

LAYOUT NOTES

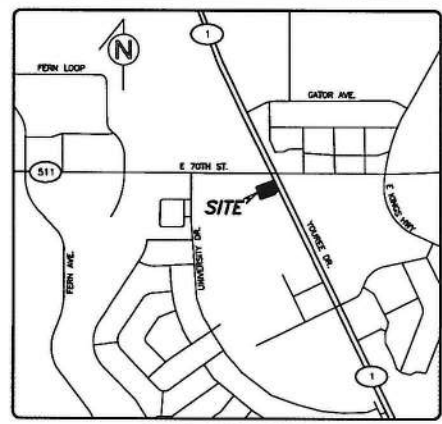
- | | | |
|---|---|---|
| 1 PAINTED TRAFFIC ARROW | 14 CONTRACTION JOINT (SEE SHEET C-8) | 28 NOT USED |
| 2 DRIVE THRU STRIPING (NOT USED) | 15 CONSTRUCTION JOINT (SEE SHEET C-8) | 29 EX. BOLLARD |
| 3 STOP BAR (NOT USED) | 16 GREASE TRAP | 30 EX. TRAFFIC ARROW |
| 4 HANDICAP SYMBOL (NOT USED) | 17 EX. POLE MOUNTED TRANSFORMER | 31 EX. STRIPING |
| 5 PARKING STALLS / 4" PAINTED STRIPE (WHITE - 2 COATS) | 18 EX. DUMPSTER / STORAGE AREA W/ MASONRY SCREENING | 32 MATCH EX. CONCRETE/ASPHALT PAVEMENT |
| 6 DIRECTIONAL SIGNAGE (NOT USED) | 19 EX. PYLON SIGN | 33 EX. PAINTED STRIPE |
| 7 INTEGRAL CONCRETE CURB | 20 RADIUS PROTECTION | 34 EX. DIRECTIONAL SIGNAGE |
| 8 CURBED RAMP "A" - FLARED SIDES "B" - SHORT FLARED SIDES | 21 MATCH LOCATION & ELEVATION OF EX. CONCRETE CURB | 35 EX. LIGHT POLE |
| 9 TYPICAL SIDEWALK DETAIL | 22 MATCH EX. CONCRETE SIDEWALK | 36 EX. TREE/CRAPE MYRTLE/BUSHES TO REMAIN |
| 10 SIDEWALK ADJACENT TO CURB | 23 EX. STOP BAR | 37 MATCH EX. STRIPING |
| 11 STRIPING | 24 GAS METER LOCATION | 38 EX. ENTER & EXIT SIGN |
| 12 CONCRETE PAVEMENT | 25 ADJUST EX. LANDSCAPING & IRRIGATION | 39 EX. FIRE HYDRANT |
| 13 EX. MENU BOARD ORDERING STATION & CANOPY | 26 PIPE BOLLARD | 40 EX. INLET TO REMAIN |
| | 27 EX. FLAG POLE LOCATION | 41 EX. DRIVE THRU STRIPING |

~ BOUNDARY CURVE DATA TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	80.00'	03°12'05"	4.47'	N 27°04'19" W	4.47'

NOTES

- ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHICK-FIL-A SPECIFICATIONS AND/OR CITY STANDARD SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
- ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGUN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
- IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- ALL RADI ARE 2' UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE STRIPED IN ACCORDANCE W/APPLICABLE GOVERNING AUTHORITIES.



VICINITY MAP
NTS

PURPOSE STATEMENT

THIS REVISED SITE PLAN WILL EXPAND THE EXISTING BUILDING (333 S.F.), ELIMINATE 9 PARKING SPACES & ADD A MULT-LANE DRIVE THROUGH TO INCREASE THE SPEED OF SERVICE FOR CUSTOMERS.

SITE DATA

ZONING:	C-3
LOT AREA:	0.83 ACRES (36,154 S.F.)
PROPOSED USE:	DINE IN W/ DRIVE THRU RESTAURANT
EX. BUILDING AREA:	4,211 S.F.
BUILDING EXPANSION AREA:	288 S.F.
TOTAL BUILDING AREA:	4,499 S.F.
F.A.R.:	0.124:1
PARKING REQUIRED:	1 SPACE FOR EVERY 300 S.F. OF AREA 4,499/300 = 15
PARKING PROVIDED:	33 SPACES (2 H.C.)
BUILDING HEIGHT:	25'-6" (1 STORY)
EXISTING LANDSCAPE AREA:	3,279 S.F. (9.07%)
PROPOSED LANDSCAPE AREA:	2,786 S.F. (7.71%)
PROPOSED IMPERVIOUS AREA:	33,368 S.F. (92.28%)

LEGEND

- ⊙ F.H. FIRE HYDRANT
- ⊙ CHISELED "X" SET
- ⊙ CHISELED "X" FOUND
- ⊙ I.R. IRON ROD FOUND (SIZE AS NOTED)
- ⊙ I.R.S. IRON ROD SET (SIZE AS NOTED)
- ⊙ O.U. OVERHEAD UTILITY POLE W/ GUY
- ⊙ U.E. UNDERGROUND ELECTRIC OR TELEPHONE
- ⊙ S.S. SANITARY SEWER MANHOLE
- ⊙ S.C. SAN. SWR. CLEAN OUT
- ⊙ G.V. GAS VALVE
- ⊙ W.V. WATER VALVE
- ⊙ T. TREE
- ⊙ M. MANHOLE (TYPE AS NOTED)
- ⊙ T.S. TRAFFIC SIGNAL BOX
- ⊙ T.B. TRANS. ELECTRIC TRANSFORMER BOX
- ⊙ T.E. TOWER ELECTRIC TRANSMISSION STEEL TOWER
- ⊙ C.M. UNDERGROUND CABLE MARKER
- ⊙ C.R. CRAPE MYRTLE
- ⊙ B.C. BALD CYPRESS
- ⊙ L.O. LIVE OAK
- ⊙ EX. FIRE LANE
- LS LANDSCAPE

YOUREE DRIVE
(200' RIGHT-OF-WAY)

EXECUTIVE
DIRECTOR
APPROVAL

9-19-19
Date By

OWNER:
SHREVE CENTER DE, L.L.C.
211 N. STADIUM BLVD., SUITE 201
COLUMBIA, MISSOURI 65203

APPLICANT:
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
PHONE: (404) 765-8000
CONTACT: PATRICK THOMPSON
EMAIL: PATRICK.THOMPSON@CFACORP.COM

ENGINEER:
BURGER ENGINEERING, LLC
LOUISIANA REGISTERED ENGINEERING FIRM NO. 4970
17103 PRESTON ROAD, SUITE 180N
DALLAS, TEXAS 75248
PHONE: (972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.
EMAIL: BBURGER@BURGERENGINEERING.COM

MPC EXECUTIVE DIRECTOR DATE



BURGER ENGINEERING
Civil Consultants

17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
LPELSB NO. 4970



Revisions:
Mark Date By

7010 YOUREE DRIVE
LOT 6
UNIVERSITY COMMERCIAL PLAZA
CITY OF SHREVEPORT
CADDO PARISH, LOUISIANA

STORE
SERIES
S97-138
MODIFIED

SHEET TITLE
SITE PLAN

For Permit
For Bid
For Construction

Job No. : 013-260
Store : 01434
Date : 03/20/19
Drawn By : RMP
Checked By : BMB

Sheet
C-3

19-382-C

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

DEMOLITION NOTES

- Provide demolition, salvage and protection of existing structures, surfaces and trees as shown on the drawings.
- Before submitting proposal, visit and examine site to determine actual nature and scope of demolition and salvage work. Claims for extra compensation on account of additional labor materials or equipment required for difficulties encountered in demolition and salvage will not be recognized.
- Prior to demo, disconnect and cap off utilities and service lines not required for new construction in accordance with requirements of governing authorities ordinances and regulations.
- Erect necessary barricades, staking and protective measures as required.
- Materials and debris resulting from demolition operations become the property of the Contractor. Please remove from site.
- Remove pavements, and structures to the depths of their sub-structure.
- Leave construction area clean and ready to use by other trades.
- Remove pavement sub-base to the depth of the base materials.
- Do not remove or damage trees unless noted to be removed. All tree protection devices shall be in place prior to demolition activities. Any demolition activities required within the dripline of trees to be saved shall be carefully removed by hand labor. Report any tree damage to the Landscape Architect.
- Prior to beginning demolition, Contractor shall provide coverings for existing site elements remaining to prevent damage. Any site elements scheduled to remain which are damaged by the Contractor's activities shall be repaired at the Contractor's expense.
- Provide demolition of existing site items as shown on the drawings. Completely remove items to 8" below grade and haul away all refuse.

LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of existing irrigation utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

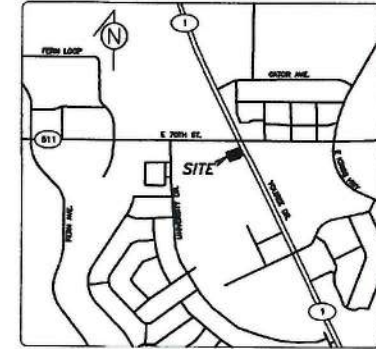
IRRIGATION REPAIR SPECIFICATIONS

- Contractor shall perform site visit prior to bidding and construction, to review extent of existing irrigation system.
- Contractor shall be responsible for verifying conditions of existing irrigation system. Contractor shall be responsible for maintaining the integrity of existing irrigation where possible, and if not, repair as needed, including but not limited to irrigation controller, motor, steering, etc.

LAWN REPAIR NOTES

- All lawn areas damaged during construction to be repaired with solid sod and raked free of debris.
- Adjust damaged areas to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All areas to be repaired must be planted by hand to cover area completely. Insure edges of sod are touching. Top dress joints by hand with compost to fill voids.
- Roll repaired areas to achieve a smooth, even surface, free from unnatural undulations.

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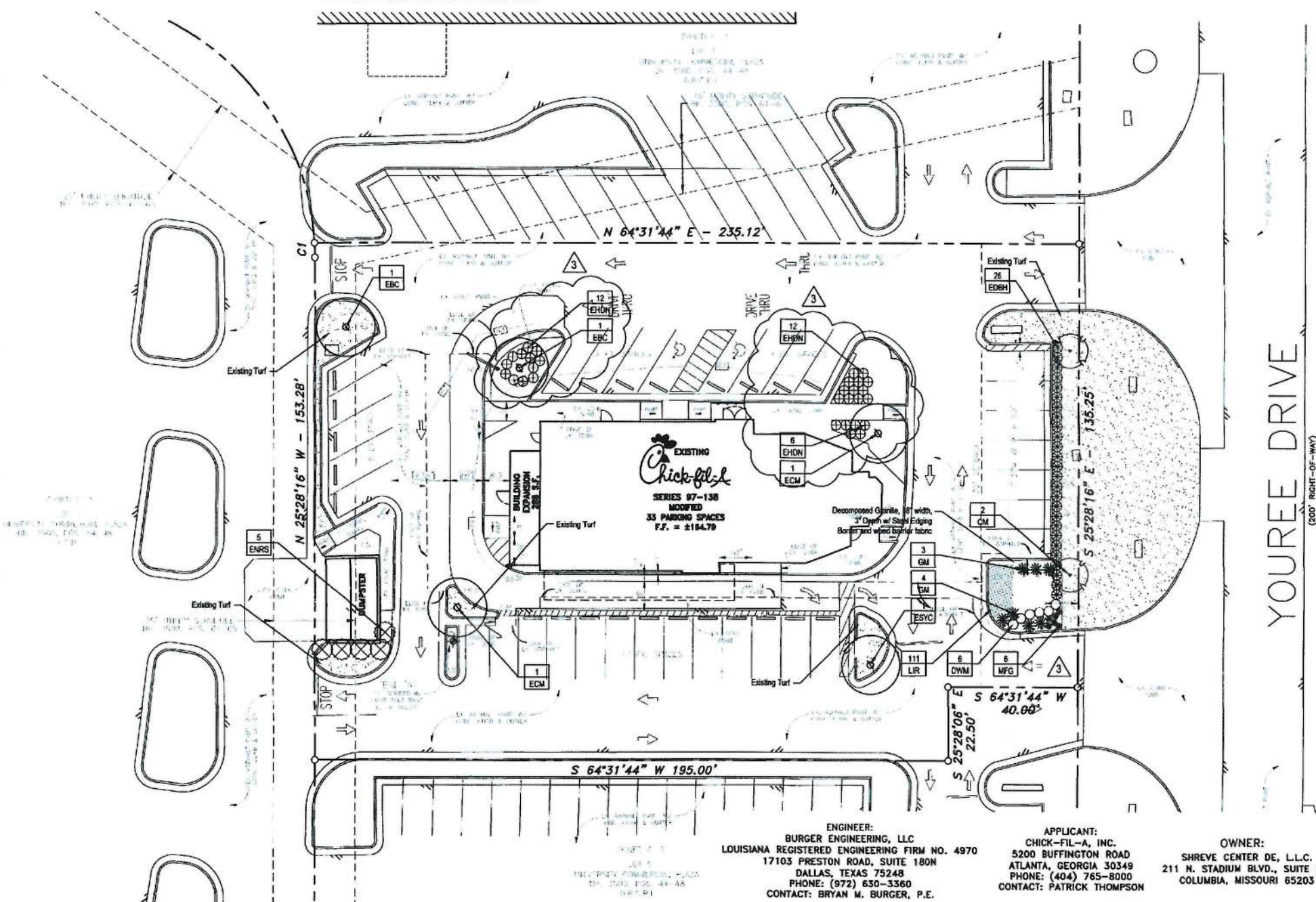
PROPOSED PLANT LIST

TREES	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	2	CM	Capo Myrtle	<i>Lagerstroemia indica 'Natchez'</i>	8" ht. min.	B&B, 3-5 cans, no cross caning, tree form
SHRUBS						
	6	DWM	Dwarf Wax Myrtle	<i>Myrica cerifera var. pumila</i>	3 gal.	container grown, full plant specimen, 36" o.c.
	7	GM	Gulf Muhly	<i>Muhlenbergia capillaris</i>	5 gal.	container grown, full plant specimen
	6	MFG	Mexican Feathergrass	<i>Nassella tenuissima</i>	1 gal.	container grown, full plant specimen
GROUNDCOVERS						
	111	LIR	Liriope 'Big Blue'	<i>Liriope muscari 'Big Blue'</i>	4" pots	container grown, full plant, 6" o.c.

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

EXISTING PLANT LIST

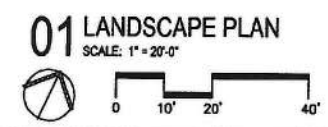
TREES	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	1	EBC	Existing Bald Cypress	<i>Taxodium distichum</i>	varies	
	3	ECM	Existing Crepe Myrtle	<i>Lagerstroemia indica 'Natchez'</i>	varies	
	1	ESYC	Existing Sycamore Tree	<i>Platanus occidentalis</i>	varies	
SHRUBS						
	26	EDBH	Existing Dwarf Barford Holly	<i>Ilex cornuta 'Barford'</i>	varies	
	30	EHDN	Existing Harbor Dwarf Nandina	<i>Nandina domestica 'Harbour Dwarf'</i>	varies	
	5	ENRS	Existing Nellie R. Steven Holly	<i>Ilex x 'Nellie R. Stevens'</i>	varies	



YOURREE DRIVE
(200' RIGHT-OF-WAY)

EXECUTIVE DIRECTOR APPROVAL

9-19-19 Date By *[Signature]*



ENGINEER: BURGER ENGINEERING, LLC
LOUISIANA REGISTERED ENGINEERING FIRM NO. 4970
17103 PRESTON ROAD, SUITE 180N
DALLAS, TEXAS 75248
PHONE: (972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.

APPLICANT: CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
PHONE: (404) 765-8000
CONTACT: PATRICK THOMPSON

OWNER: SHREVE CENTER DE, L.L.C.
211 N. STADIUM BLVD., SUITE 201
COLUMBIA, MISSOURI 65203



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LP ELSB NO. 4970



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:
Mark Date By
2 5/10/19 BCC
City Comments
Site Plan Update
Mark Date By
3 8/20/19 BCC
City Comments
Site Plan Update



