



SITE NAME: LA_SHREVEPORT

EXECUTIVE
DIRECTOR
APPROVAL

2-11-2020 Date *[Signature]* By

ZONING COMPLIANCE:
LOCAL JURISDICTION: SHREVEPORT, LA
ASSESSORS PARCEL:
ZONING: TBD
USE: TELECOMM FACILITY
PARENT PARCEL AREA:
PROPOSED LEASE AREA: 2,500 SQ.FT.
PARKING REQ'D: 0
PARKING PROVIDED: 1

GENERAL COMPLIANCE:
HVAC USED ON THIS STRUCTURE IS NOT INTENDED FOR HUMAN COMFORT ITS USE IS SOLELY FOR ELECTRONIC EQUIPMENT COOLING.
DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
PROVIDE STREET ADDRESS IDENTIFICATION PER MUNICIPAL REQUIREMENTS.
THE USE OF THIS SITE WILL GENERATE NO TRASH. THIS PROJECT DOES NOT REQUIRE WATER OR SEWER THIS PROJECT REQUIRES PERMANENT POWER & TELEPHONE CONNECTION

A.D.A. COMPLIANCE:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. LANDINGS AND EXITS SHALL COMPLY WITH THE APPLICABLE BUILDING CODE.

F.C.C. COMPLIANCE:
ALL PROPOSED ANTENNAS SHALL BE IN COMPLIANCE WITH ALL FEDERAL COMMUNICATIONS COMMISSION (FCC) REGULATIONS, INCLUDING THOSE PROTECTING THE PUBLIC HEALTH AND THOSE PROTECTING HISTORIC DISTRICTS.

COLLOCATION:
TOWER SHALL BE DESIGNED IN A MANNER THAT WILL ALLOW FOR THE COLLOCATION OF AT LEAST TWO ADDITIONAL ARRAYS ON THE FACILITY

PROJECT DESCRIPTION:
THE PROJECT CONSISTS OF THE INSTALLATION AND OPERATION OF ANTENNAS AND ASSOCIATED EQUIPMENT FOR COMPANY'S WIRELESS TELECOMMUNICATIONS NETWORK. FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.
THIS FACILITY IS A SITE BUILT TELECOMMUNICATION SITE, TO HOUSE RADIO EQUIPMENT. NO HAZARDOUS MATERIAL WILL BE STORED WITHIN THE FACILITY.

ALL EXITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE. MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS ARE PROHIBITED.

NEW LESSEE ANTENNAS AND ASSOCIATED COAXIAL CABLES

NEW ELECTRICAL SERVICE
NEW WOOD FENCE
NEW 95' MONOPINE
NEW ELEVATED EQUIPMENT PLATFORMS

NEW CELLULAR ANTENNAS AND ASSOCIATED EQUIPMENT FOR TELECOMMUNICATION COMPANY'S NETWORK COMMUNICATION

SHEET INDEX:

T1	TITLE SHEET, PROJECT INFO
LS1	LAND SURVEY
A1	SITE PLAN
A2	ENLARGED SITE PLAN
A3	ANTENNA INFO / SITE ELEVATION
A4	CONSTRUCTION DETAILS
E1	GENERAL NOTES / LEGEND / SHEET INDEX
E2	SITE POWER PLAN
E3	ENLARGED POWER PLAN
E4	ONE LINE / CALCS
E5	GROUNDING PLANS
E6	GROUNDING DETAILS
L1	LANDSCAPING SHEETS
L2	LANDSCAPING SHEETS

SITE ACQUISITION

INTEGRISITE
P.O. BOX 786
WEST MONROE, LA 71294
PHONE:
CONTACT:

ARCHITECT

YOUNG DESIGN CORP.
10245 E. VIA LINDA, SUITE 211
SCOTTSDALE, AZ, 85258
PHONE: (480) 451-9609
CELL: (619) 892-1051
CONTACT: LUCAS STROBERG

SURVEYOR

RILEY COMPANY OF LOUISIANA, INC.
112 EAST MISSISSIPPI AVE.
P.O. DRAWER 1303
RUSTON, LOUISIANA 71273
PHONE: (318) 251-0238
FAX: (318) 251-0239
CONTACT: GARLAND D HERRING

