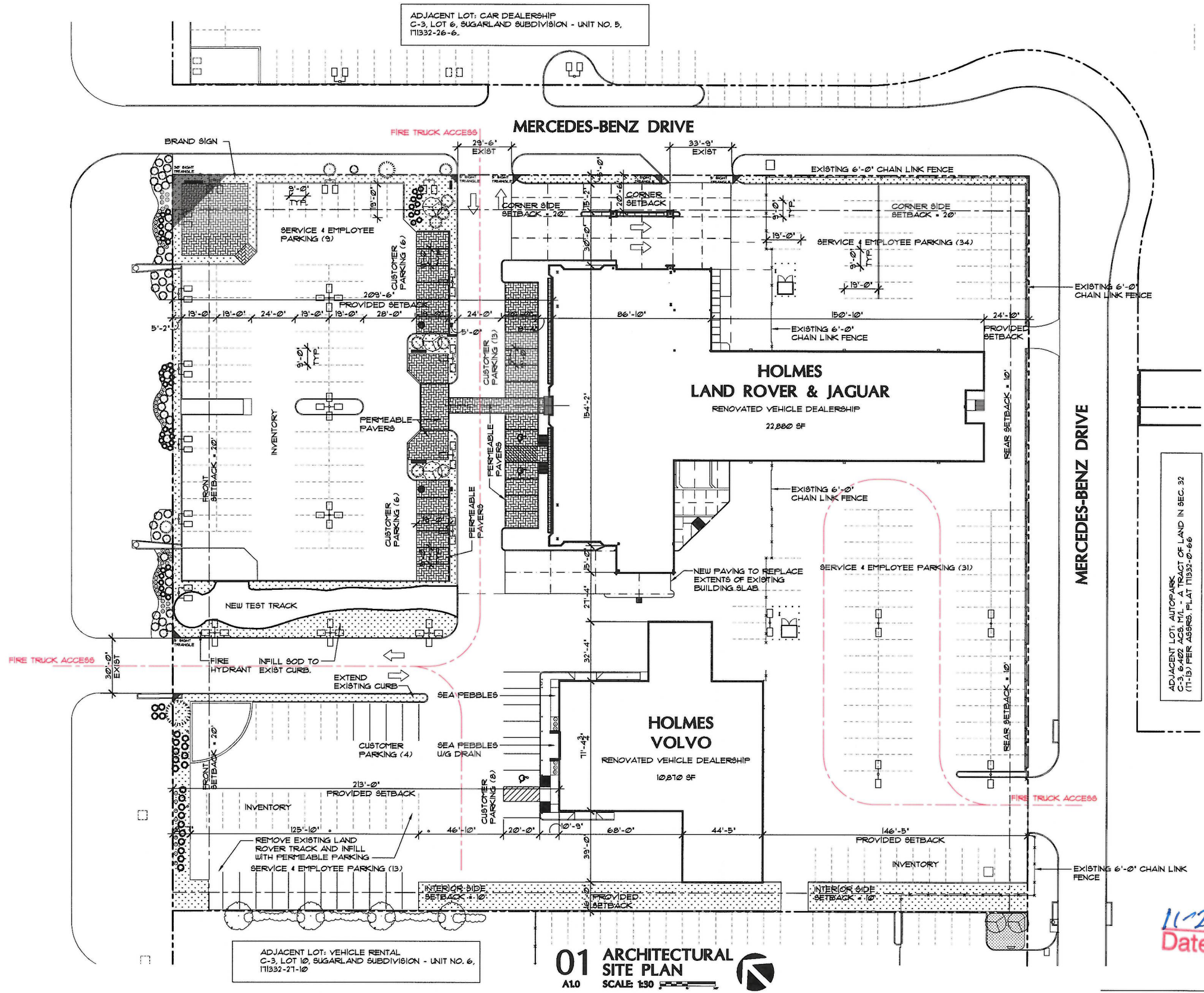


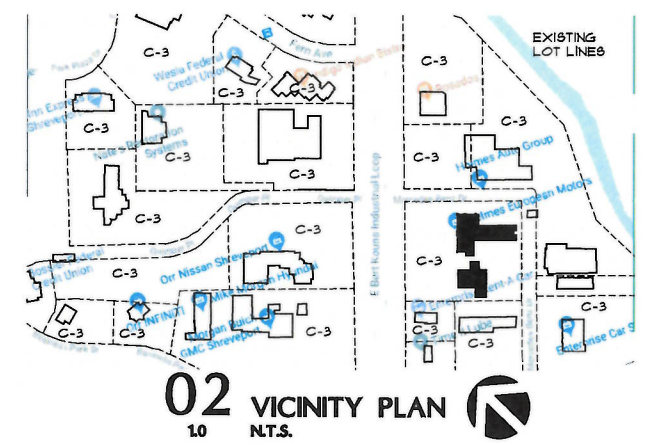
BERT KOUNS INDUSTRIAL LOOP

ADJACENT LOT: CAR DEALERSHIP  
C-3, LOT 1, BUSINESS PARK OF SHREVEPORT-BOSSIER,  
PHASE IX, 11332-16-1



ADJACENT LOT: VEHICLE RENTAL  
C-3, LOT 10, SUGARLAND SUBDIVISION - UNIT NO. 6,  
11332-21-10

**01 ARCHITECTURAL SITE PLAN**  
A1.0 SCALE: 1/8" = 1'-0"



**SHREVEPORT UDC CALCULATIONS**

<b>LOT DESCRIPTION:</b>		
LOT TYPE:	CORNER LOT	
ZONING:	C-3	
<b>LOT SETBACK:</b>		
FRONT	REQUIRED 20'-0"	MIN. PROVIDED 20'-6"
INTERIOR SIDE	REQUIRED 10'-0"	MIN. PROVIDED 16'-0"
CORNER SIDE	REQUIRED 20'-0"	MIN. PROVIDED 20'-6"
REAR	REQUIRED 10'-0"	MIN. PROVIDED 24'-10"
<b>LAND ROVER &amp; JAGUAR: RENOVATION OF EXISTING FACILITY</b>		
<b>BUILDING AREA:</b>		
EXISTING / RENOVATED	22,443 SQ. FT.	
NEW CONSTRUCTION	437 SQ. FT.	
TOTAL	22,880 SQ. FT.	
BUILDING MAX. HEIGHT:	26'-0"	
<b>VOLVO: RENOVATION OF EXISTING FACILITY</b>		
<b>BUILDING AREA:</b>		
EXISTING / RENOVATED	8,460 SQ. FT.	
NEW CONSTRUCTION	2,410 SQ. FT.	
TOTAL	10,870 SQ. FT.	
BUILDING MAX. HEIGHT:	24'-4"	
<b>PARKING LOT REQUIREMENTS:</b>		
<b>OFFSTREET PARKING:</b> (1 PER 500 SF OF GFA + 4 PER SERVICE BAY)		
	REQUIRED	PROVIDED
CUSTOMER PARKING (1 PER 500 SF OF GFA)	31	31
ACCESSIBLE SPACES	3	3
SERVICE SPACES (4 PER SERVICE BAY)	100	74
<p>— PARKING SPOT</p> <p>- - - INVENTORY DISPLAY</p> <p>* NOTE: CUSTOMER PARKING SHOWN IN PERMEABLE PAVERS</p>		

