

LOCATOR MAP

# SWEETPORT

## 3301 LINE AVE.

### SHREVEPORT, LA 71104

**INDEX OF DRAWINGS**

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- A6.01 INTERIOR ELEVATIONS
- A7.01 FIRST FLOOR REFLECTED CEILING PLAN

**CODES ENFORCED:**

- 2015 NATIONAL FIRE PROTECT ASSOCIATION (NFPA 101)
- 2015 INTERNATIONAL BUILDING CODE (IBC)
- 2012 INTERNATIONAL MECHANICAL CODE (IMC)
- 2014 NEC
- 2010 (STANDARD) AMERICANS WITH DISABILITIES ACT AND ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES
- 2012 INTERNATIONAL PLUMBING CODE (IPC)
- 2012 INTERNATIONAL ENERGY CONSERVATION

**CODE INFORMATION:**

- BUILDING CONSTRUCTION TYPE: NFPA TYPE II (0,0,0) - NON-SPRINKLERED
- IBC TYPE IIB - NON-SPRINKLERED

SCOPE OF WORK:  
 RENOVATE EXISTING BUILDING FOR NEW ICE CREAM SHOP

OCCUPANCY TYPE: ASSEMBLY - A2

- NFPA 2012 - MERCANTILE
- DINING = 15 SF PER PERSON
- SERVING AREA = 100 SF PER PERSON
- WORKROOM = 100 SF PER PERSON

TOTAL OCCUPANT LOAD:

- DINING - 569 SF = 38 MAX.
- SERVING AREA - 72 SF = 1 MAX.
- KITCHEN - 255 SF = 2 MAX.
- TOTAL = 41 OCCUPANTS

GROSS BUILDING AREA: 1,200 SF

BUILDING USE: RESTAURANT

MAX. TRAVEL DISTANCE REQUIRED: 200' MAX.

COMMON PATH REQUIRED: 75' MAX.

DEAD END CORRIDOR: 20' MAX.

**LEGEND**

- WALL MOUNTED FIRE EXTINGUISHER
- EMERGENCY FLOOD LIGHTS ON ILLUMINATED DIECAST EXIT SIGNAGE (CEILING MOUNT)
- EMERGENCY FLOOD LIGHTS
- EMERGENCY EXIT SIGNAGE
- DIRECTIONAL EMERGENCY EXIT SIGNAGE
- NUMBER OF OCCUPANTS EXITING THE BUILDING
- EXISTING FIXTURE
- NEW FIXTURE
- FIRE ALARM
- NO FIRE ALARM REQUIRED

**PROFESSIONALS OF RECORD:**

**ARCHITECT**

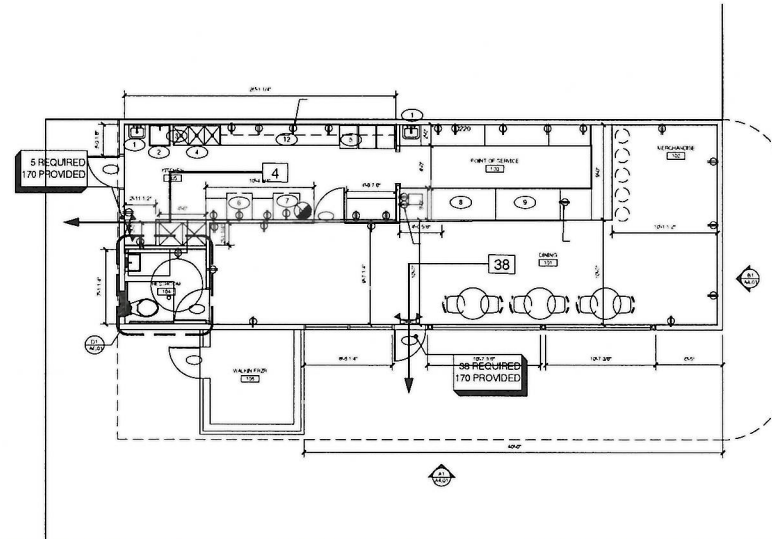
NAME: JEFF SPIKES  
 LICENSE NO.: 6505  
 PHONE NO.: 318.828.1637

**CONTRACTOR NOTES**

- A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL PRIOR TO SUBMITTING A BID. REPORT ANY DISCREPANCIES TO ARCHITECT OR ENGINEER PRIOR TO BID.
- B. BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK. THE SUBMISSION OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIALS REQUIRED, OR FOR ANY DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION BEEN MADE, WILL NOT BE ALLOWED.
- C. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT AND OWNER OF ANY DISCREPANCIES ENCOUNTERED ON THE PLANS OR IN EXISTING SITE CONDITIONS PRIOR TO SUBMISSION OF BID.
- D. CONTRACTOR, DURING PRE-BID SITE VISIT, SHALL TAKE NOTICE OF ANY VISUALLY APPARENT CODE VIOLATIONS AND ALLOW IN HIS/HER BID FOR CORRECTING SUCH VIOLATIONS.
- E. CONTRACTORS ARE CAUTIONED TO COORDINATE ITEMS IN THEIR SCOPE OF WORK WITH OTHER TRADES.
- F. ALL CONSTRUCTION TO COMPLY WITH LOCAL AND STATE CODES AND STANDARDS.
- G. CONTRACTOR TO PROVIDE LOW LEVEL EXIT SIGNAGE WITH BRAILLE AT ALL REQUIRED EXITS.
- H. CONTRACTOR IS VERIFY EXISTING BACKFLOW PREVENTER IS PRESENT AND WORKING.
- I. PROVIDE NEW OR REPAIR AS NEEDED.
- J. THESE NOTES APPLY TO ALL SHEETS.