LESSOR / OWNER

CLIFFORD MADISON PROPERTIES, LLC

LESSEE / COMPANY

ALTA TOWERS, LLC.
310 MAIN PLAZA - SUITE 381
NEW BRAUNFELS, TX 78130
PHONE: 844-258-2897
CELL: 210-237-9426
CONTACT: MELISA HOLLEY

SITE PHOTO:



VICINITY MAP:



SITE COORDINATES:
LATITUDE : 32° 28' 18.84"
LONGITUDE : -93° 44' 06.92"
ELEVATION : 164.82



DRIVING DIRECTIONS:

CLIENT



architecture / project management
10245 E. Via Linda, Scottsdale, AZ 85258
ph: 480 451 9609 fax: 480 451 9608
e mail: corporate@ydcoffice.com

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PRELIMINARY UNLESS SIGNED

NO.	DATE	DESCRIPTION
1	02/03/2020	PRELIM CDS

ARCHITECTS JOB NO.
YDC-8981

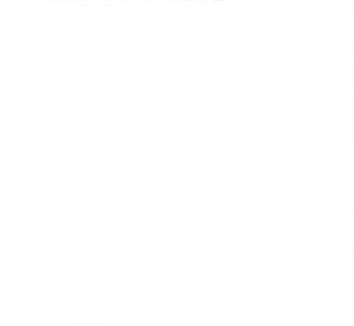
PROJECT INFORMATION

LA - SHREVEPORT
CONST. DRAWINGS

3817 GILBERT AVE
SHREVEPORT, LA 71104

SHEET TITLE
TITLE SHEET

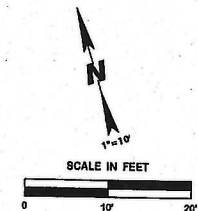
JURISDICTION APPROVAL



SHEET NUMBER
T-1

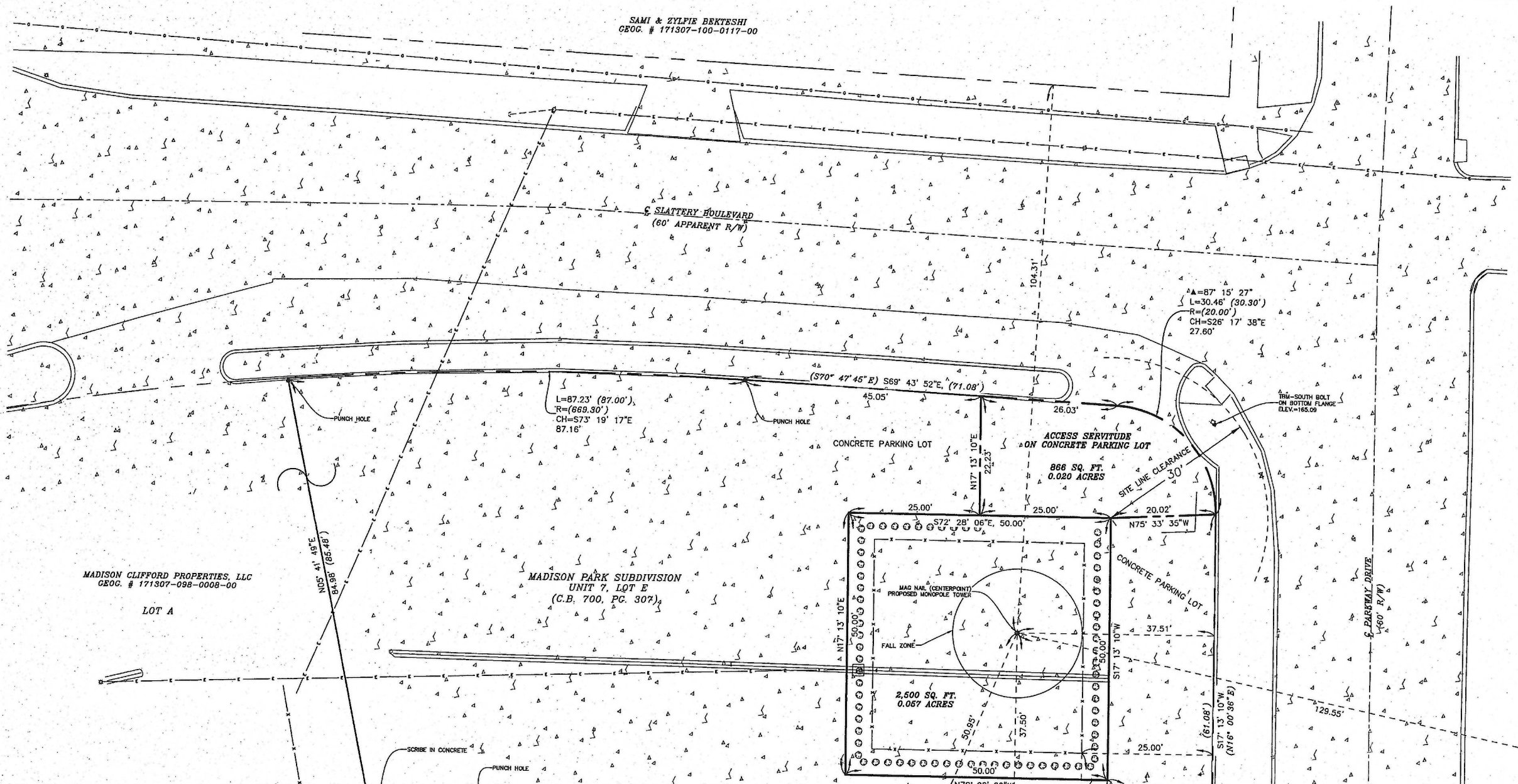
20-26-C

SAMI & ZYLPIE BEKTESHI
 GEOG. # 171307-100-0117-00



LEGEND

⊙	MONUMENT FOUND AS NOTED
---	RECORD INFORMATION
---	UTILITY
---	WOODEN UTILITY POLE
---	ELECTRIC LINE
---	FENCE LINE
---	LIFT POLE
---	GAS LINE
---	SEWER/STORMSEWER
---	CONCRETE
---	WATER METER
---	WATER VALVE
---	PIPE MONUMENT



BASIS OF COORDINATES