7010 YOURREE DRIVE
LOT 6
UNIVERSITY COMMERCIAL PLAZA
CITY OF SHREVEPORT
CADDO PARISH, LOUISIANA

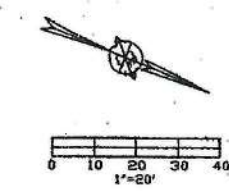
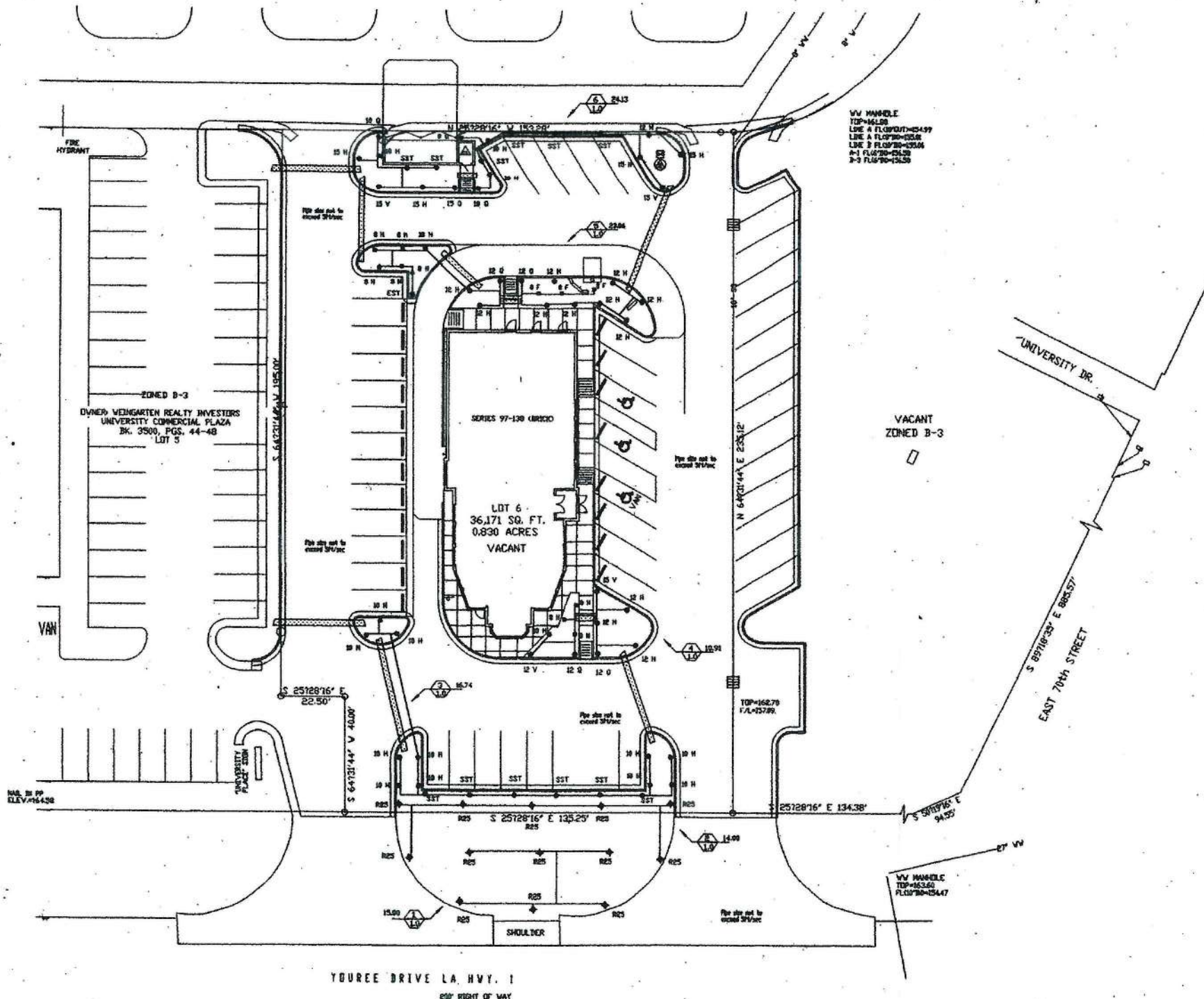
STORE
SERIES
S97-138
MODIFIED

SHEET TITLE
LANDSCAPE
PLAN

For Permit
 For Bid
 For Construction

Job No. : 013-260
Store : 01434
Date : 8/20/19
Drawn By : BCC
Checked By : BDA

Sheet
L-1



IRRIGATION NOTES:

Design Pressure 65 psi. Velocities not to exceed 5 ft/sec.
 Meter size 1.0" Installed by Building Contractor
 Doublecheck valve Watts 1.0", or device to meet City backflow prevention code. Installed by Irrigation Contractor
 Mainline 125' class 200 with 12" bury. Mainline to be looped, if possible.
 Lateral line class 200 with 12" bury and minimum size of .75".
 Controller RainBird ESP 6 LX with Rain Sensor and Freeze Sensor added. Controller wall mount RainBird.
 1.0" valves RainBird BV 100.
 Spray Heads RainBird 1800 Series
 Nozzles RainBird Series 1800 as shown on plans.
 -1804 in turf areas.
 -1804, 1806 or risers in beds as needed.
 Rotors Hunter PGN # 20 nozzle on H
 # 30 nozzle on F

Wire connectors watertight per state code.
 Control wire solid copper size per controller manufacturer's recommendations.
 All valves to be placed in valve boxes with 2" gravel base.
 Zoning of heads may differ from drawing at time of installation due to actual location of sleeves and hardscapes.
 4" Sleeves Installed by Building Contractor.
 Irrigation contractor to contact State Highway Department for permit to work in Right-of-Way, as necessary.
 Irrigation contractor to make necessary adjustments to system design at the time of installation in order to accommodate for wind deration at this site.

Provide "as constructed" drawings indicating locations of:
 -heads
 -valves (to be located by measurement)
 -mainline (to be located by measurement)
 -sections/zones
 Provide owner's manuals for controller.

- ▲ Irrigation controller location-electrical service required to this point
- Valve Notation $\text{OPN } 37.54 \begin{matrix} 3 \\ 1.0 \end{matrix}$ section valve size
- Water Meter (Irrigation) M
- Doublecheck Assembly B
- 4" Irrigation Sleeve ---

EXECUTIVE DIRECTOR APPROVAL

9-19-19 *DeCh*
 Date By

PROJECT INFORMATION	
ADDRESS:	UNIVERSITY PLACE SHREVEPORT, LOUISIANA
CURRENT ZONING:	N/A, PLATTED FOR COMMERCIAL USE ONLY
SITE AREA:	0.83 AC
BUILDING AREA:	4,211 SQ. FT.
TOTAL SEATING:	138
BUILDING HEIGHT:	21'-0"
PARKING PROVIDED:	48 SPACES (3 ACCESSIBLE)
PARKING REQUIRED:	43 BY CITY
PARKING RATIO PROVIDED:	1:87

APPLICANT: CHICK-FIL-A, INC.
 5200 BUFFINGTON ROAD
 ATLANTA, GEORGIA 30349
 PHONE: (404) 765-8800

HKI LANDSCAPE CONTRACTORS
 2417 BENGAL
 PLANO, TEXAS 75023
 DFC. 972-596-4134
 FAX. 972-867-7604

CHICK-FIL-A S97-138
 March 1, 2001 (6 Edition)
 University Place
 Youree Drive
 Shreveport, Louisiana

The Innovations Group, LLC
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 Franklin, Tennessee 37067
 Telephone: 615/778-8828
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 architect:tbl@innovationsgroup.com