**EXECUTIVE DIRECTOR APPROVAL**

Date: 11-25-19 By: [Signature]

ADJACENT LOT: AUTOPARK  
C-3, 6.462 ACRES, MFL - A TRACT OF LAND IN SEC. 32  
(11-15) PER ASSR, PLAT 11332-0-66

MPC EXECUTIVE DIRECTOR SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_



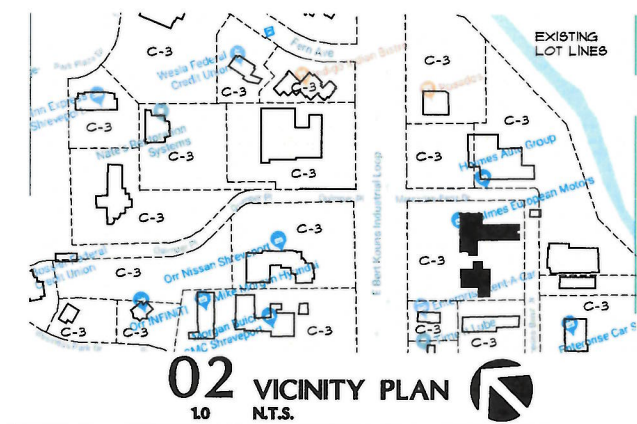
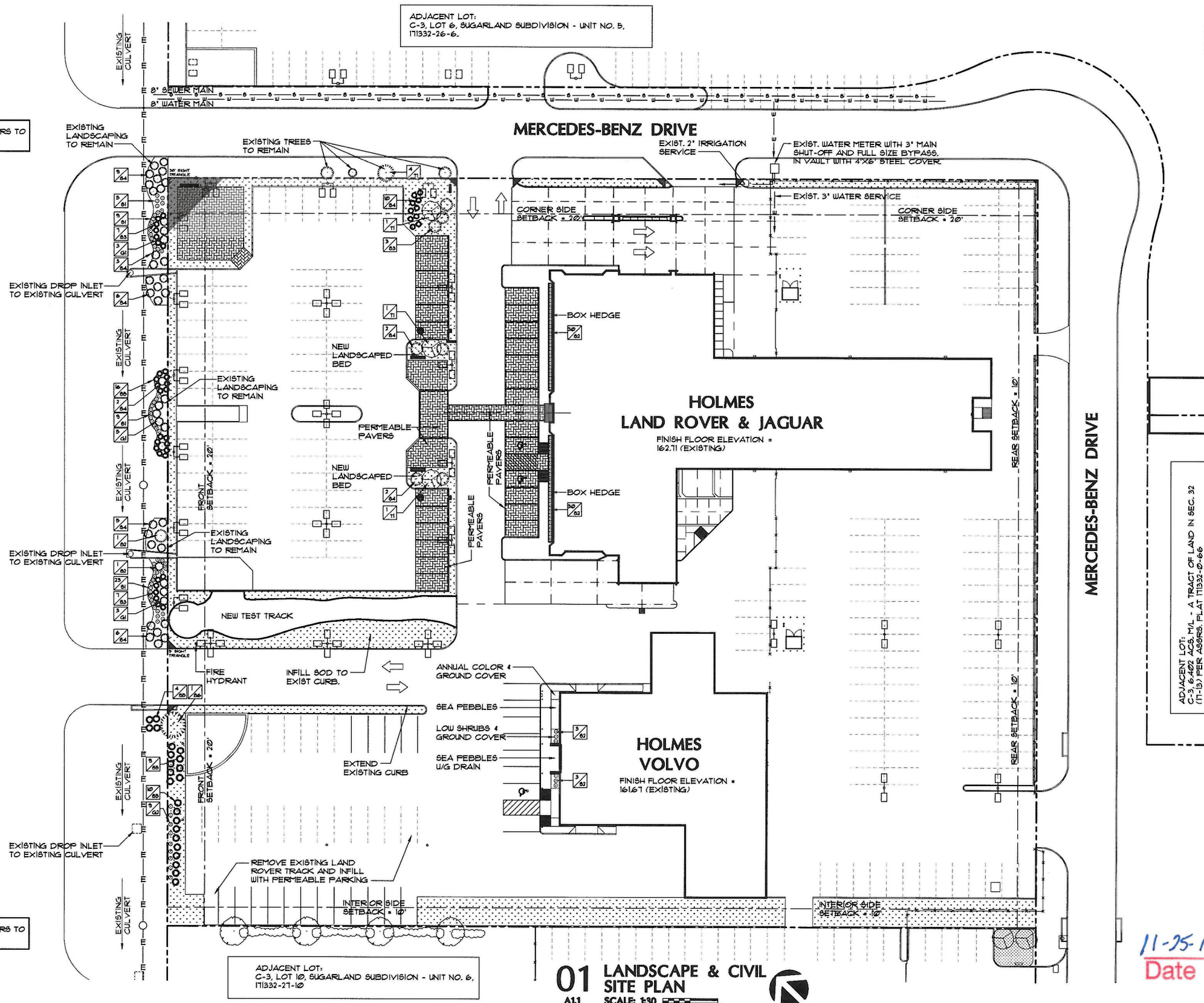
**DESIGNER:** Bledsoe Architects  
735 Robinhood St.  
Shreveport, LA 71106  
PHONE: 318-219-2295  
FAX: 318-219-2296

**OWNER:** Holmes Auto  
1221 E. Bert Kouns Industrial Loop  
Shreveport, LA 71105  
PHONE: 318-212-1200

**PROJECT:** Holmes Jaguar Land Rover & Holmes Volvo  
1221 E. Bert Kouns Industrial Loop  
Shreveport, Caddo Parish, LA 71105  
LOT DESCRIPTION: LOT 1, SUGARLAND SUBDIVISION - UNIT NO. 12, 171332-41-1  
C-3, 4.4 ACRES, FLOOD ZONE X

11 NOV. 2019  
**A1.0**  
Site Plan

19-462-C



### SHREVEPORT UDC CALCULATIONS

**LANDSCAPING REQUIREMENTS:**

**TREE CREDIT:** N/A

REQUIRED SHADE TREES: (2 TREES PER ACRE)	REQUIRED 5	PROVIDED 3 NEW (0 EXISTING)	N/A
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**LANDSCAPE BUFFER:** NOT REQUIRED

**LANDSCAPE ALONG STREET ROW:** EXISTING STREET ROW LANDSCAPING TO REMAIN

**INTERIOR PARKING LOT LANDSCAPING:** 10% OF PARKING LOT 123,240 x 0.1 = 12,325 SF

**STORM WATER INFORMATION:**

TOTAL LOT AREA: 191,664 SF

EXISTING IMPERVIOUS SURFACE COVERAGE: 178,410 SF (93.1%)

NEW IMPERVIOUS SURFACE COVERAGE: 169,750 SF (88.6%)

\*STORM WATER WILL TIE INTO EXISTING CULVERT ALONG BERT KOUNS.