 HORIZONTAL AND VERTICAL POSITIONS (STATE PLANE COORDINATE - LOUISIANA NORTH 1791 ZONE IN U.S. SURVEY FEET) DIMENSIONS (HORIZONTAL OR SLANT DISTANCES) AND DIRECTIONS (GRID BEARING IN DEGREES MINUTES SECONDS) DEPICTED HEREON AND/OR CONTAINED HEREIN ARE DERIVED BY CONVENTIONAL OPTIC OR ROBOTIC INSTRUMENT FIELD OBSERVATION AND/OR OTHER MANUAL FIELD MEASUREMENT BASED UPON DATA DERIVED FROM GPS FIELD STATIC OBSERVATIONS ON SITE, OBSERVED 20/10/14 - 12:40:00 TO 16:20:00 UTC AS SUBMITTED TO CNS 16/12/14 - 11:23:33 UTC WITH DATA REDUCED AND RETURNED IN NAD 83 - NAVD 83 DATUM - GEOID 12B STATE PLANE COORDINATE - 1791 / LOUISIANA NORTH ZONE IN METERS WITH MEAN SCALE FACTOR OF 0.999933 AND MEAN CONVERGENCE OF -0.833250 DEGREES PER BASE STATION (PD) USED: DGT394, DNT172 & DNT64.

FLOOD ZONE
 BASED UPON REVIEW OF FEMA'S FIRM OF CADDOPARISH, LOUISIANA AND INCORPORATED AREAS MAP NUMBER 2201C00704, WITH AN EFFECTIVE DATE OF MAY 12, 2014. THE SUBJECT LOT DOES NOT WITHIN FLOOD ZONE AE-100 YEAR (FLOODWAY) AS REPRESENTED BY THE FEMA FIRM MAP.

SURVEY QUALIFYING STATEMENT
 THIS PLAN OF SURVEY DOES NOT REPRESENT A GUARANTEE OF TITLE. I DID NOT CONDUCT EXTENSIVE TITLE RESEARCH. MY CLIENT DID NOT PROVIDE ME WITH COPIES OF ALL DEEDS, ETC. THOSE SHOWN ARE ONLY THOSE VISIBLE OR AS NOTED OTHERWISE.