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Architect

Consultant

Seal

REVISIONS

JOB NUMBER
CFSLA
PROJECT DATE
05-10-2002

L2

IRRIGATION PLAN JUNE 04, 2002

3 EXTERIOR FINISH SCHEDULE

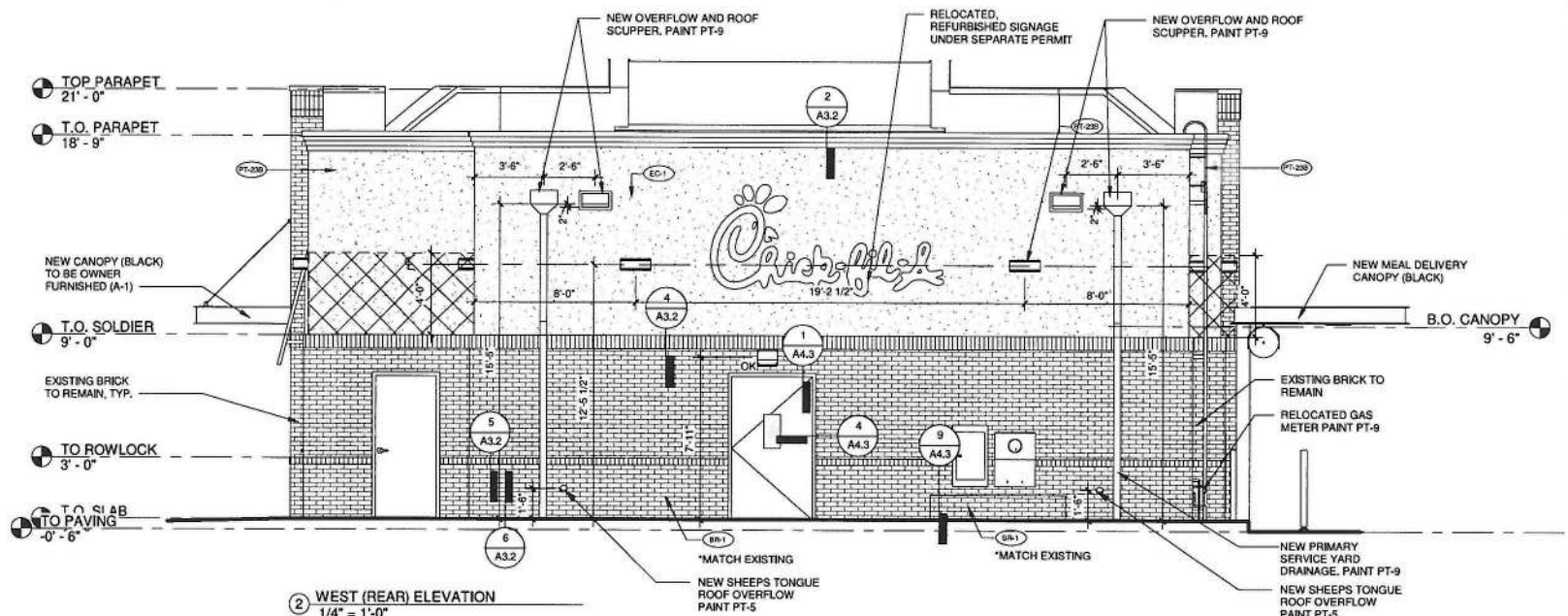
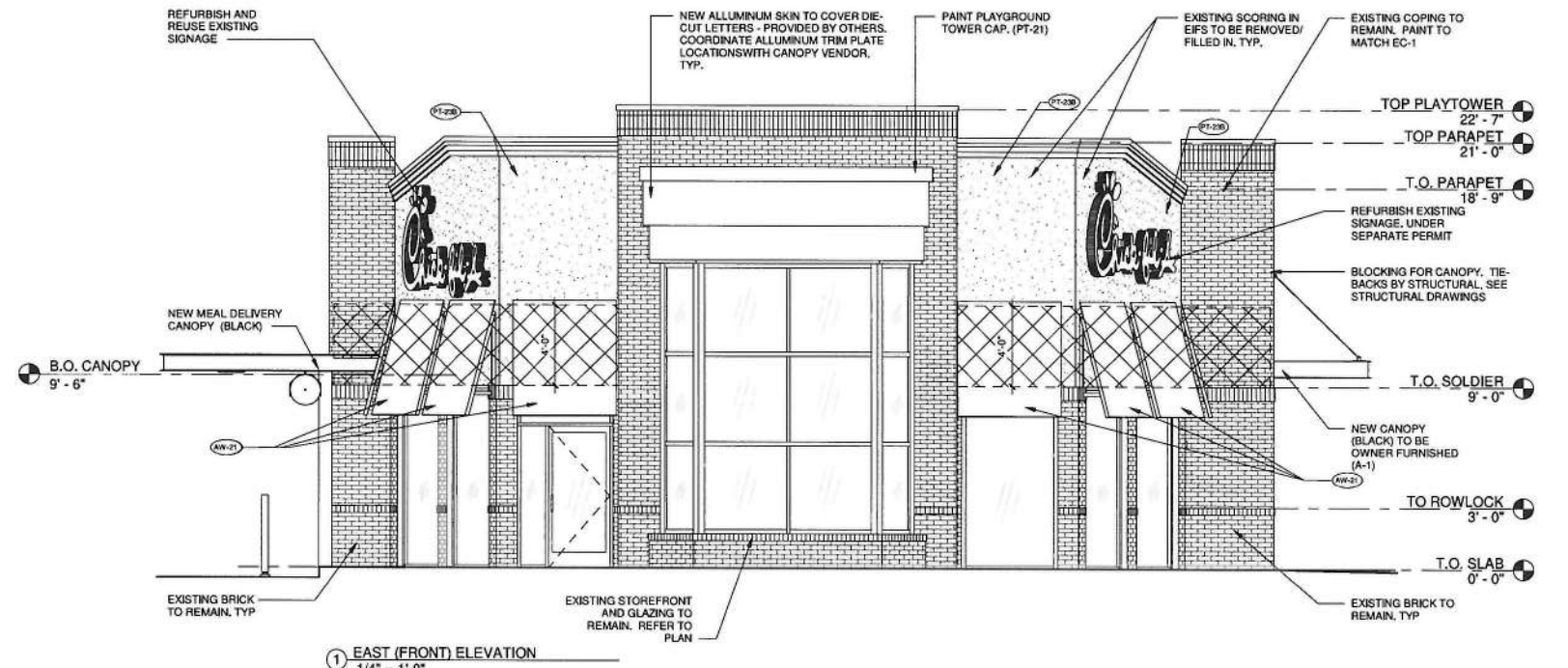
BR-1	BRICK #1 (MODULAR SIZE) - BICKERSTAFF BRICK COMPANY COLOR: MOUNT VERNON GROUT: BUFF	PT-21	EXTERIOR PAINT FOR SITE METALS SHERWIN WILLIAMS, PRO INDUSTRIAL MULTI-SURFACE ACRYLIC COATING SW6258 / TRICORN BLACK, USED WITH SW PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER.
EC-1	NEW PARAPET WALL COPING AS REQUIRED FOR NEW LOCATIONS DUROLAST/ EXCEPTIONAL METALS COLOR - MIDNIGHT BRONZE (MATTE)	PT-23B	EXTERIOR PAINT FOR E.I.F.S. SHERWIN WILLIAMS, PRO INDUSTRIAL MULTI-SURFACE ACRYLIC COATING SW6108 / LATTE, MUST BE USED WITH SW LOXON CONDITIONER UNIVERSAL PRIMER
MP-1	ALUMINUM FASCIA DUROLAST/ EXCEPTIONAL METALS COLOR - MIDNIGHT BRONZE (MATTE)	AW-21	AWNING FABRIC SUNBRELLA 4684-000 / SLATE
MP-2	ALUMINUM FASCIA DUROLAST/ EXCEPTIONAL METALS COLOR - BROWNSTONE (MATTE)	A-1	ALUMINUM AWNING - COVERED COLOR - BLACK SIZE - VERIFY IN FIELD
PT-7	EXTERIOR PAINT REFUSE ENCLOSURE SHERWIN WILLIAMS, #SW2807 "ROOKWOOD (MEDIUM BROWN)" SEMI-GLOSS FINISH ON DOOR FRAMES, SATIN FINISH ON WALLS		
PT-9	EXTERIOR PAINT MISCELLANEOUS METALS SHERWIN WILLIAMS - SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350 COLOR - DARK BRONZE SEMI-GLOSS FINISH		

EXTERIOR FINISH NOTES:

- FINISHES LISTED IN THIS SCHEDULE DO NOT REPRESENT ORIGINAL PROTOTYPE FINISHES. CONFIRM ACTUAL FINISHES TO MATCH ON SITE. REFER TO SHEETS A2.1 & A2.2 FOR AWNING TYPES AND CORRESPONDING FINISH.
- GO TO PATCH AND REPAIR BRICK AFTER REMOVAL OF EXISTING CANOPY FROM BUILDING INCLUDING PLAYTOWER BRICK.



HATCH INDICATES EXTENT OF EIFS REMOVAL OF EXISTING CANOPIES AND SOFFITS. REMOVE EXISTING FINISHES, REPAIR ANY DAMAGE AND PREPARE WALL FOR NEW FINISHES AND AWNINGS.
RE: A3.1



EXECUTIVE DIRECTOR APPROVAL
9-19-19 *ac*
Date By



Chick-fil-A
5200 Buffington Rd.
Atlanta, GA
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		
△		



MICHAEL R. MAYSE ARCHITECT
Architect - Planning - Construction Management
Suite 800
14811 Youree Dr.
Shreveport, LA 71105
Phone: (972) 386-0288
Fax: (972) 386-0276
4/22/2019 9:19:50 AM

STORE
CFA 01434
YOUREE DRIVE
7010 YOUREE DR.
SHREVEPORT, LA 71105
MLBIR S97-138

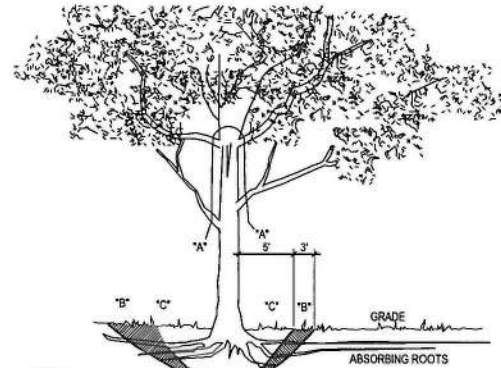
SHEET TITLE
EXTERIOR ELEVATIONS

Job No. : 18101
Store : 01434
Date : 4/22/2019 9:19:50 AM
Drawn By : GW
Checked By : CC