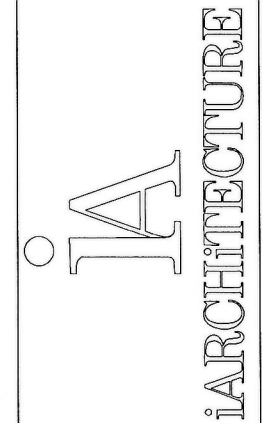
EXECUTIVE  
 DIRECTOR  
 APPROVAL

11/01/19 *Ar CME*  
 Date By



- EQUIPMENT NOTES**
- 1 HAND WASH
  - 2 ICE CR. BIN
  - 3 UNDER COON
  - 4 THREE COMP
  - 5 BAKERS RACK
  - 6 REFRIG. CAB
  - 7 ELECTRIC OVI
  - 8 REFRIG. CAB
  - 9 REFRIG. CAB
  - 10 WALL MOUNT
  - 11 ADA COMPL
  - 12 SHREVEPORT

- NEW REPAIR**
- NEW 220 RECI



SWEETPORT  
 3301 LINE AVENUE  
 SHREVEPORT LA



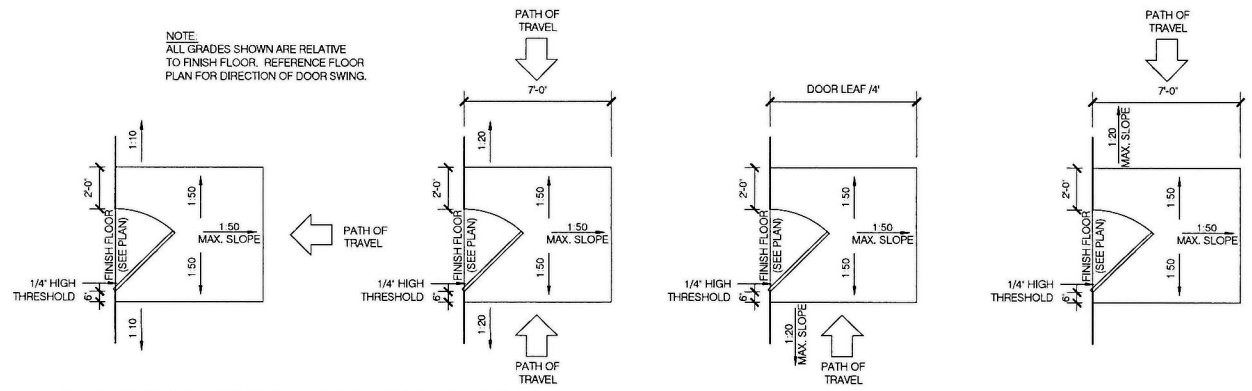
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COVER SHEET