CERTIFICATION
 I HEREBY CERTIFY THAT THE HEREON PLATTED SURVEY WAS COMPLETED ON THE 16TH DAY OF OCTOBER, 2019 AND THAT THE CORNERS WERE FOUND AS SHOWN TO THE BEST OF MY KNOWLEDGE AND ABILITY.

LATITUDE AND LONGITUDE VALUES FOR THE CENTER OF THE ABOVE-REFERENCED TOWER ARE ACCURATE TO WITHIN 1/20 FEET HORIZONTALLY AND SAID TOWER SITE ELEVATION IS ACCURATE TO WITHIN 1/10 FEET VERTICALLY.

NAD 83
 LATITUDE: 32°47'00.00" / 32° 38' 16.87"N
 LONGITUDE: -93°25'25.54" / 93° 44' 06.37"W
 GROUND ELEVATION AT BASE OF TOWER
 NAVD 1988
 164.82 FEET



SURVEY NOTES
 THIS SURVEY IS NOT A BOUNDARY SURVEY NOR DOES IT REPRESENT A MONUMENTED LAND SURVEY. THIS SURVEY IS NOT INTENDED TO BE USED FOR THE CREATION, CONVEYANCE, OR TRANSFER OF ANY FREE SHIP PARCEL. MONUMENTS SHOWN ARE FOR REFERENCE ONLY AND ARE NOT INTENDED TO BE RELIED UPON FOR THE ESTABLISHMENT OF ANY BOUNDARY SHOWN ON THE DOCUMENT. NO MONUMENTS WERE ESTABLISHED FROM THIS SURVEY.

Garland D. Herring
 GARLAND D. HERRING, P.L.S.
 LOUISIANA REG. NO. 4686

12-12-19

LEON W. & JEAN BALL MC KEE
 GEOG. # 171307-098-0005-00

EXECUTIVE
 DIRECTOR
 APPROVAL

2-16-2020
 Date By

NO.	BY	REVISION	DATE
1.	GH	CHANGE TURNAROUND, LABEL THROUGH DISTANCE	12/5/2019
2.	GH	REVISE ACCESS SERVIDUTE, REMOVE LINE TABLE, ADD BEARING AND DIST.	12/12/2019
3.			
4.			

SCALE: 1" = 10'