Sheet
A2.1

**EXECUTIVE
DIRECTOR
APPROVAL**

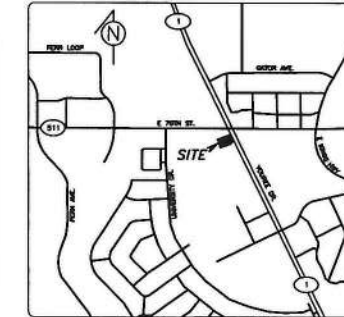
9-19-19 *deh*
Date By



NOTE:
A* REMOVE BULKY TREE PARTS "SHRED" AND/OR HAIL SEPARATELY.
B* BEGIN EXCAVATION APPROX. 6" FROM THE TRUNK - CUT THRU ANCHOR ROOTS AT AN ANGLE - 3 TO 4" DEEP
C* USING TREE TRUNK AS A LEVER PUSH AT POINT "E" TO REMOVE TREE BOLE AND LARGE FEEDER ROOTS (4" TO 10" IN DIAM.)
D* BACKFILL HOLE AND CLEAN UP.

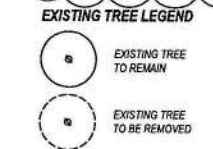
01 TREE REMOVAL DIAGRAM NOT TO SCALE

SITE DATA	
ZONING:	C-3
LOT AREA:	0.83 ACRES (36,154 S.F.)
PROPOSED USE:	DINE IN W/ DRIVE THRU RESTAURANT
EX. BUILDING AREA:	4,211 S.F.
BUILDING EXPANSION AREA:	333 S.F.
TOTAL BUILDING AREA:	4,544 S.F.
F.A.R.:	0.126:1
PARKING REQUIRED:	1 SPACE FOR EVERY 300 S.F. OF AREA 4,544/300 = 15
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PROPOSED LANDSCAPE AREA:	2,379 S.F. (6.58%)
PROPOSED IMPERVIOUS AREA:	33,775 S.F. (93.42%)



VICINITY MAP

Chik-Fil-A Tree Inventory - Shreveport, LA							
Tree No.	Species	Size	Preserved	Removed	Preservation Credits (Trees)	Preservation Credits (Trees)	Comments
001	Bald Cypress	18	18		6		
002	Crape Myrtle	3	3				
003	Bald Cypress	3	3				
004	Sycamore	6	6				
005	Crape Myrtle	3	3				
006	Crape Myrtle	3		3			
007	Crape Myrtle	3		3			
		39	33	6	6	0	



- EXISTING TREE LEGEND**
- EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
- TRANSPLANT NOTES**
- Trees shall have ten (10) inches of rootball width for every one (1") inch caliper of tree.
 - Trees shall have one-fourth (1/4) the height of the tree in rootball depth.
 - Trees shall be dug either by hand or by the use of a tree spade. Tree spade shall be a minimum of 60".
 - Contractor shall be responsible for maintaining all transplanted trees in the event they are unable to re-plant them immediately after digging. Contractor shall coordinate with other trades such that digging and replanting can occur simultaneously.
 - In the event transplanted trees have to be held on site, it shall be the responsibility of the Contractor to maintain the trees in a healthy and growing condition.
 - The following list shall be used as guidelines only for holding of trees on site:
 - Trees shall be set on grade with the rootball completely covered with compost and mulch. No rootball shall be exposed.
 - Trees shall be wired and staked such that they will not blow over.
 - Trees shall be watered daily by hand or a temporary drip/trickle irrigation system installed.
 - Replanting trees shall follow the same planting techniques as outlined in the Landscape Specifications.

TREE PRESERVATION SUMMARY	
Total Cal. Inches	39
Total Preserved Cal. Inches	33
Total Removed Cal. Inches	6
Total Preservation Credits	6
Total Mitigation Due	6
Over Minimum / (Mitigation Due)	0

- EXISTING TREE NOTES**
- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around drip line (canopy) of tree.
 - If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
 - No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
 - Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
 - Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the drip line of any tree.
 - Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic substances, or other liquid chemicals shall be deposited within the limits of the drip line of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
 - Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
 - Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the drip line of trees.
 - Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48) inches.
 - Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.



Revisions:
Mark Date By
2 5/10/19 BCC
City Comments
Site Plan Update
Mark Date By
3 8/20/19 BCC
City Comments
Site Plan Update

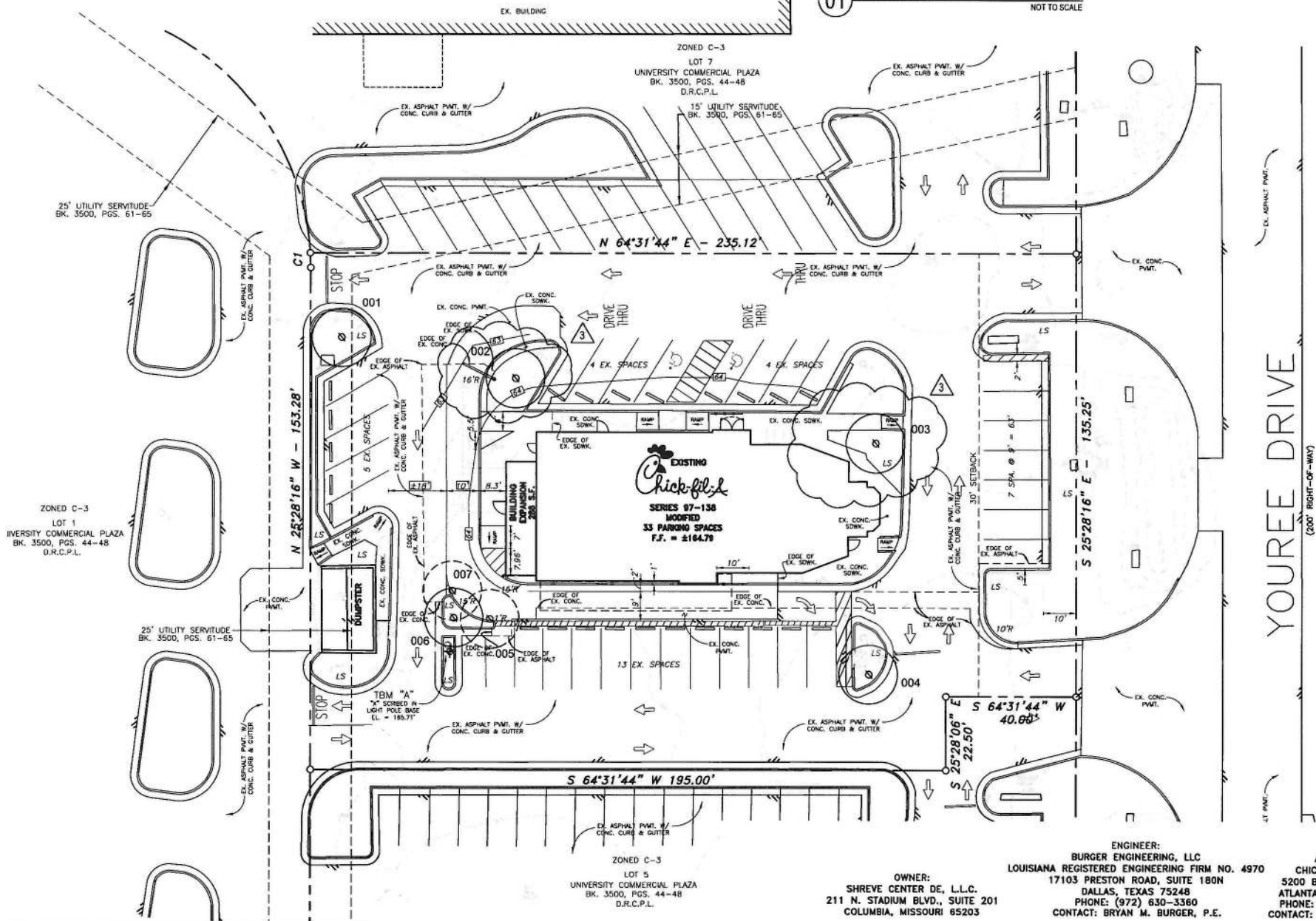
7010 YOUREE DRIVE
LOT 6
UNIVERSITY COMMERCIAL PLAZA
CITY OF SHREVEPORT
CADDO PARISH, LOUISIANA