REVISIONS	PROJECT NO.
NO. DATE	IA 1918
	SHEET
	A0.00

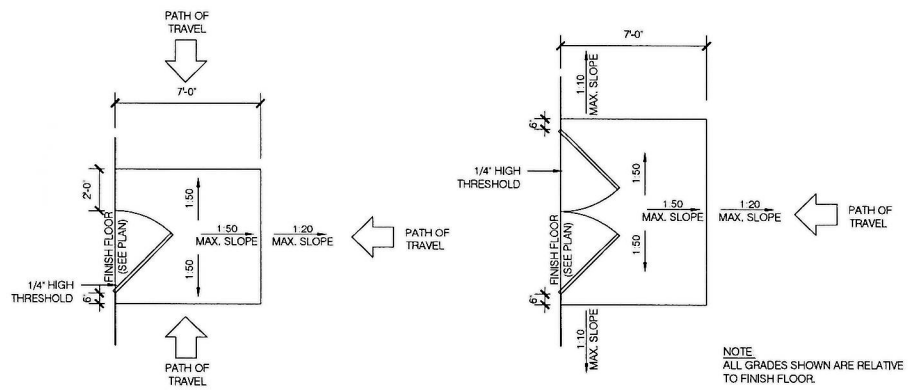
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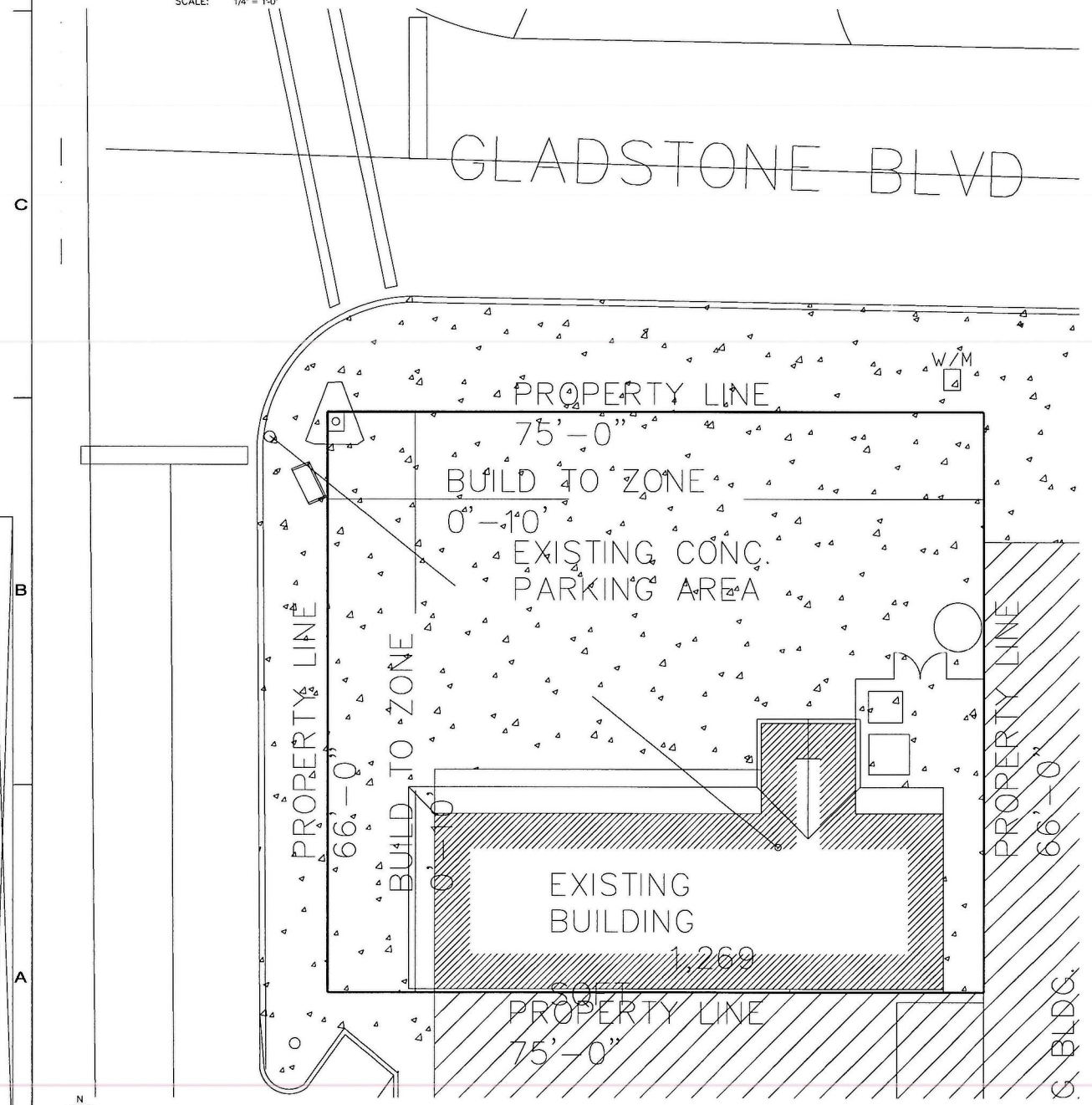


D1 TYPICAL GRADING AT PEDESTRIAN DOOR

SCALE: 1/4" = 1'-0"