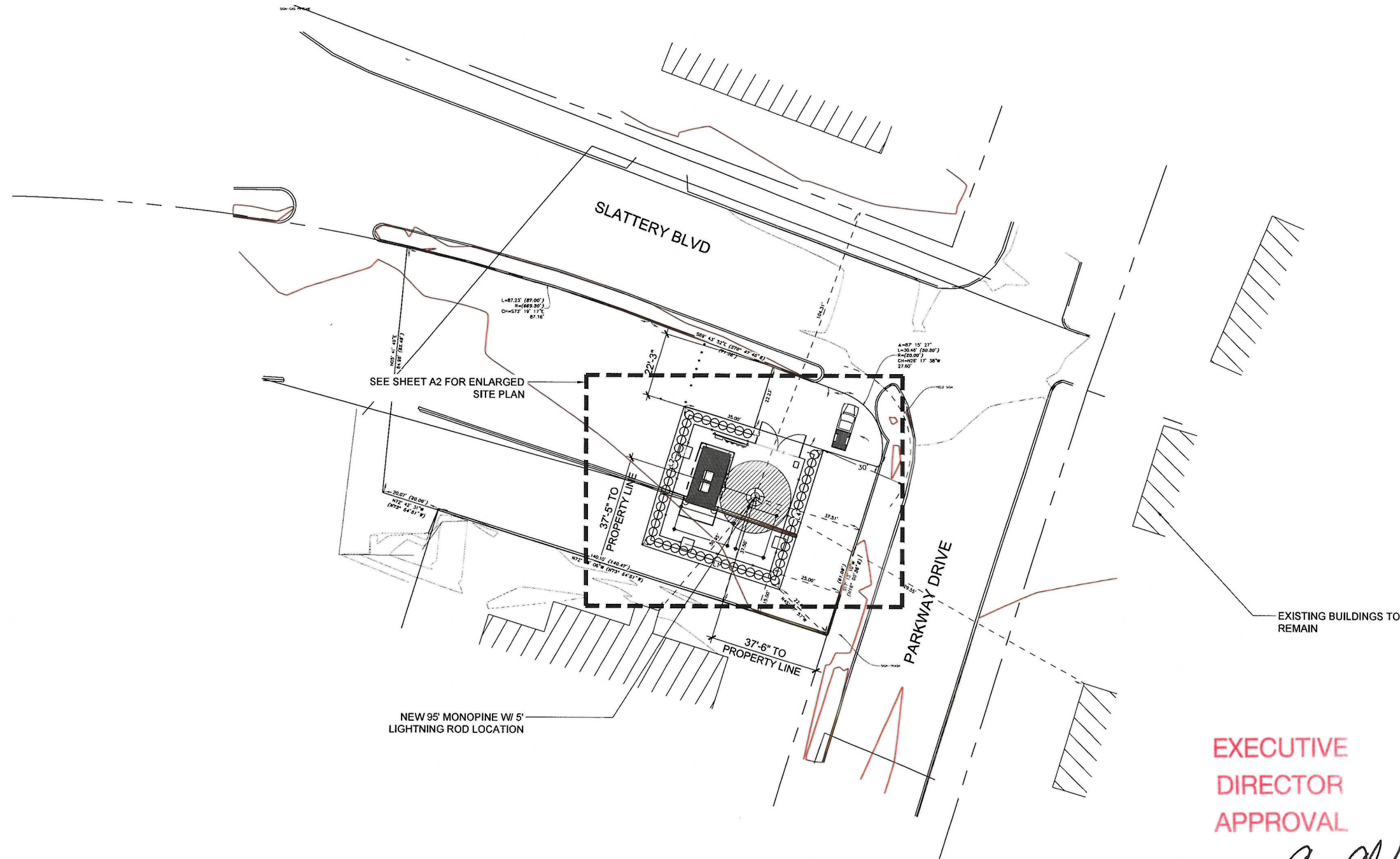
PROJECT NUMBER: 19100019
 DATE: 10/10/2019
 DRAWN BY: JAM
 REVIEWED BY: BPP/SER/DHS

RILEY COMPANY
 ENGINEERS & SURVEYORS
 P.O. DRAWER 130
 TELEPHONE (504) 251-0088
 RUSTON, LA 71272-0130
 FAX: (504) 251-0229

FLAT OF SURVEY OF A MONOPOLE TOWER SITE, UTILITY AND ACCESS SERVIDUTES SITUATED ON AND BEING A PART OF LOT E OF MADISON PARK SUBDIVISION UNIT NO. 7 AS RECORDED IN BOOK 700, PAGE 307 RECORDS OF CADDOPARISH, LOUISIANA AS REQUESTED BY INTEGRISITE, INC.

DRAWING NO.
 1/1

20-26-C



SEE SHEET A2 FOR ENLARGED SITE PLAN

NEW 95' MONOPINE W/ 5' LIGHTNING ROD LOCATION

EXISTING BUILDINGS TO REMAIN

EXECUTIVE DIRECTOR APPROVAL

2-11-2020 *Ac Ch*
Date By

1 OVERALL SITE PLAN
A-1
22'x34' SCALE: 1" = 20'-0"
11'x17' SCALE: 1" = 40'-0"
20' 10' 0' 20'

CLIENT




PLANS PREPARED BY



architecture / project management
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NO.	DATE	DESCRIPTION
1	02/03/2020	PRELIM CDS