STORE
SERIES
S97-138
MODIFIED

SHEET TITLE
Tree
Preservation
Plan

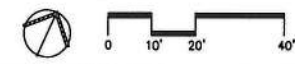
For Permit
 For Bid
 For Construction
Job No. : 013-260
Store : 01434
Date : 8/20/19
Drawn By : BCC
Checked By : BDA
Sheet

TP-1



YOUREE DRIVE
(200' RIGHT-OF-WAY)

01 TREE PRESERVATION PLAN
SCALE: 1" = 20'-0"

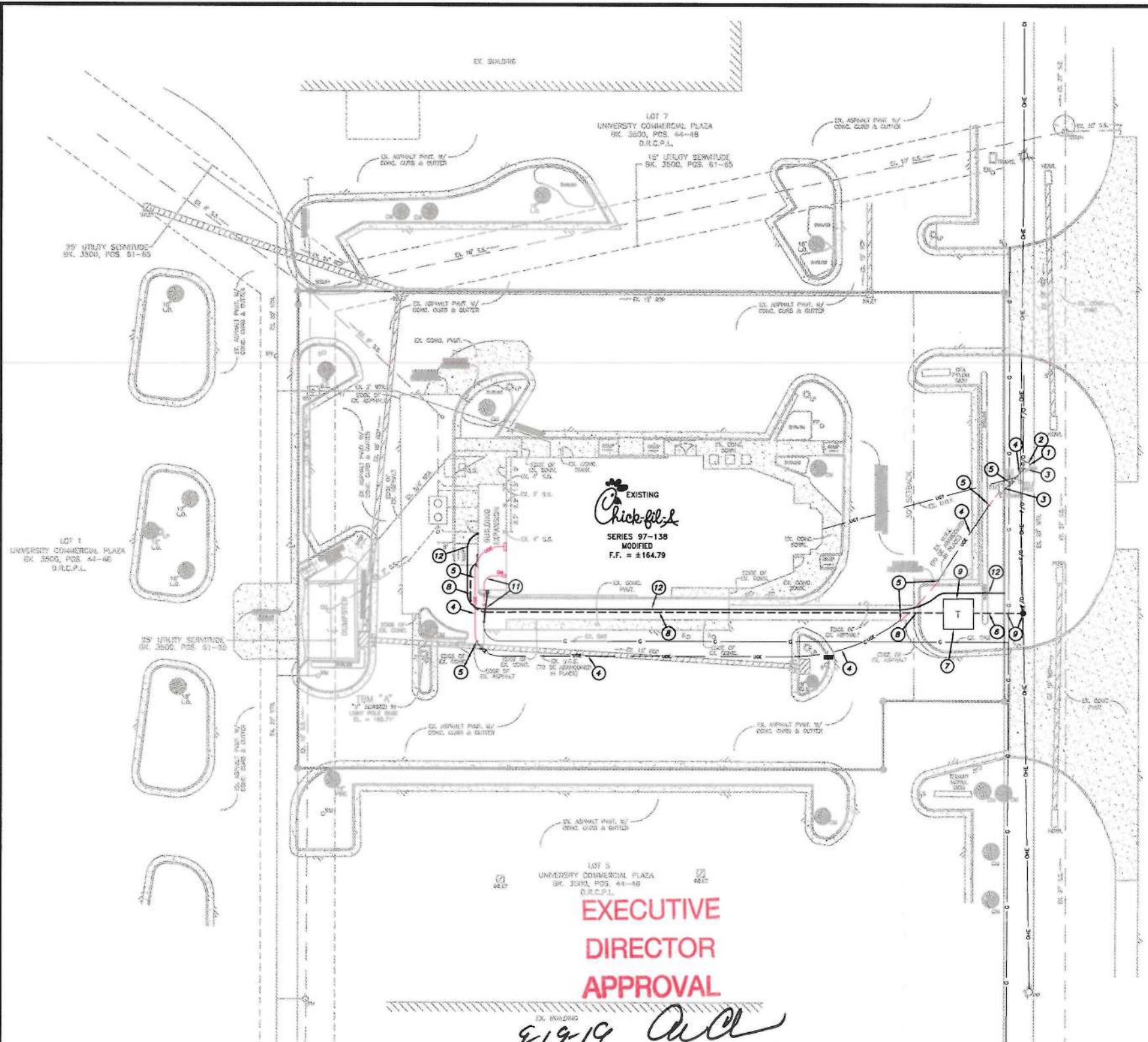


ENGINEER:
BURGER ENGINEERING, LLC
LOUISIANA REGISTERED ENGINEERING FIRM NO. 4970
17103 PRESTON ROAD, SUITE 180N
DALLAS, TEXAS 75248
PHONE: (972) 830-3360
CONTACT: BRYAN M. BURGER, P.E.

APPLICANT:
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
PHONE: (404) 765-8000
CONTACT: PATRICK THOMPSON

B BURGER
ENGINEERING
Civil Consultants
17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
LPELSB NO. 4970

19-382-C



**EXECUTIVE
DIRECTOR
APPROVAL**

9/19/19 *ad*
RV

YOUREE DRIVE

UTILITY COMPANY CONTACTS	
SWEPCO (ELECTRIC)	BRIAN SMITH 318-862-2114 (O)
SWEPCO SERVICE LINE	1-888-216-3523
CENTERPOINT ENERGY (GAS)	RON HANDBERRY 318-797-4001

EXISTING UTILITIES NOTES

CONTRACTOR IS TO CONTACT LOUISIANA 811 AT 1-800-272-3020 AND HAVE THEM LOCATE ALL BURIED UTILITIES WHICH MAY BE AFFECTED IN ANY WAY BY THE WORK OF THIS PROJECT.

LOUISIANA 811 WILL LOCATE UTILITIES WITHIN 2'0" HORIZONTALLY OF THEIR EXISTING BURIED LOCATION.

NEITHER LOUISIANA 811 NOR THE UTILITY COMPANIES WILL WARRANTY EXISTING DEPTH OF BURIED UTILITIES. CONTRACTOR IS TO CAREFULLY DIG 'POTHOLES' UNTIL DEPTH AND EXACT HORIZONTAL LOCATIONS OF ALL UTILITIES CAN BE VERIFIED.

IF DISCREPANCIES AND CONFLICTS ARE DISCOVERED, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTIONS PRIOR TO PROCEEDING WITH AFFECTED WORK.

GENERAL NOTES

- COORDINATE ALL WORK WITH UTILITY COMPANIES AND OWNER'S REPRESENTATIVE.
- STAKE CENTERLINE OF TRENCHES & ENDS OF LINES FOR UTILITY COMPANIES. COORDINATE EXACT LOCATIONS WITH CIVIL ENGINEER AND WITH UTILITY COMPANIES.
- VERIFY ALL DIMENSIONS WITH OWNER'S REPRESENTATIVE PRIOR TO ROUGH-IN.
- PROVIDE TRENCHING, BACKFILL AND COMPACTION FOR UTILITY COMPANIES PER SOILS ENGINEER RECOMMENDATIONS AND UTILITY COMPANIES' STANDARDS U.N.O.
- ALL WORK IS TO BE PROVIDED BY THE CONTRACTOR UNLESS SPECIFICALLY NOTED TO BE PROVIDED BY THE UTILITY COMPANIES.

NOTES BY SYMBOL 'O' - MEP SITE PLAN

- EXISTING TRANSFORMER BANK DOES NOT HAVE CAPACITY FOR INCREASE FROM 800 AMP TO 1200 AMP SERVICE PER SWEPCO REPRESENTATIVE.
- CHICK-FIL-A CONTRACTOR TO CONTACT SWEPCO AT 1-888-216-3523 FOR TEMPORARY DISCONNECT OF EXISTING POWER SERVICE (48 HOUR NOTICE REQUIRED).
- SWEPCO TO REMOVE EXISTING POLE MOUNTED TRANSFORMER BANK & SECONDARY ENCLOSURE & PROVIDE NEW DROP DOWN PRIMARY SERVICE FOR PAD MOUNTED TRANSFORMER.
- SWEPCO TO REMOVE EXISTING SECONDARY SERVICE WIRING.
- CHICK-FIL-A CONTRACTOR TO REMOVE EX. 6" ELECTRICAL CONDUIT TO LOCATION INDICATED FOR NEW BUILDING EXPANSION. EX. 6" ELECTRICAL CONDUIT UNDER PAVEMENT TO BE ABANDONED IN PLACE.
- CHICK-FIL-A CONTRACTOR TO PROVIDE NEW 6" PRIMARY CONDUIT FROM TRANSFORMER PAD TO POWER POLE PER SWEPCO STANDARDS.
- CHICK-FIL-A CONTRACTOR TO PROVIDE CONCRETE TRANSFORMER PAD WITH BOLLARDS PER SWEPCO STANDARDS.
- CHICK-FIL-A CONTRACTOR TO PROVIDE (4) 4" SECONDARY CONDUITS & SECONDARY WIRE PER E3.2 & SWEPCO STANDARDS.
- SWEPCO TO PROVIDE NEW PAD MOUNTED TRANSFORMER, NEW INLINE POLE W/ DROP DOWN & PRIMARY WIRE.
- CHICK-FIL-A CONTRACTOR TO CONTACT SWEPCO AT 1-888-216-3523 FOR CONNECTION OF NEW POWER SERVICE (48 HOUR NOTICE REQUIRED).
- CHICK-FIL-A CONTRACTOR TO CONTACT CENTERPOINT ENERGY FOR GAS METER REMOVAL & RELOCATION.
- CHICK-FIL-A CONTRACTOR TO PROVIDE NEW 3" COMMUNICATIONS CONDUIT FROM RIGHT-OF-WAY LINE TO BUILDING EXPANSION FOR FUTURE FIBER LINES.