25 YEAR STORM: 5 INCHES  
10 YEAR STORM: 4 INCHES

**PERMEABLE PAVERS:**

STORAGE = GRAVEL LAYER THICKNESS X VOID SPACE  
STORAGE = 18" X 0.30 = 5.4 INCHES

TIME OF DRAWDOWN = STORAGE / INFILTRATION RATE  
STORAGE = 5.4 / 1 = 5.4 HOURS

### LANDSCAPE LEGEND

SYM:	COMMON NAME:	SCIENTIFIC NAME:	QTY:
61	AZALEA	RHODODENDRON SPP.	46
62	BOXWOOD	BUXUS SEMPERVIRENS	68
63	CAMELIA	CAMELIA JAPONICA	31
64	DRIFT ROSE	ROSA 'MEIJOCOS'	45
65	INDIAN HAWTHORNE	RHAPHIOLEPIB INDICA	39
66	WAXLEAF VIBURNUM	VIBURNUM JAPONICUM	1
61	FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES SPP.	11
62	VARIEGATED LIRIOPE	LIRIOPE MUSCARI 'VARIEGATA'	9
71	GRAPE HYDRATEL	LAGERSTROEMIA INDICA	7

NOTES:  
- GROUND COVER, SOD, AND SEASONAL COLOR TO BE SELECTED FROM MFC APPROVED LIST.

11-25-19 Date  
By [Signature]

MPC EXECUTIVE DIRECTOR SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_



**DESIGNER:** Bledsoe Architects  
735 Robinhood St.  
Shreveport, LA 71106  
PHONE: 318-219-2295  
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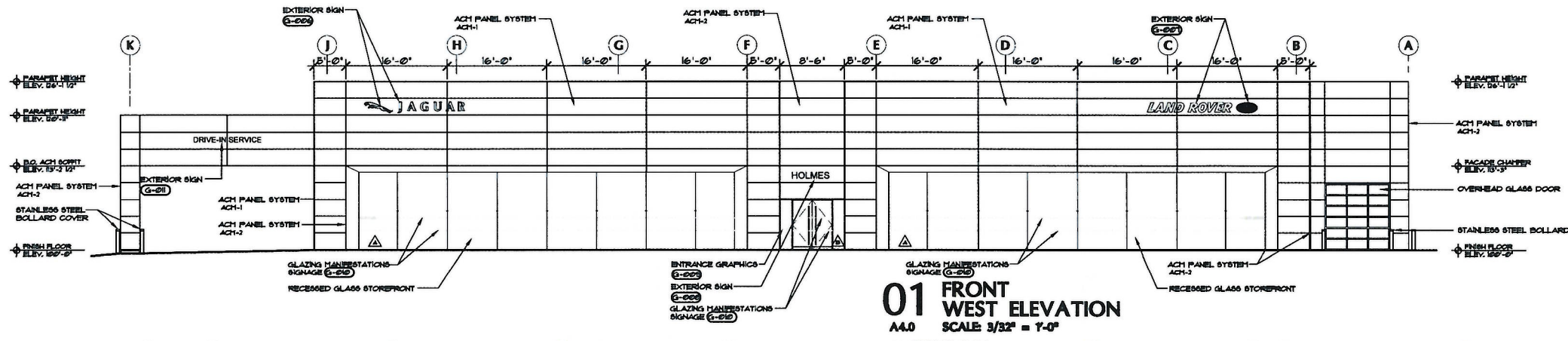
**OWNER:** Holmes Auto  
1221 E. Bert Kouns Industrial Loop  
Shreveport, LA 71105  
PHONE: 318-212-1200

**PROJECT:** Holmes Jaguar Land Rover & Holmes Volvo  
1221 E. Bert Kouns Industrial Loop  
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LOT DESCRIPTION: LOT 1, SUGARLAND SUBDIVISION - UNIT NO. 12, 171332-41-1  
C-3, 4.4 ACRES, FLOOD ZONE X

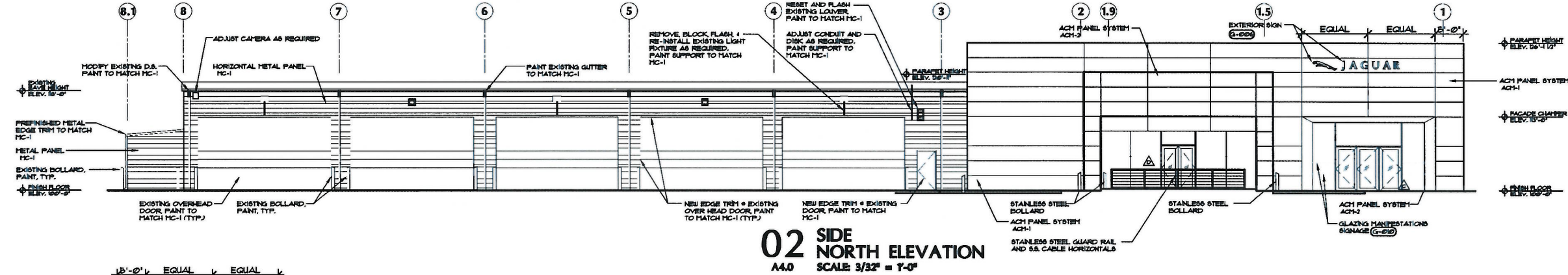
11 NOV. 2019  
**A1.1**  
Landscape & Civil Plan

19-462-C

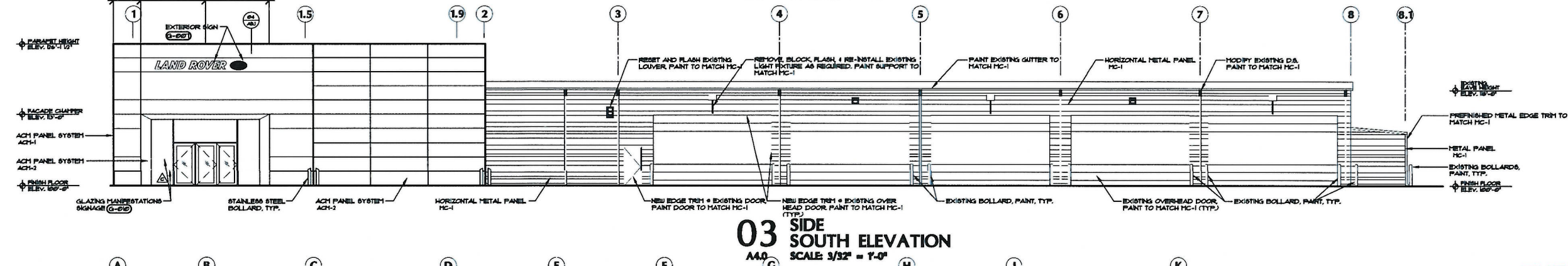
FACADE	TRANSPARENCY PERCENTAGE
WEST	35% TRANSPARENCY
NORTH	12% TRANSPARENCY
SOUTH	5% TRANSPARENCY
EAST	0% TRANSPARENCY