GLADSTONE BLVD

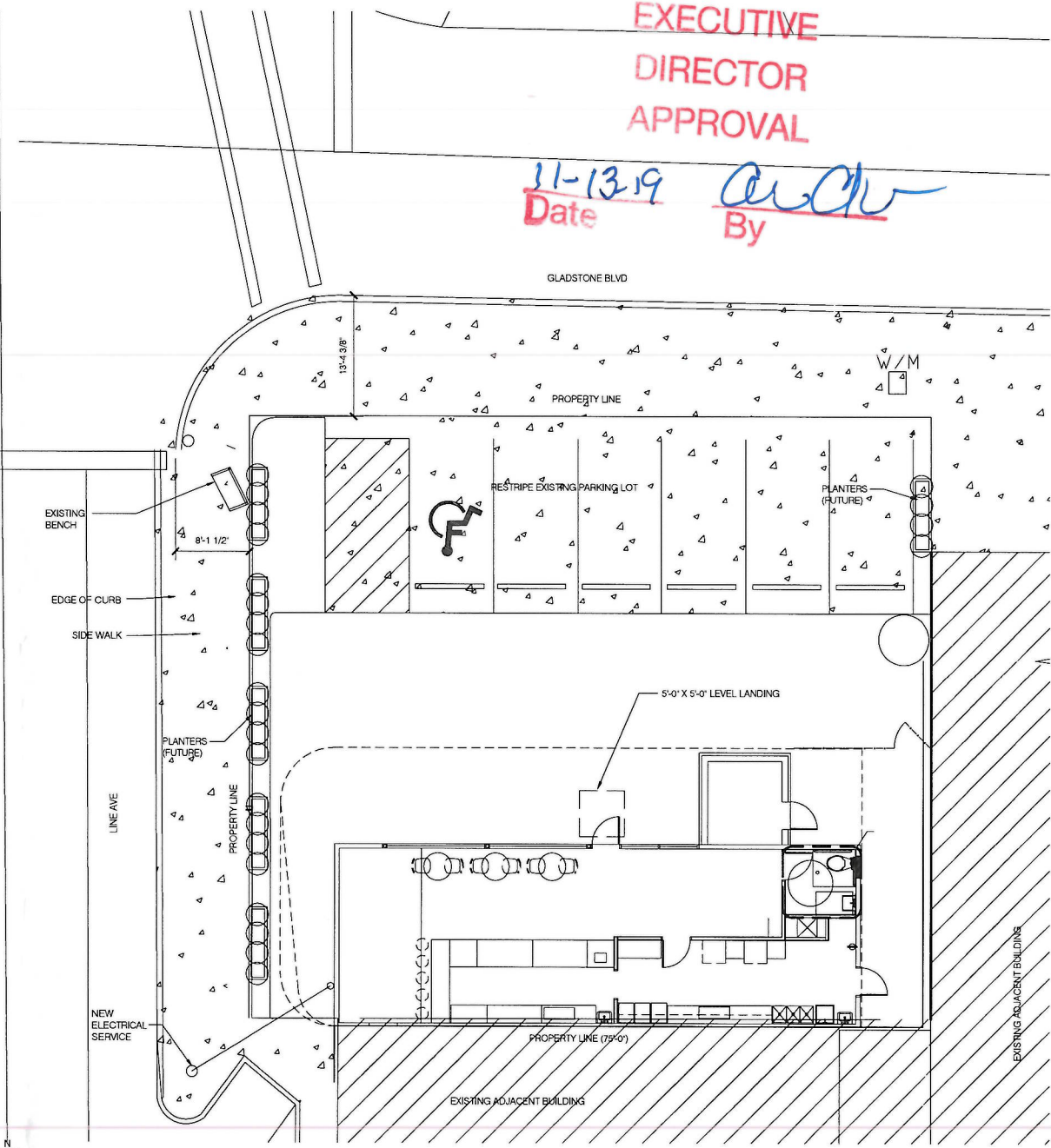


A1 DEMO SITE PLAN

SCALE: 1/8" = 1'-0"

EXECUTIVE DIRECTOR APPROVAL

11-13-19 Date By *[Signature]*



A4 NEW SITE PLAN

SCALE: 1/8" = 1'-0"