BURGER ENGINEERING
Civil Consultants

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Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
LPELS NO. 4970



Revisions:		
Mark	Date	By
△		
△		

7010 YOUREE DRIVE
LOT 6
UNIVERSITY COMMERCIAL PLAZA
CITY OF SHREVEPORT
CADDO PARISH, LOUISIANA

STORE
SERIES
S97-138
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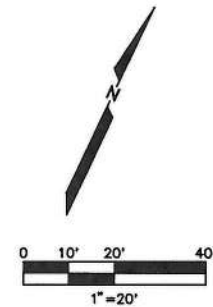
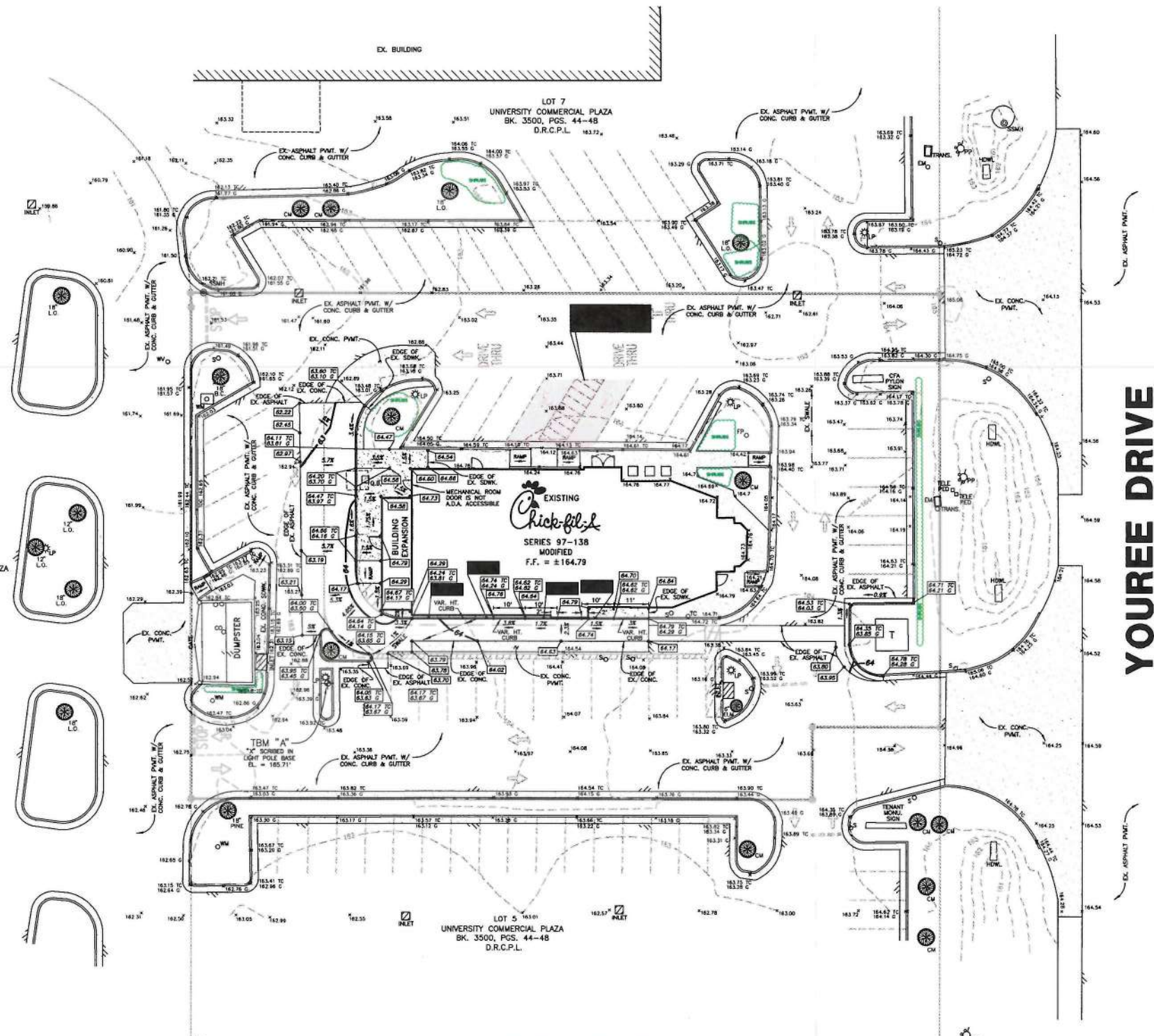
SHEET TITLE
**M.E.P.
SITE
PLAN**

For Permit
 For Bid
 For Construction

Job No. : 013-260
Store : 01434
Date : 03/20/19
Drawn By : RMP
Checked By : BMB

Sheet
MEP-1

19-382-C



LEGEND

---	EXIST. CONTOUR
---	PROP. CONTOUR
x40.30	EXIST. SPOT ELEV.
73.60	PROP. PAVEMENT SPOT ELEV.
60.25 TC 59.75 C	PROP. TOP OF CURB & GUTTER ELEVATION
█	PROP. TOP OF PAVEMENT & TOP OF COLUMN ELEVATION
█	PROP. TOP OF SIDEWALK & TOP OF COLUMN ELEVATION

- GRADING NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND CITY STANDARDS AND SPECIFICATIONS.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
 - BARRICADE, TRAFFIC CONTROL, AND PROJECT SIGN SHALL CONFORM TO "STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION BARRICADES AND CONSTRUCTION STANDARDS" AND CITY SPECIFICATIONS.
 - THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENT TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE IS ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
 - ALL PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
 - REFER TO SITE PLAN FOR HORIZONTAL DIMENSIONS.
 - SITE PREPARATION AND GRADING, FOUNDATION EXCAVATION AND FILL COMPACTION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND R/W ELEVATIONS PRIOR TO CONSTRUCTION.
 - GRATE INLETS TO BE PRECAST, SINGLE GRATE INLET MANUFACTURED BY BROOKS PRODUCTS INC. (I-817-467-2783) WITH TRAFFIC BEARING GRATE, OR APPROVED EQUAL.
 - CONTRACTOR TO ENSURE GRADES IN ACCESSIBLE ROUTE DO NOT EXCEED 5% IN THE RUN DIRECTION W/ A 2% CROSS SLOPE.

- CONSTRUCTION SEQUENCE**
- OBTAIN GRADING PERMIT.
 - INSTALL ALL EROSION CONTROL MEASURES AND DEVICES THAT CAN BE INSTALLED PRIOR TO SITE CLEARING.
 - CLEAR SITE.
 - INSTALL ANY REMAINING CONTROL MEASURES AND DEVICES THAT COULD NOT BE INSTALLED PRIOR TO SITE CLEARING.
 - GRADE SITE.
 - INSTALL ALL UNDERGROUND UTILITIES. INSTALL EROSION CONTROL AROUND CATCH BASINS AND INLETS.
 - INSTALL PAVEMENT.
 - INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED OFFSITE & ONSITE AREAS HAVE BEEN HYDROMULCHED OR SOGGED (IN ACCORDANCE WITH THE LANDSCAPE PLAN) AND A MOWABLE STAND OF GRASS IS ACHIEVED.

LOT 1
UNIVERSITY COMMERCIAL PLAZA
BK. 3500, PGS. 44-48
D.R.C.P.L.

LOT 7
UNIVERSITY COMMERCIAL PLAZA
BK. 3500, PGS. 44-48
D.R.C.P.L.

LOT 5
UNIVERSITY COMMERCIAL PLAZA
BK. 3500, PGS. 44-48
D.R.C.P.L.