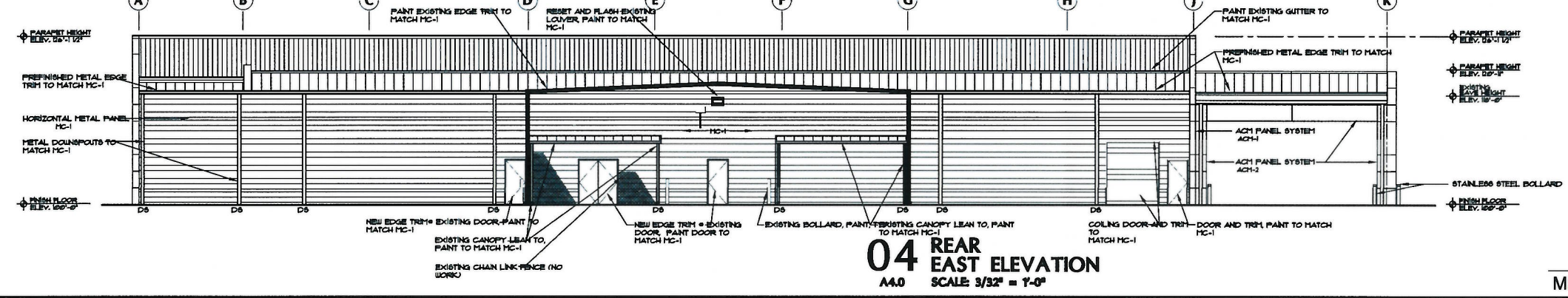
**01 FRONT WEST ELEVATION**  
A4.0 SCALE: 3/32" = 1'-0"



**02 SIDE NORTH ELEVATION**  
A4.0 SCALE: 3/32" = 1'-0"



**03 SIDE SOUTH ELEVATION**  
A4.0 SCALE: 3/32" = 1'-0"



**04 REAR EAST ELEVATION**  
A4.0 SCALE: 3/32" = 1'-0"

EXECUTIVE  
DIRECTOR  
APPROVAL

11-25-19 Date By *an*

MPC EXECUTIVE DIRECTOR SIGNATURE DATE



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PHONE: 318-219-2295  
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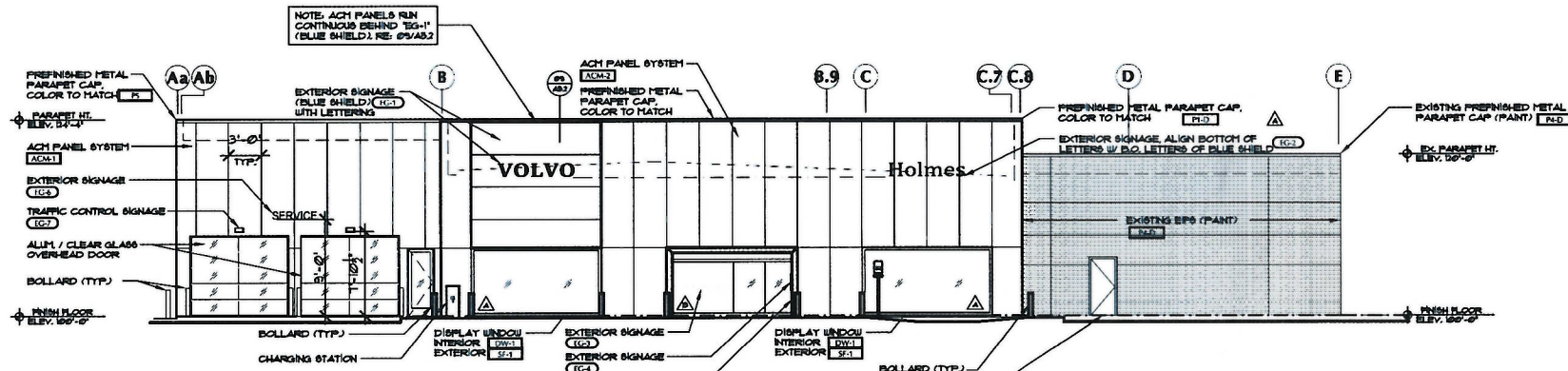
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LOT DESCRIPTION: LOT 1, SUGARLAND SUBDIVISION - UNIT NO. 12, 171332-41-1  
C-3, 4.4 ACRES, FLOOD ZONE X

11 NOV. 2019

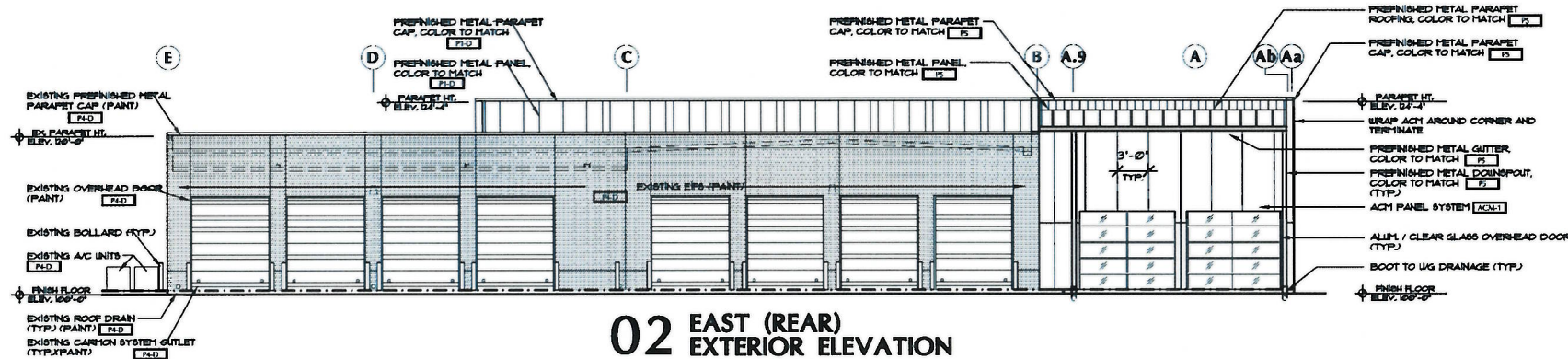
**A4.0**  
Exterior Elevations

19-462-C



**01 WEST (FRONT) EXTERIOR ELEVATION**  
A4.1 SCALE: 3/32" = 1'-0"

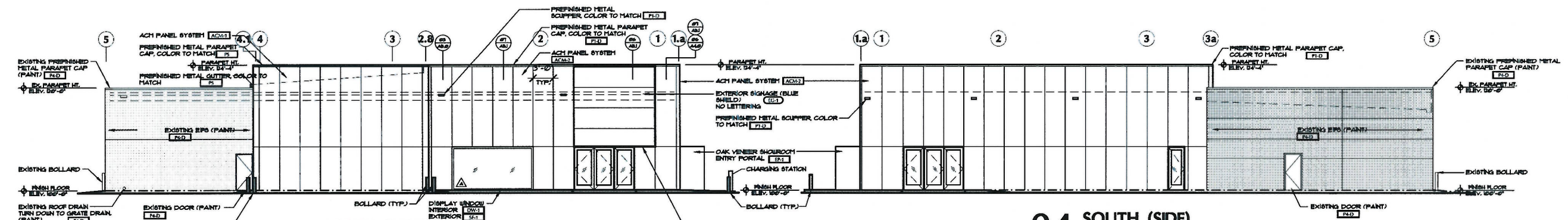
FACADE	TRANSPARENCY PERCENTAGE
WEST	25% TRANSPARENCY
EAST	8% TRANSPARENCY
NORTH	10% TRANSPARENCY
SOUTH	2% TRANSPARENCY



