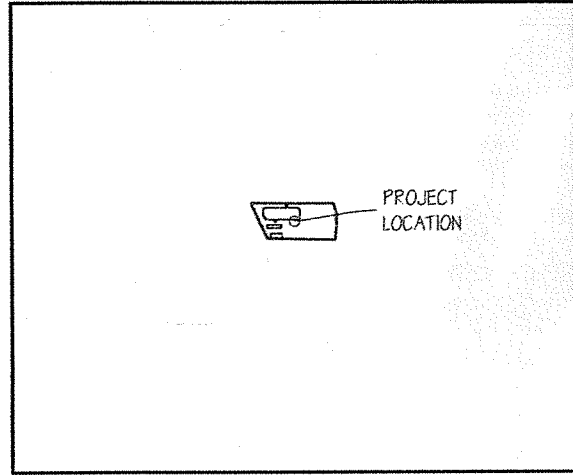


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VICINITY MAP

**DEMOLITION NOTES**

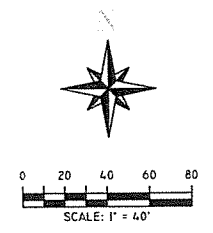
- DEMOLITION AND REMOVAL OPERATIONS SHALL COMMENCE ONLY AFTER ALL EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE AND FUNCTIONAL.
- PROVIDE NEAT AND STRAIGHT SAWCUTS OF EXISTING PAVEMENT ALONG ALL LIMITS OF PAVEMENT DEMOLITION.
- ALL DEMOLISHED MATERIALS BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED. DISPOSE OF OFF THE OWNER'S PROPERTY IN A LEGAL MANNER.
- ALL PAVEMENT, BASE COURSES, SIDEWALKS, CURBS, BUILDINGS, FOUNDATIONS, ETC., IN THE AREA TO BE REMOVED SHALL BE REMOVED TO FULL DEPTH. EXISTING BASE COURSE MATERIALS MAY BE WORKED INTO THE NEW PAVEMENT OR BUILDING SUBGRADE PROVIDED THAT THE GRADATION, CONSISTENCY, COMPACTION, SUBGRADE CONDITION, ETC., ARE IN ACCORDANCE WITH THE SPECIFICATIONS. BASE COURSE MATERIALS SHALL NOT BE WORKED INTO THE SUBGRADE OF AREAS TO RECEIVE PLANTING.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION WORK.
- ALL ITEMS OF CONSTRUCTION REMAINING AND NOT SPECIFICALLY MENTIONED THAT INTERFERE WITH THE NEW CONSTRUCTION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.

- CONTRACTOR SHALL PROVIDE PROTECTION TO ALL STREETS, FENCES, TREES, UTILITIES AND STRUCTURES THAT ARE TO REMAIN. CONTRACTOR-CAUSED DAMAGE SHALL BE REPAIRED TO MATCH EXISTING AT NO ADDITIONAL COST TO THE OWNER.
- CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE BACKFILLED WITH SATISFACTORY MATERIAL AND COMPACTED TO 95% OF MAXIMUM DENSITY PER ASTM D698.
- CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK. COORDINATE WITH LOCAL UTILITY COMPANIES PRIOR TO UTILITY DISCONNECT. BE AWARE OF EXISTING UTILITIES ENTERING / EXISTING BUILDING.
- SEE UTILITY PLAN FOR EXISTING UTILITY REMOVAL / MODIFICATION.