**EXECUTIVE
DIRECTOR
APPROVAL**

9-19-19 *AC*
Date By

YOUREE DRIVE



Revisions:

Mark	Date	By
△		

Mark Date By

△		
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7010 YOUREE DRIVE
LOT 6
UNIVERSITY COMMERCIAL PLAZA
CITY OF SHREVEPORT
CADDO PARISH, LOUISIANA

STORE
SERIES
S97-138
MODIFIED

SHEET TITLE
**GRADING &
DRAINAGE
PLAN**

For Permit
 For Bid
 For Construction

Job No. : 013-260
Store : 01434
Date : 03/20/19
Drawn By : RMP
Checked By: BMB

Sheet
C-4



**BURGER
ENGINEERING**
Civil Consultants

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LPELS NO. 4970

19-382-C

LAYOUT NOTES

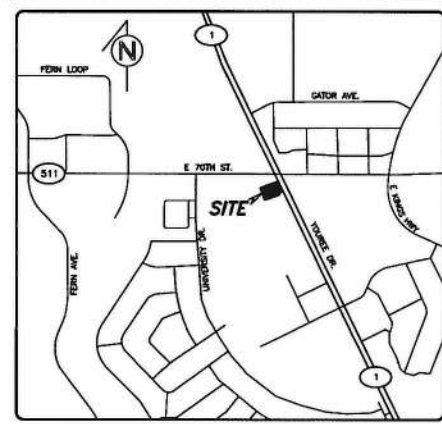
- 1 PAINTED TRAFFIC ARROW
- 2 DRIVE THRU STRIPING (NOT USED)
- 3 STOP BAR (NOT USED)
- 4 HANDICAP SYMBOL (NOT USED)
- 5 PARKING STALLS / 4" PAINTED STRIPE (WHITE - 2 COATS)
- 6 DIRECTIONAL SIGNAGE (NOT USED)
- 7 INTEGRAL CONCRETE CURB
- 8 CURBED RAMP "A" - FLARED SIDES "B" - SHORT FLARED SIDES
- 9 TYPICAL SIDEWALK DETAIL
- 10 SIDEWALK ADJACENT TO CURB
- 11 STRIPING
- 12 CONCRETE PAVEMENT
- 13 EX. MENU BOARD ORDERING STATION & CANOPY
- 14 CONTRACTION JOINT (SEE SHEET C-8)
- 15 CONSTRUCTION JOINT (SEE SHEET C-6)
- 16 GREASE TRAP
- 17 EX. POLE MOUNTED TRANSFORMER
- 18 EX. DUMPSTER / STORAGE AREA W/MASONRY SCREENING
- 19 EX. PYLON SIGN
- 20 RADIUS PROTECTION
- 21 MATCH LOCATION & ELEVATION OF EX. CONCRETE CURB
- 22 MATCH EX. CONCRETE SIDEWALK
- 23 EX. STOP BAR
- 24 GAS METER LOCATION
- 25 ADJUST EX. LANDSCAPING & IRRIGATION
- 26 PIPE BOLLARD
- 27 EX. FLAG POLE LOCATION
- 28 NOT USED
- 29 EX. BOLLARD
- 30 EX. TRAFFIC ARROW
- 31 EX. STRIPING
- 32 MATCH EX. CONCRETE/ASPHALT PAVEMENT
- 33 EX. PAINTED STRIPE
- 34 EX. DIRECTIONAL SIGNAGE
- 35 EX. LIGHT POLE
- 36 EX. TREE/CRAPE MYRTLE/BUSHES TO REMAIN
- 37 EX. STRIPING
- 38 EX. ENTER & EXIT SIGN
- 39 EX. FIRE HYDRANT
- 40 EX. INLET TO REMAIN
- 41 EX. DRIVE THRU STRIPING

- 42 DRIVE THRU MEAL DELIVERY CANOPY (REF. PLANS BY LANE SUPPLY, INC. FOR DETAILS)
- 43 CANOPY COLUMN (REF. PLANS BY LANE SUPPLY, INC. FOR DETAILS) CONTRACTOR TO REMOVE & REPLACE EX. SIDEWALK, CURB & PAVING AS NECESSARY FOR COLUMN INSTALLATION
- 44 4" DASH PAINTED STRIPE (10" L @ 54" O.C.) (WHITE 2 COATS)
- 45 EX. OUTDOOR TABLES W/ UMBRELLAS
- 46 EX. BARRIER FREE RAMP
- 47 EX. WHEELSTOP
- 48 MONOLITHIC CONCRETE CURB
- 49 ASPHALT PAVEMENT
- 50 PROP. PAD MOUNTED TRANSFORMER
- 51 EX. HANDICAP SYMBOL
- 52 EX. CHICK-FIL-A MAIN ENTRY RAMP
- 53 EX. RADIUS PROTECTION

~ BOUNDARY CURVE DATA TABLE ~

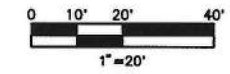
NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	80.00'	03°12'05"	4.47'	N 27°04'19" W	4.47'

- NOTES
- ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHICK-FIL-A SPECIFICATIONS AND/OR CITY STANDARD SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
 - ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
 - IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
 - ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
 - ALL PARKING STALLS SHALL BE STRIPED IN ACCORDANCE W/APPLICABLE GOVERNING AUTHORITIES.



VICINITY MAP
NTS

PURPOSE STATEMENT
THIS REVISED SITE PLAN WILL EXPAND THE EXISTING BUILDING (333 S.F.) ELIMINATE 9 PARKING SPACES & ADD A MULTI-LANE DRIVE THROUGH TO INCREASE THE SPEED OF SERVICE FOR CUSTOMERS.



SITE DATA

ZONING:	C-3
LOT AREA:	0.83 ACRES (36,154 S.F.)
PROPOSED USE:	DRIVE IN W/ DRIVE THRU RESTAURANT
EX. BUILDING AREA:	4,211 S.F.
BUILDING EXPANSION AREA:	288 S.F.
TOTAL BUILDING AREA:	4,499 S.F.
F.A.R.:	0.124:1
PARKING REQUIRED:	1 SPACE FOR EVERY 300 S.F. OF AREA 4,499/300 = 15
PARKING PROVIDED:	33 SPACES (2 H.C.)
BUILDING HEIGHT:	25'-8" (1 STORY)
EXISTING LANDSCAPE AREA:	3,279 S.F. (9.07%)
PROPOSED LANDSCAPE AREA:	2,788 S.F. (7.71%)
PROPOSED IMPERVIOUS AREA:	33,368 S.F. (92.29%)

- LEGEND
- ⊕ FH FIRE HYDRANT
 - ⊙ CH SET CHISELED "X" SET
 - ⊙ CH SET CHISELED "X" FOUND
 - ⊙ IRON ROD FOUND (SIZE AS NOTED)
 - ⊙ IRON ROD SET (SIZE AS NOTED)
 - ⊙ OVERHEAD UTILITY POLE W/ GUY
 - ⊙ UNDERGROUND ELECTRIC OR TELEPHONE
 - ⊙ LIGHT POLE
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ SAN. SWR. CLEAN OUT
 - ⊙ GAS VALVE
 - ⊙ WATER VALVE
 - ⊙ TREE
 - ⊙ MANHOLE (TYPE AS NOTED)
 - ⊙ BOX TRAFFIC SIGNAL BOX
 - ⊙ ELECTRIC TRANSFORMER BOX
 - ⊙ ELECTRIC TRANSMISSION STEEL TOWER
 - ⊙ UNDERGROUND CABLE MARKER
 - ⊙ CABLE SIGN
 - ⊙ CRAPE MYRTLE
 - ⊙ BALD CYPRESS
 - ⊙ LIVE OAK
 - ⊙ EX. FIRE LANE
 - ⊙ LANDSCAPE

EXECUTIVE DIRECTOR APPROVAL

9-19-19 Date By

OWNER:
SHREVE CENTER DE, L.L.C.
211 N. STADIUM BLVD., SUITE 201
COLUMBIA, MISSOURI 65203

APPLICANT:
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
PHONE: (404) 765-8000
CONTACT: PATRICK THOMPSON
EMAIL: PATRICK.THOMPSON@CFACORP.COM

ENGINEER:
BURGER ENGINEERING, LLC
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DALLAS, TEXAS 75248
PHONE: (972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.
EMAIL: BBURGER@BURGERENGINEERING.COM

MPC EXECUTIVE DIRECTOR DATE



BURGER ENGINEERING
Civil Consultants

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LPELSB NO. 4970



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SHEET TITLE
SITE PLAN

For Permit
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C-3

19-382-C