**02 EAST (REAR) EXTERIOR ELEVATION**  
A4.1 SCALE: 3/32" = 1'-0"

EXECUTIVE DIRECTOR APPROVAL

11-25-19 Date By *ash*



**03 NORTH (SIDE) EXTERIOR ELEVATION**  
A4.1 SCALE: 3/32" = 1'-0"

**04 SOUTH (SIDE) EXTERIOR ELEVATION**  
A4.1 SCALE: 3/32" = 1'-0"

MPC EXECUTIVE DIRECTOR SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_



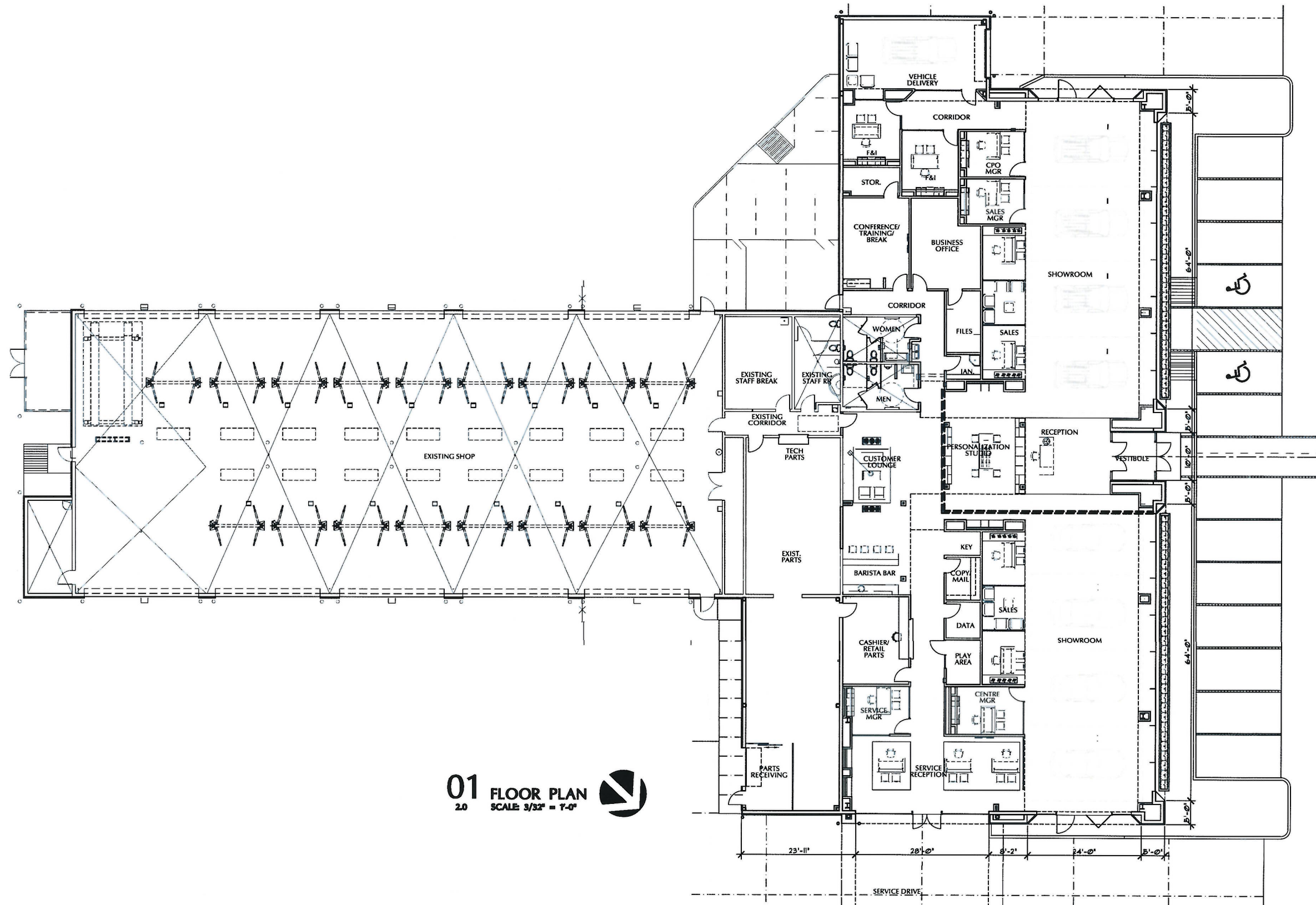
**DESIGNER:** Bledsoe Architects  
735 Robinhood St.  
Shreveport, LA 71106  
PHONE: 318-219-2295  
FAX: 318-219-2296

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1221 E. Bert Kouns Industrial Loop  
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C-3, 4.4 ACRES, FLOOD ZONE X

11 NOV. 2019  
**A4.1**  
Exterior Elevations

19-462-C



**01 FLOOR PLAN**  
2.0 SCALE: 3/32" = 1'-0"

EXECUTIVE  
DIRECTOR  
APPROVAL

11-25-19  
Date By *Aed*

\_\_\_\_\_  
MPC EXECUTIVE DIRECTOR SIGNATURE

\_\_\_\_\_  
DATE



**DESIGNER:** Bledsoe Architects  
735 Robinhood St.  
Shreveport, LA 71106  
PHONE: 318-219-2295  
FAX: 318-219-2296

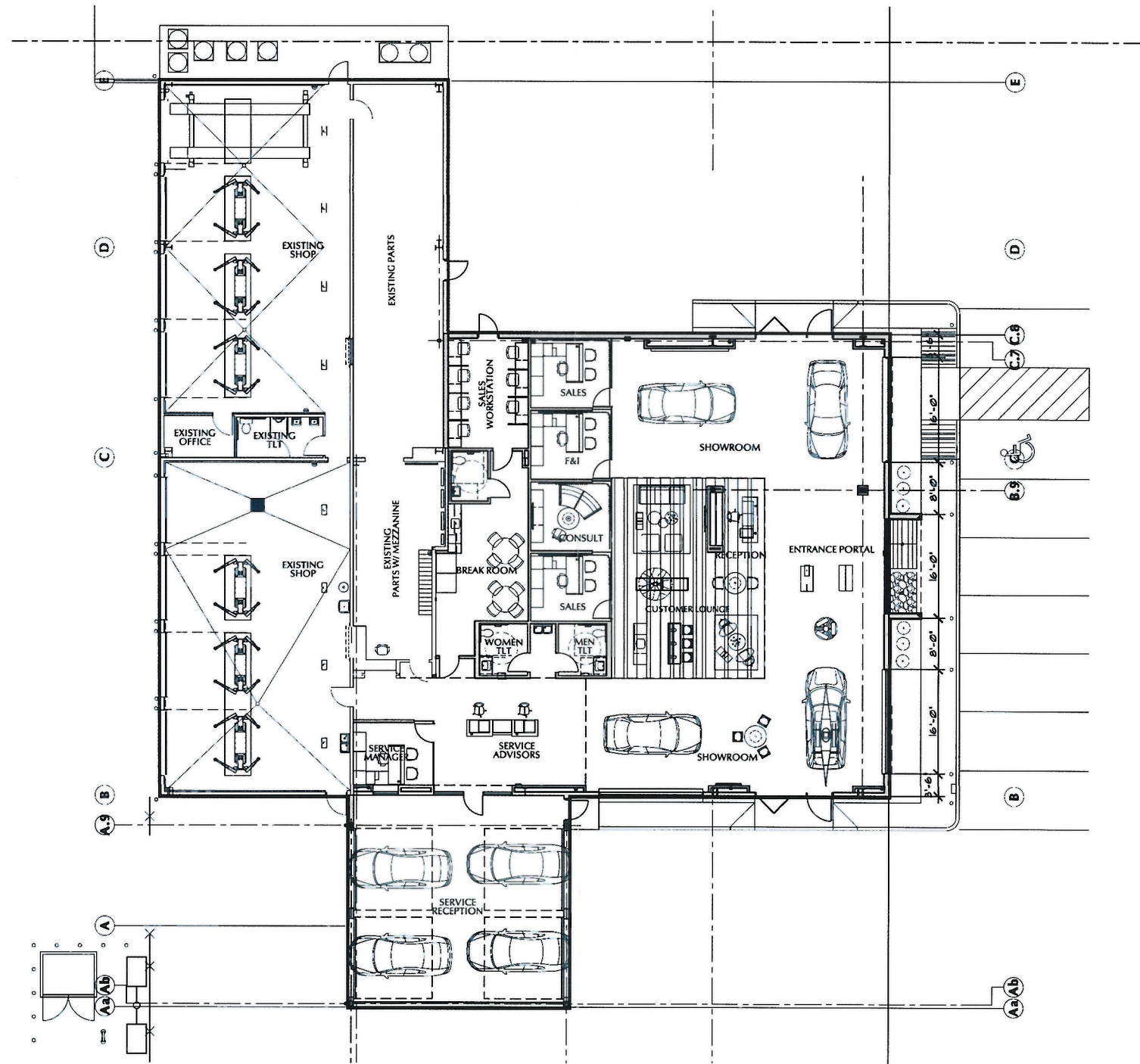
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Shreveport, LA 71105  
PHONE: 318-212-1200