IA ARCHITECTURE

SWEETPORT  
3301 LINE AVENUE  
SHREVEPORT LA

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CONSTRUCTION

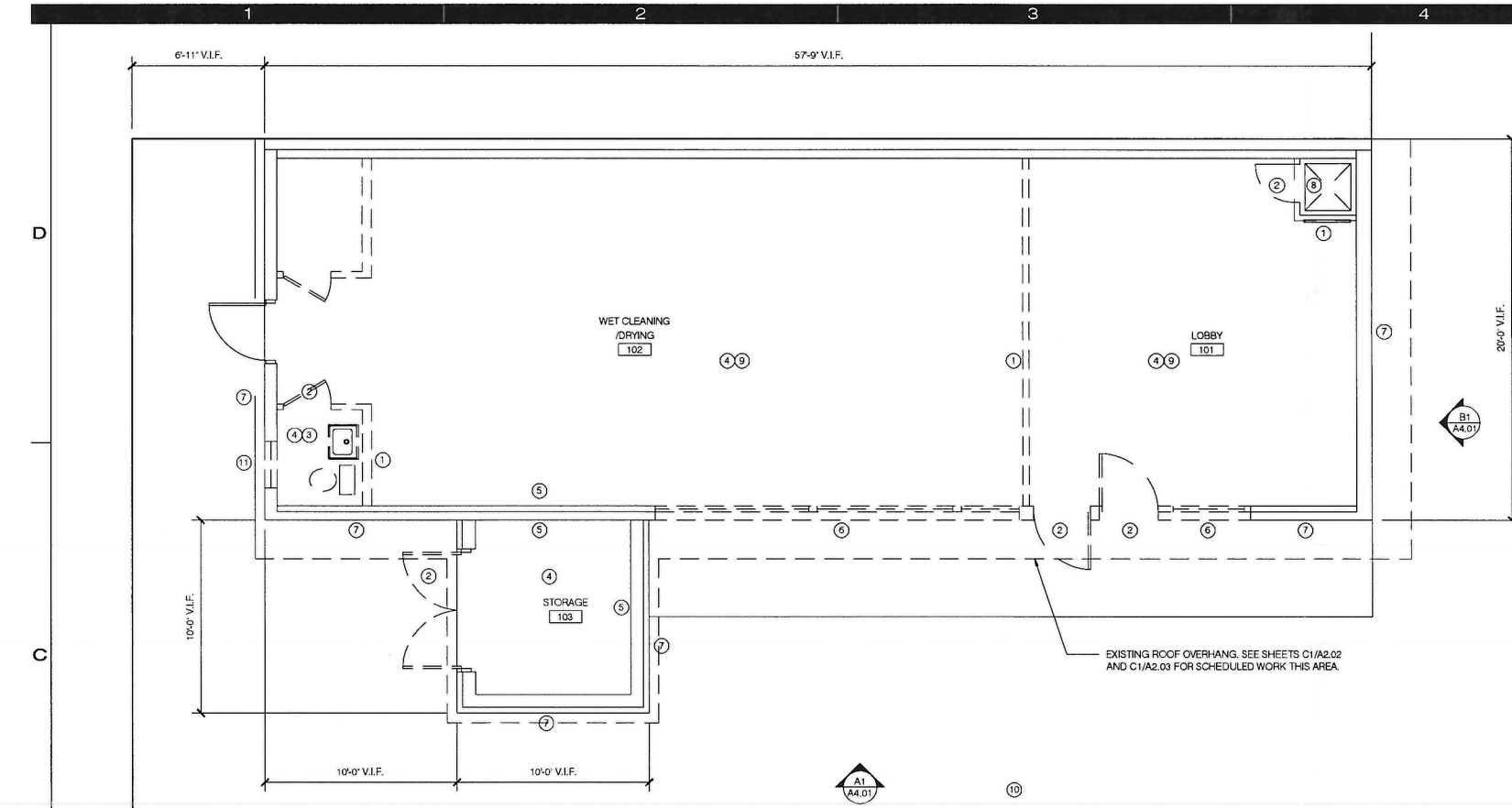
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SITE PLAN

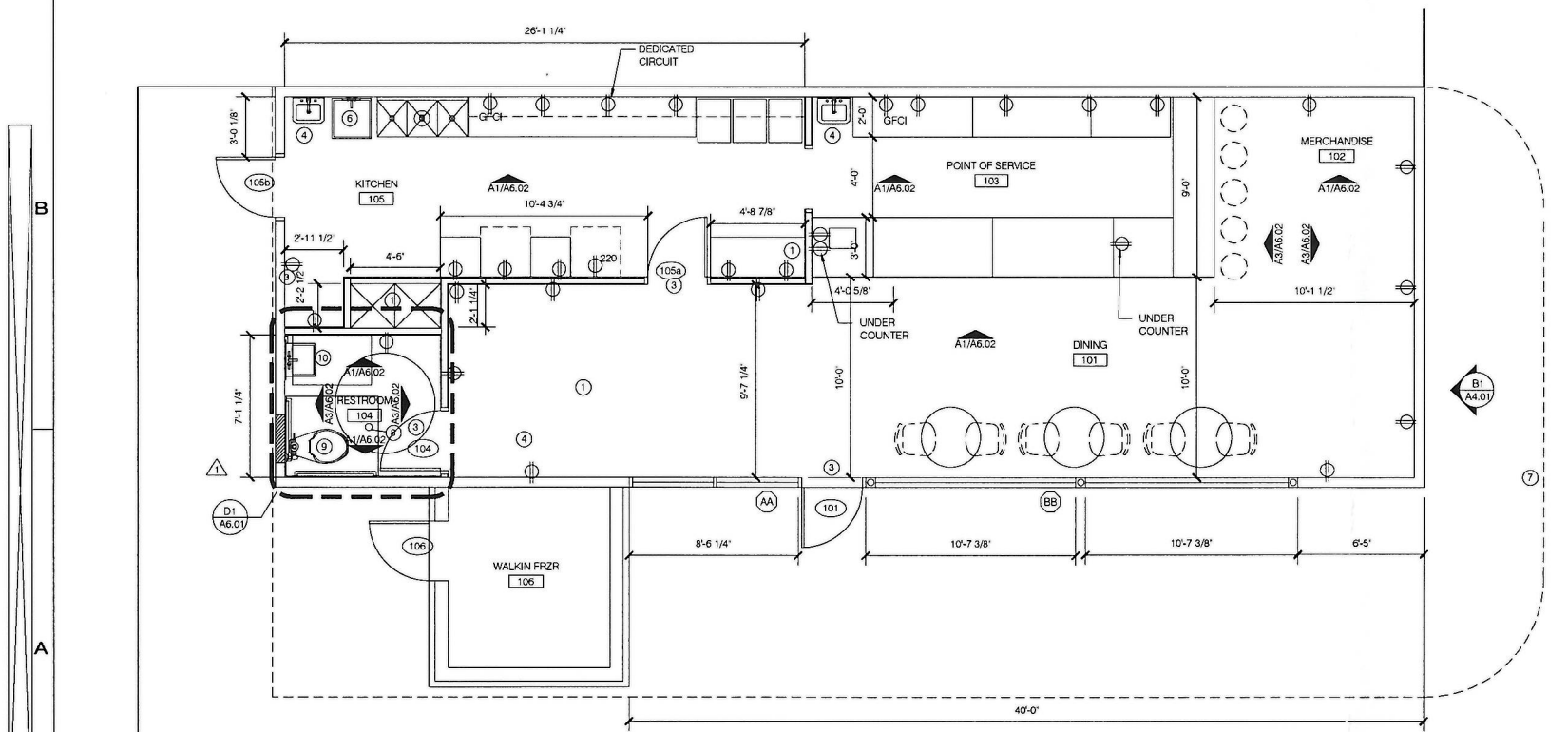
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	SHEET
	A1.02