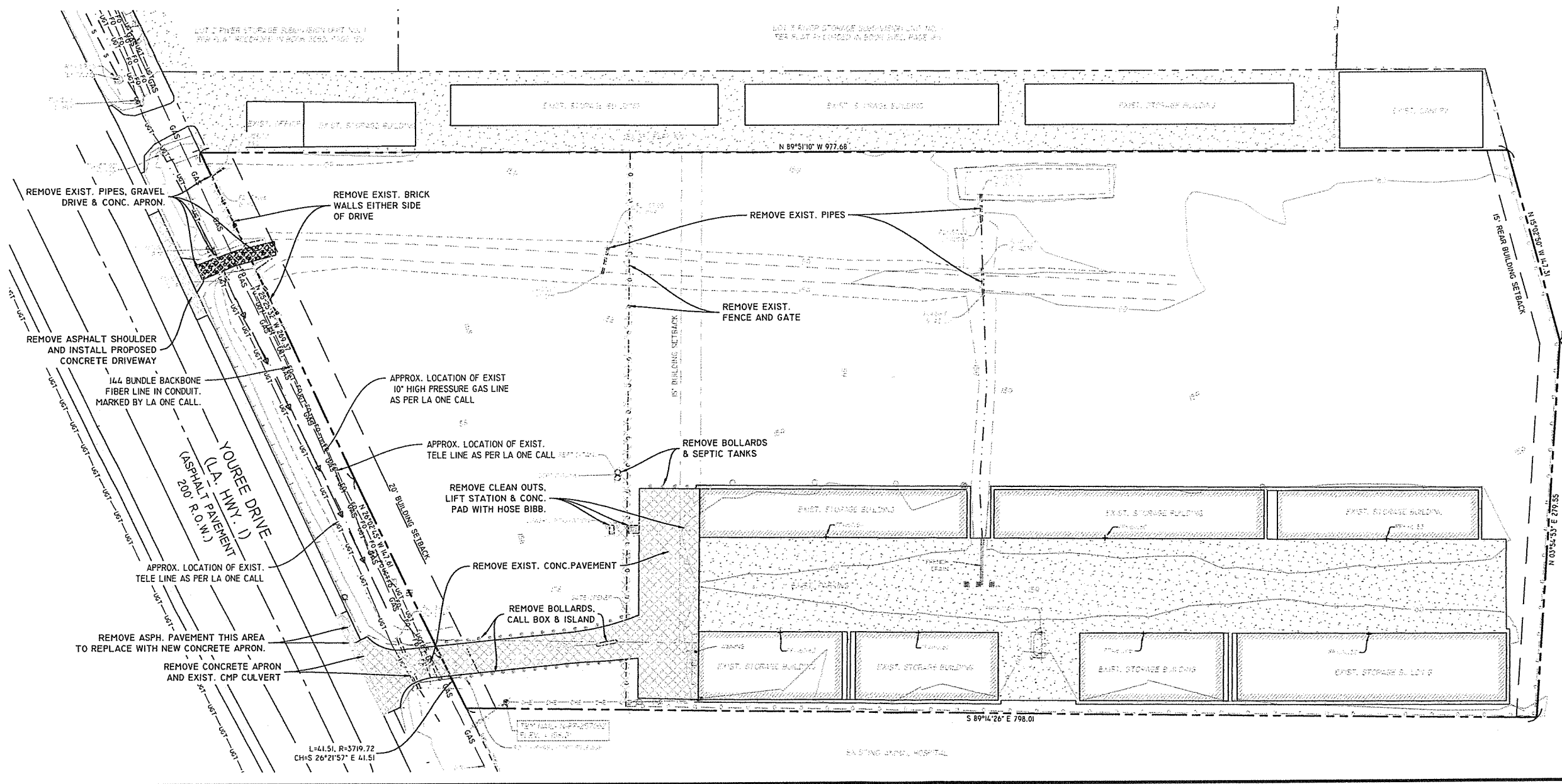
**GENERAL NOTES:**

- ALL ONSITE BUILDINGS, FOUNDATIONS, PAVING, UTILITIES, ETC... TO BE REMOVED BY OWNER / CONTRACTOR PRIOR TO PROPOSED DEVELOPMENT.
- LOCATED IN FLOOD ZONE "X". FINISHED FLOOR TO BE BUILT A MINIMUM 1' ABOVE BFE.
- TOTAL ACREAGE = 8.646 ACRES

**DESCRIPTION:**

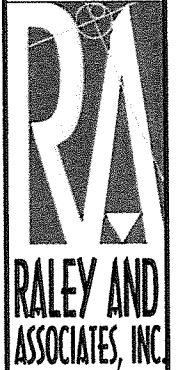


LEGEND	
	BENCH MARK
	POWER POLE
	GUY ANCHOR
	GUY POLE
	SAN. SEWER M.H.
	FIRE HYDRANT
	WATER VALVE
	PROPOSED BUILDING
	PROPERTY LINE
	BUILDING SETBACK
	PROPOSED FENCE



REVISIONS	BY

EXISTING CONDITIONS & DEMOLITION PLAN  
**Best Yet Youree**  
 Shreveport, Louisiana



Civil & Structural  
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 & Consulting

4913 Shed Road  
 Bossier City, LA 71111

Phone 318.752-9023  
 Fax 318.752-9025  
 www.raleyandassociates.com

04/11/2018



DATE: 11/30/17  
 SCALE: 1" = 40'  
 DRAWN: NDV  
 CHECKED: MK  
 JOB: 16379

SHEET:  
**D1**  
 OF - SHEET

I:\379 CIVIL PLANS.DWG