**PROJECT:** Holmes Jaguar Land Rover & Holmes Volvo  
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Shreveport, Caddo Parish, LA 71105  
LOT DESCRIPTION: LOT 1, SUGARLAND SUBDIVISION - UNIT NO. 12, 171332-41-1  
C-3, 4.4 ACRES, FLOOD ZONE X

11 NOV. 2019

**A2.0**  
Floor Plan

19-462-C



EXECUTIVE  
DIRECTOR  
APPROVAL

11-25-19  
Date

*[Signature]*  
By

**01 VOLVO FLOOR PLAN**  
A2.1 SCALE: 3/32" = 1'-0"

MPC EXECUTIVE DIRECTOR SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_



**DESIGNER:** Bledsoe Architects  
735 Robinhood St.  
Shreveport, LA 71106  
PHONE: 318-219-2295  
FAX: 318-219-2296

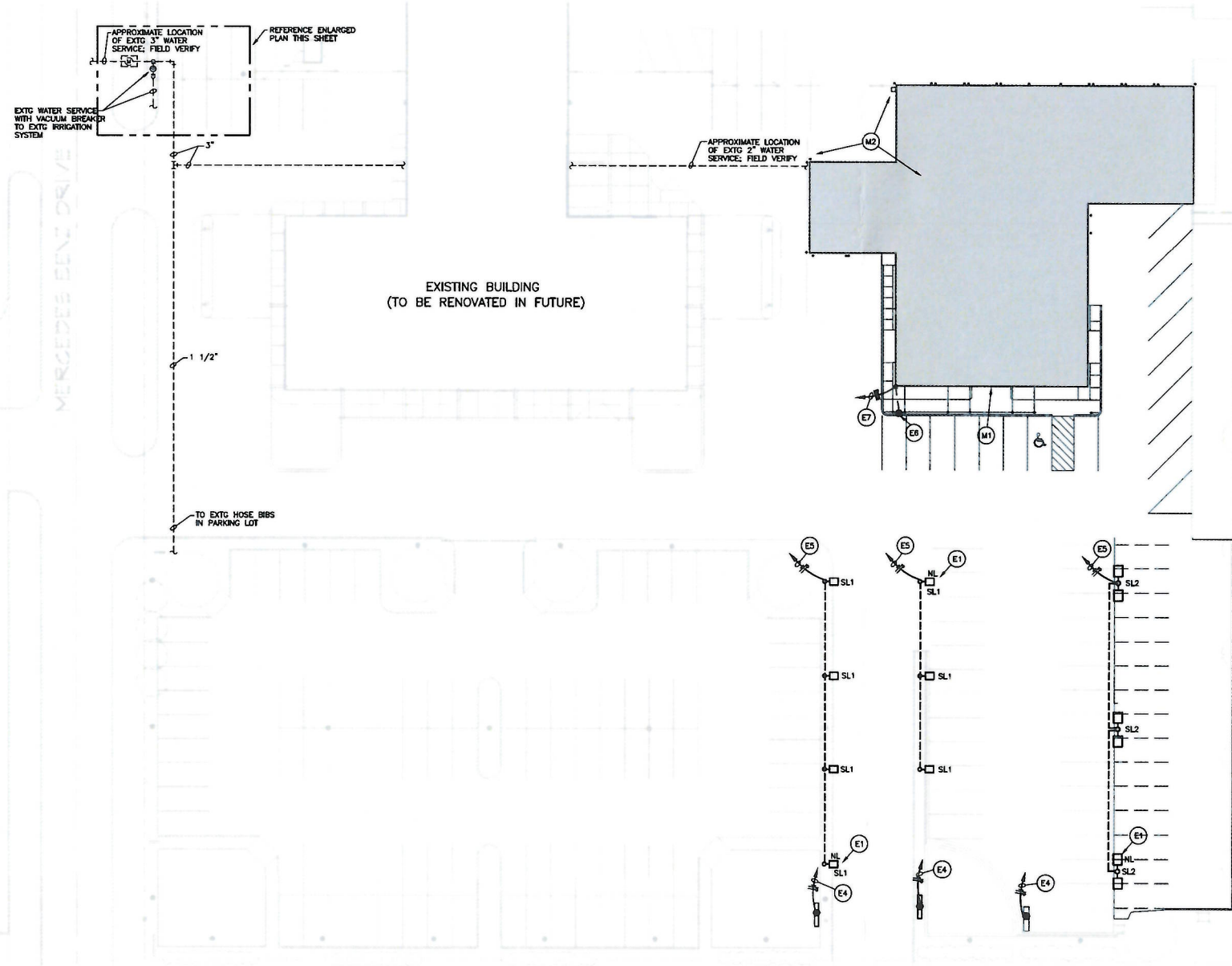
**OWNER:** Holmes Auto  
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Shreveport, LA 71105  
PHONE: 318-212-1200

**PROJECT:** Holmes Jaguar Land Rover & Holmes Volvo  
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Shreveport, Caddo Parish, LA 71105  
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C-3, 4.4 ACRES, FLOOD ZONE X