DATE 09/16/19

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**C1 EXISTING FLOOR PLAN - DEMO**  
SCALE: 1/4" = 1'-0"



**A1 NEW WORK FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**DEMO PLAN KEY NOTES:**

- ① REMOVE EXISTING WALL IN ITS ENTIRETY. COORDINATE WITH LICENSED ELECTRICIAN/PLUMBER TO CAP ALL PLUMBING LINES OR RELOCATE ELECTRICAL WIRES AND OUTLETS AS NEEDED. LICENSED ELECTRICIAN IN THE STATE OF LOUISIANA TO VERIFY ALL ELECTRICAL PANELS AND WIRING IS UP TO CODE. CONFIRM WITH GC BEFORE WALLS ARE REMOVED OR NEW WORK IS STARTED. PREP FLOORING TO RECEIVE NEW WORK AS SCHEDULED.
- ② REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. DO NOT SALVAGE FOR REUSE. PREP AREA TO RECEIVE NEW WORK AS SCHEDULED.
- ③ REMOVE ALL PLUMBING FIXTURE AS SHOWN. DO NOT SALVAGE FOR REUSE. CAP REMAINING PLUMBING AS REQUIRED. PREP AREA TO RECEIVE NEW WORK AS SCHEDULED.
- ④ COORDINATE WITH NEW WORK FLOOR PLAN SHEET A2.01 AND PREP EXISTING FLOORING TO RECEIVE NEW WALL PARTITION. ALL ELECTRICAL WORK TO BE DONE BY LICENSED ELECTRICIAN IN THE STATE OF TEXAS.
- ⑤ REMOVE EXISTING WALL FINISH AS NEEDED. COORDINATE WITH LICENSED ELECTRICIAN/PLUMBER TO ROUTE ALL EXISTING ELECTRICAL LINES/OUTLETS AND NEW PLUMBING LINES FOR NEW SCHEDULED ADA H-LO WATER FOUNTAIN. SEE SHEET P1.01 FOR PLUMBING NOTES. MATCH NEW WALL FINISH WITH EXISTING PAINT, TEXTURE AND BASE.
- ⑥ REMOVE EXISTING WINDOWS IN THEIR ENTIRETY. DO NOT SALVAGE FOR REUSE. REMOVE LOWER BRICK HALF WALLS AS NEEDED FOR NEW SCHEDULED WINDOWS. SALVAGE BRICK FOR POSSIBLE RE-USE.
- ⑦ CLEAN AND REMOVE ALL DIRT, DEBRIS AND SIGNAGE FROM EXISTING EXTERIOR WALLS. PREP TO RECEIVE NEW WORK AS SCHEDULED.
- ⑧ REMOVE ALL EXISTING HVAC EQUIPMENT OR CLOSET CONTENTS IN ITS ENTIRETY. DO NOT SALVAGE FOR REUSE. COORDINATE WITH LICENSED ELECTRICIAN/PLUMBER AND HVAC INSTALLER TO CAP ALL PLUMBING LINES. RELOCATE ELECTRICAL WIRES AND OUTLETS OR HVAC EQUIPMENT AS NEEDED. PREP FLOORING TO RECEIVE NEW WORK AS SCHEDULED.
- ⑨ REMOVE AND DISPOSE OF ALL EXISTING EQUIPMENT, FURNITURE AND MISC. ITEMS AND CASEWORK. DO NOT SALVAGE FOR REUSE.
- ⑩ REMOVE AND DISPOSE OF ALL EXISTING LOOSE DEBRIS AND WOOD FENCE LOCATED IN THE PARKING LOT AND AT SIDE ENTRY. DO NOT SALVAGE FOR REUSE. EXISTING SIGNAGE TO BE STRIPPED OF ALL EXISTING ALUMINUM CLADDING AND REPLACED WITH NEW ALUMINUM CLADDING (COLOR TO BE SELECTED BY OWNER) TO MATCH EXISTING SIGNAGE SHARP AND PROFILE. REINSTALL SIGNAGE BY CORNER AT EXISTING CONCRETE BASE.
- ⑪ REMOVE ALL EXISTING PLYWOOD AT EXISTING DOOR/WINDOW. PREP TO RECEIVE NEW WORK AS SCHEDULED.