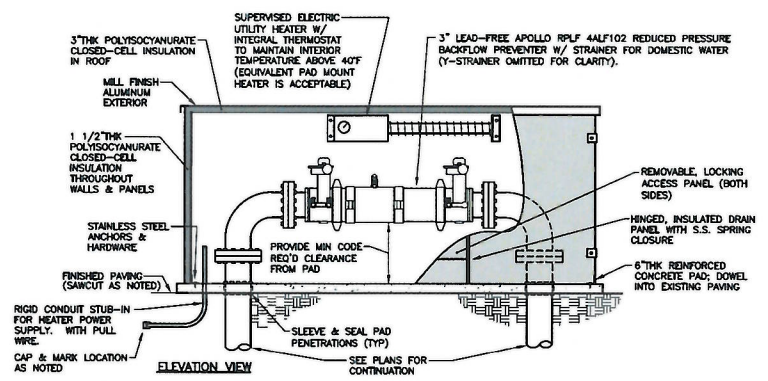
11 NOV. 2019

**A2.1**  
Floor Plan

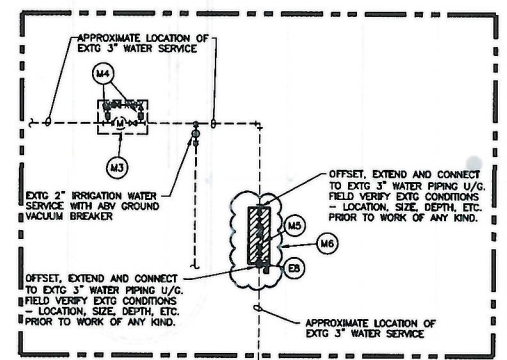
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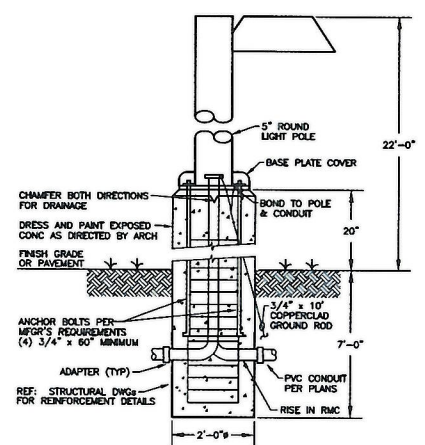
← **SITE PLAN - MECHANICAL AND ELECTRICAL**  
SCALE: 1"=20'



**DETAIL - FREEZEPROOF ENCLOSURE AND BACKFLOW PREVENTER**  
NO SCALE



← **PARTIAL SITE PLAN - MECHANICAL**  
SCALE: 1/8"=10'



**(A) DETAIL - LIGHT POLE BASE**  
NO SCALE  
NOTE: POLE BASE IS SHOWN FOR BID PURPOSES ONLY. ACTUAL BASE SHALL BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF LOUISIANA.  
NOTE: RUB EXPOSED CONCRETE TO REMOVE FINIS, FORM DEFECTS AND TO PROVIDE A SMOOTH FINISH. INSTALL GRAPHE FINISH SEALER TO ACHIEVE UNIFORM COLORATION.

- ELECTRICAL NOTES:**
- (E1) FIXTURE DESIGNATED 'NL' ARE NIGHT LIGHTS AND CONNECTED TO LIGHTING CONTACTOR.
  - (E2) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2014 NATIONAL ELECTRICAL CODE AND ALL LOCAL AND STATE SUPPLEMENTS.
  - (E3) CONTRACTOR SHALL COORDINATE LOCATIONS OF SITE LIGHTING POLES WITH ALL UNDERGROUND UTILITIES WITH GENERAL CONTRACTOR AND LOCAL UTILITY CO. PRIOR TO ROUGH-IN.
  - (E4) PROVIDE 3/10-1" TO 1P-20A BREAKER IN PANEL "LPO". PROVIDE (1) GATS IN 1" UNDERGROUND TO SIGN LOCATION. TERMINATE, TEST AND LABEL GATS IN MDF. VERIFY EXACT ELECTRICAL/DATA REQUIREMENTS WITH SIGN VENDOR PRIOR TO ROUGH-IN.
  - (E5) PROVIDE CONDUIT AND WIRING TO 1P-20A BREAKER IN PANEL "LPO".
  - (E6) RELOCATE EXISTING VOLVO EXTERIOR CHARGING STATION. VERIFY EXACT LOCATION IN FIELD WITH OWNER.
  - (E7) PROVIDE 2P-20A BREAKER IN PANEL "RP1". PROVIDE 3/12-3/4" TO RELOCATED CHARGING STATION.
  - (E8) PROVIDE 1" PVC CONDUIT WITH RIGID RISER AND PULL-WIRE FOR FUTURE POWER SUPPLY CONDUCTORS TO HEATER. CAP AND MARK LOCATION OF CONDUIT END.

**LIGHTING FIXTURE SCHEDULE - SITE**

MARK	TYPE	MANUFACTURER CATALOG NO.	LAMPS QTY & TYPE	DESCRIPTION	ALTERNATE MANUFACTURER
SL1	AREA LIGHT SINGLE	VISIONARE BLU814120LC104K UNVAMSLDS	LED 4000K	AUTOMOBILE FRONT ROW; 5\"/>	
SL2	AREA LIGHT 2Ø 180	VISIONARE BLU814120LC104K UNVAMSLDS	LED 4000K	TYPE 5; 5\"/>	

NOTE: PRIOR APPROVALS WILL NOT BE ACCEPTED WITHOUT A PHOTOMETRIC LAYOUT.

- MECHANICAL NOTES:**
- (M1) REFERENCE PLUMBING PLAN SHEET P1.1 FOR ROOF DRAIN LEADERS AT NEW ENTRY FEATURE.
  - (M2) EXISTING EXTERIOR SITE UTILITIES (NATURAL GAS, DOMESTIC WATER AND SANITARY SEWER) TO REMAIN; PROTECT DURING DEMOLITION AND NEW CONSTRUCTION. REFERENCE PLUMBING DEMOLITION PLAN, SHEET MD1.1, AND PLUMBING PLANS, SHEET P1.1 FOR REMOVAL OF EXISTING INTERIOR PIPING AND UTILITIES.
  - (M3) EXISTING WATER METER WITH 3\"/>

**EXECUTIVE DIRECTOR APPROVAL**

11-25-19 *DeCh*  
Date By

19-462-C



735 ROBINHOOD STREET  
SHREVEPORT, LA 71106  
PHONE: (518) 219-2295  
FAX: (518) 219-2296



**P+A**  
PLITTLE & ASSOCIATES  
CONSULTING ENGINEERS  
8441 Shreveport Blvd., Suite 300  
Shreveport, LA 71105  
318.488.4888 • Fax 318.222.8844  
p.a.a@p-a-a.com • www.p-a-a.com

HOLMES VOLVO  
1221 E Bert Kouns Industrial Loop  
Shreveport, Louisiana 71105

SITE PLAN - MECHANICAL AND ELECTRICAL

JOB NO. 1609

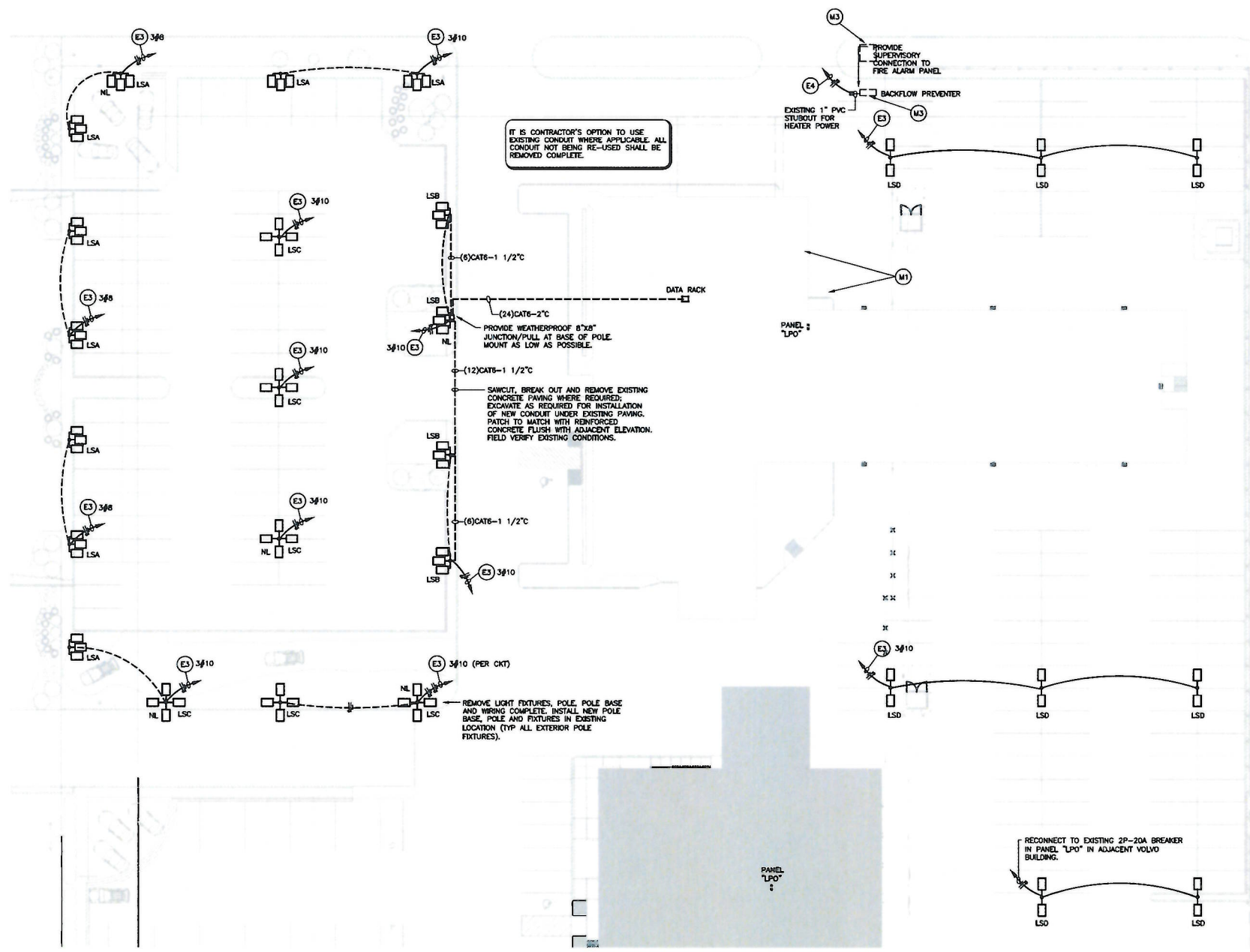
REVISIONS:

03 SEPT 2019

SHEET

**ME1.1**

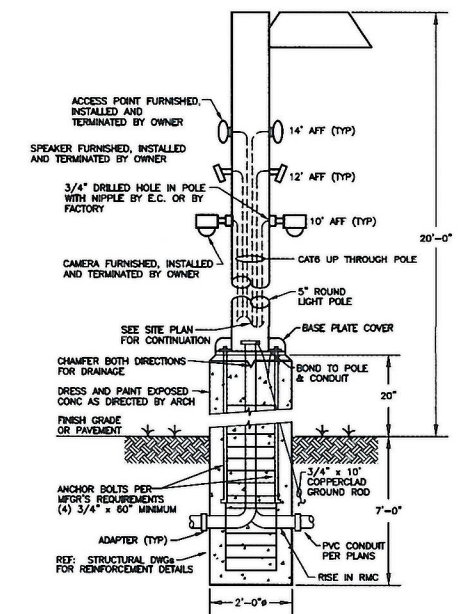
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**SITE PLAN – MECHANICAL AND ELECTRICAL**  
SCALE: 1"=20'

**EXECUTIVE  
DIRECTOR  
APPROVAL**

11-25-19 *[Signature]*  
Date By



**(A) DETAIL – LIGHT POLE BASE**  
NO SCALE

- ELECTRICAL NOTES:**
- (E1) FIXTURE DESIGNATED "NL" ARE CURRENTLY SHOWN AS NIGHT LIGHTS ON THE EXISTING PLANS. RECONNECT TO EXISTING LIGHTING CONTRACTOR.
  - (E2) ALL WORK SHALL BE IN ACCORDANCE WITH THE 2014 NATIONAL ELECTRICAL CODE AND ALL LOCAL AND STATE SUPPLEMENTS.
  - (E3) PROVIDE CONDUIT AND WIRING TO EXISTING 1P-20A BREAKER(S) IN PANEL "LPO".
  - (E4) PROVIDE CONDUIT AND WIRING TO EXISTING 1P-20A BREAKER IN PANEL "RPS". EXACT WATTAGE WAS NOT KNOWN AT DESIGN. PROVIDE 1P-30A BREAKER IF REQUIRED.

LIGHTING FIXTURE SCHEDULE – SITE				
MARK	TYPE	MANUFACTURER CATALOG NO.	LAMPS QTY & TYPE	DESCRIPTION
LSA	AREA LIGHT THREE	REGGIANI JLR721-O-HSS	LED 4000K	ROUND STEEL POLE-20'; 100MPH; RAL 7022; 277V
LSB	AREA LIGHT THREE	REGGIANI JLR721-O	LED 4000K	ROUND STEEL POLE-20'; 100MPH; RAL 7022; 277V
LSC	AREA LIGHT FOUR	REGGIANI JLR721-O	LED 4000K	ROUND STEEL POLE-20'; 100MPH; RAL 7022; 277V
LSD	AREA LIGHT TWO	REGGIANI JLR721-O	LED 4000K	ROUND STEEL POLE-20'; 100MPH; RAL 7022; 277V

- NOTES:**
1. FOR ALL REGGIANI LIGHTING, CONTACT MALA LAWRENCE AT MALA.L@REGGIANIUSA.COM.
  2. ALL LIGHT FIXTURES SHALL BE PRIOR APPROVED BY LAND ROVER/JAGUAR.

- MECHANICAL NOTES:**
- (M1) EXISTING EXTERIOR SITE UTILITIES (NATURAL GAS, DOMESTIC WATER AND SANITARY SEWER) TO REMAIN; PROTECT DURING DEMOLITION AND NEW CONSTRUCTION. REFERENCE PLUMBING DEMOLITION PLAN SHEET PD.1 AND PLUMBING PLANS SHEETS P1.1 AND P1.2 FOR REMOVAL OF EXISTING INTERIOR PIPING AND UTILITIES.
  - (M2) EXISTING WATER METER WITH 3" MAIN SHUT-OFF (GATE VALVE) AND FULL-SIZE BYPASS IN VAULT WITH 4"x6" STEEL COVER AND ACCESS DOOR. FIELD VERIFY EXISTING CONDITIONS. BYPASS REMOVED UNDER SEPARATE CONTRACT.
  - (M3) LEAD-FREE REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER IN ALUMINUM INSULATED HEATED ENCLOSURE PROVIDED UNDER SEPARATE CONTRACT. COORDINATE POWER SUPPLY AND MONITORING CONNECTION WITH ELECTRICAL CONTRACTOR ACCORDINGLY.



19-462-C