**GENERAL DEMOLITION NOTES**

1. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
2. COORDINATE EXTENT OF DEMOLITION WITH REQUIREMENTS OF NEW WORK.
3. ALL DEMO, CONSTRUCTION, AND DISPOSAL TO COMPLY WITH LOCAL AND STATE CODES AND STANDARDS.
4. DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONAL DATA PRIOR TO CONSTRUCTION. REPORT ANY VARIATION OR OMISSION TO ARCHITECT IMMEDIATELY FOR CLARITY.
5. PATCH ALL DEMO WORK TO MATCH ADJACENT WORK. ALL DEMO PORTIONS SHALL BE RETURNED TO ACCEPTABLE STATE.
6. COORDINATE ALL FURNITURE RELOCATION/STORAGE/PROTECTION WITH OWNER PRIOR TO ANY DEMOLITION WORK.

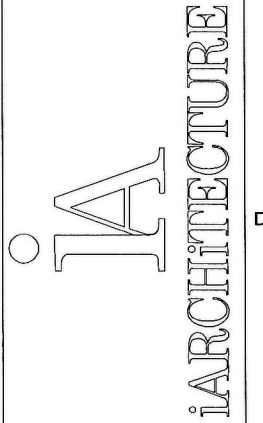
LEGEND	
EXISTING WALL	
NEW WALL	
FIRE RATED WALL	
DUPLEX RECEPTACLE	
DUPLEX RECEPTACLE W/ EMERGENCY POWER	
RECEPT. ABOVE COUNTER (GFI)	
RECEPT. ABOVE COUNTER (GFI) W/ EMERGENCY POWER	
RECEPT. BELOW COUNTER (GFI) W/ EMERGENCY POWER	
GROUND FAULT RECEPT.	
3-PRONG GROUNDING PLUG (GC TO COORDINATE W/ OWNER PROVIDED WASHER)	

**NEW WORK PLAN KEY NOTES:**

- ① NEW WALL. PREP EXISTING FLOORING/CEILING TO RECEIVE NEW WORK AS SCHEDULED. SEE FINISH SCHEDULE FOR FINISHES.
- ② NEW PLUMBING FIXTURE. MOUNT SINK AS SHOWN IN RECOMMENDED MOUNTING HEIGHTS ON SHEET A0.02. COORDINATE WITH LICENSED ELECTRICIAN/PLUMBER IN THE STATE OF LOUISIANA TO ADJUST PLUMBING LINES OR RELOCATE ELECTRICAL WIRES AND OUTLETS AS NEEDED FOR NEW PLUMBING LINES IN WALLS. ALL PLUMBING TO BE PERFORMED BY A LICENSE PLUMBER REGISTERED IN THE STATE OF LOUISIANA.
- ③ NEW DOORS/WINDOWS (SEE DOOR/WINDOW SCHEDULE SHEET A3.01).
- ④ NEW WALL MOUNT HANDWASH SINK.
- ⑤ NEW 3-COMPARTMENT SINK (WITH UNDERCOUNTER GREASE INTERCEPTOR)
- ⑥ NEW MCP SINK
- ⑦ NEW ROOF LINE ABOVE (REFER TO ROOF PLAN A1/A2.02)
- ⑧ NEW FLOOR DRAIN
- ⑨ NEW TOILET
- ⑩ NEW WALL MOUNT SINK (INSULATE P-TRAP, PROVIDE ADA COMPLIANT FAUCET CONTROLS)

**EXECUTIVE DIRECTOR APPROVAL**

11-13-19 Date By *anck*



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DEMOLITION AND NEW WORK FLOOR PLANS

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1 9/03/19	SHEET
	<b>A2.01</b>

DATE 09/16/19

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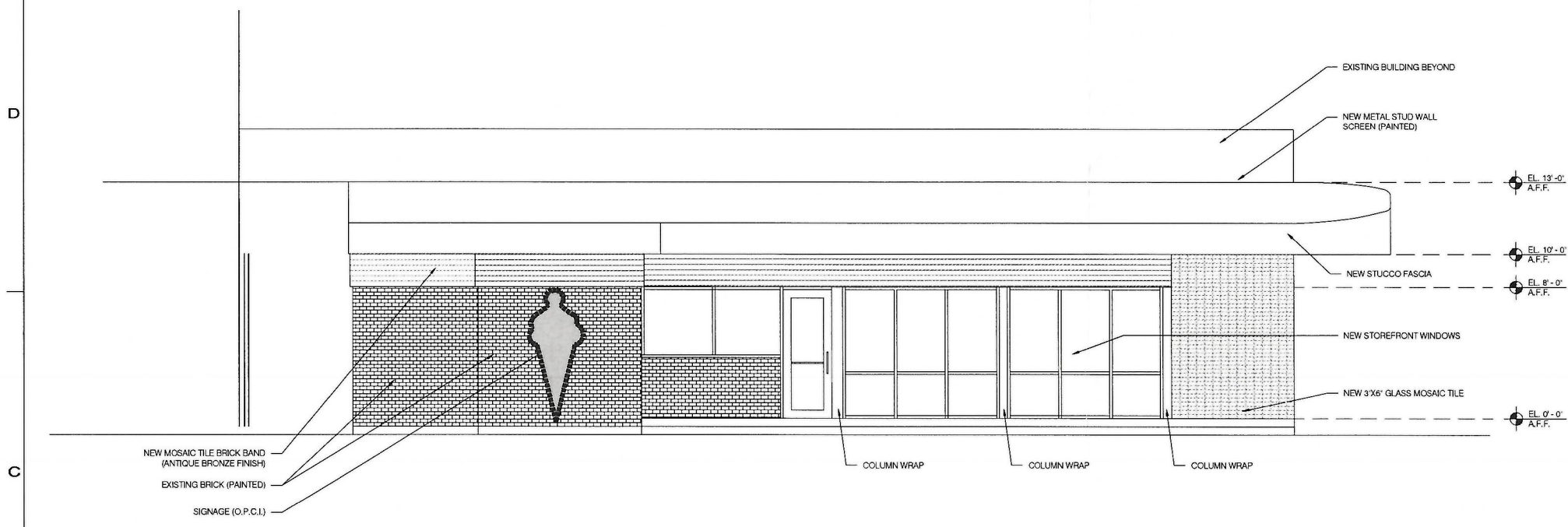
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NEW WORK  
EXTERIOR  
ELEVATIONS

REVISIONS	PROJECT NO.
NO. DATE	IA 1918
	SHEET
	A4.01

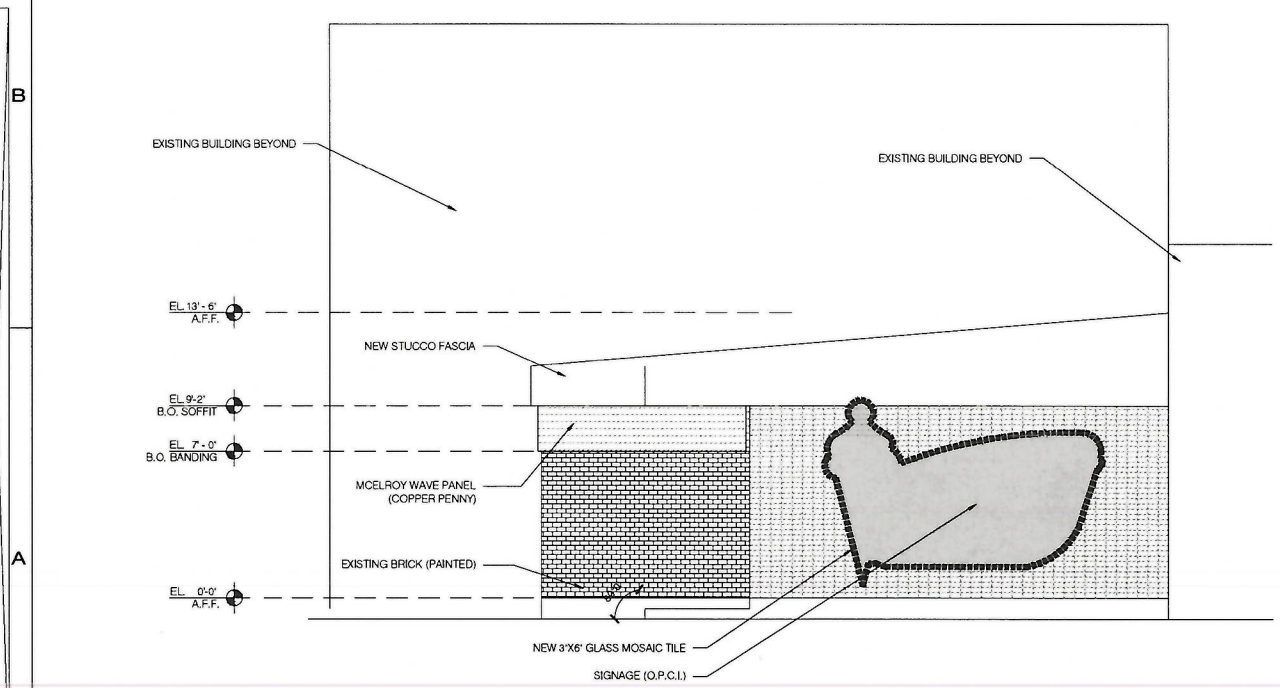
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C1 SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

EXECUTIVE  
DIRECTOR  
APPROVAL  
11-18-19 Date By *ae ch*



A1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"





EXECUTIVE  
DIRECTOR  
APPROVAL

11-13-19  
Date By *AC*

19-460-C