ARCHITECTS JOB NO.
YDC-8981

PROJECT INFORMATION

**LA - SHREVEPORT
CONST. DRAWINGS**

3817 GILBERT AVE
SHREVEPORT, LA 71104

SHEET TITLE

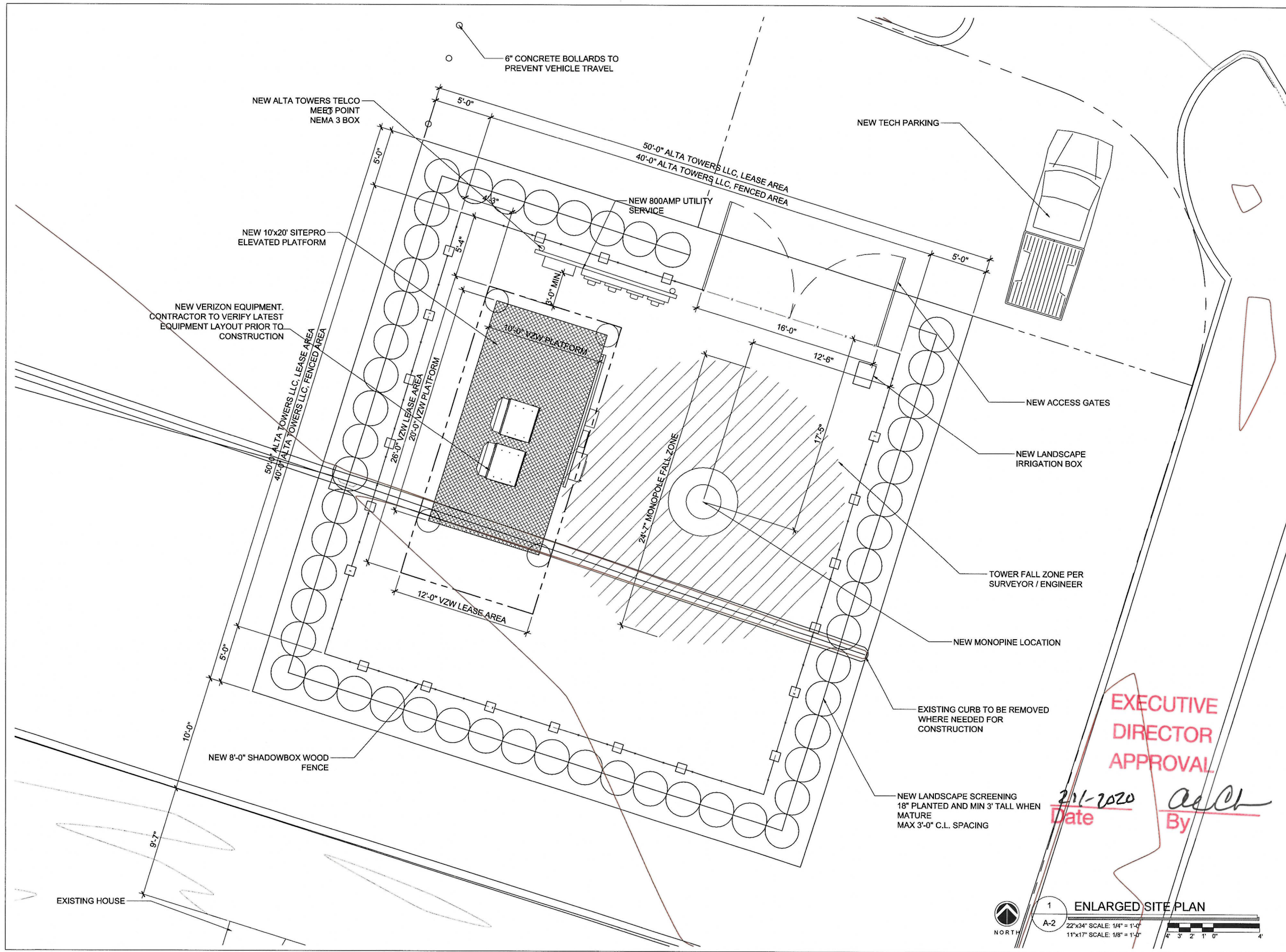
SITE PLAN

JURISDICTION APPROVAL

SHEET NUMBER

A-1

20-26-C



CLIENT




PLANS PREPARED BY



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 10245 E. Via Linda, Scottsdale, AZ 85258
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 YDC-8981

PROJECT INFORMATION

**LA - SHREVEPORT
 CONST. DRAWINGS**

3817 GILBERT AVE
 SHREVEPORT, LA 71104

SHEET TITLE
ENLARGED SITE PLAN

JURISDICTION APPROVAL

SHEET NUMBER
A-2

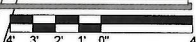
**EXECUTIVE
 DIRECTOR
 APPROVAL**

2/11/2020
 Date By *ACB*

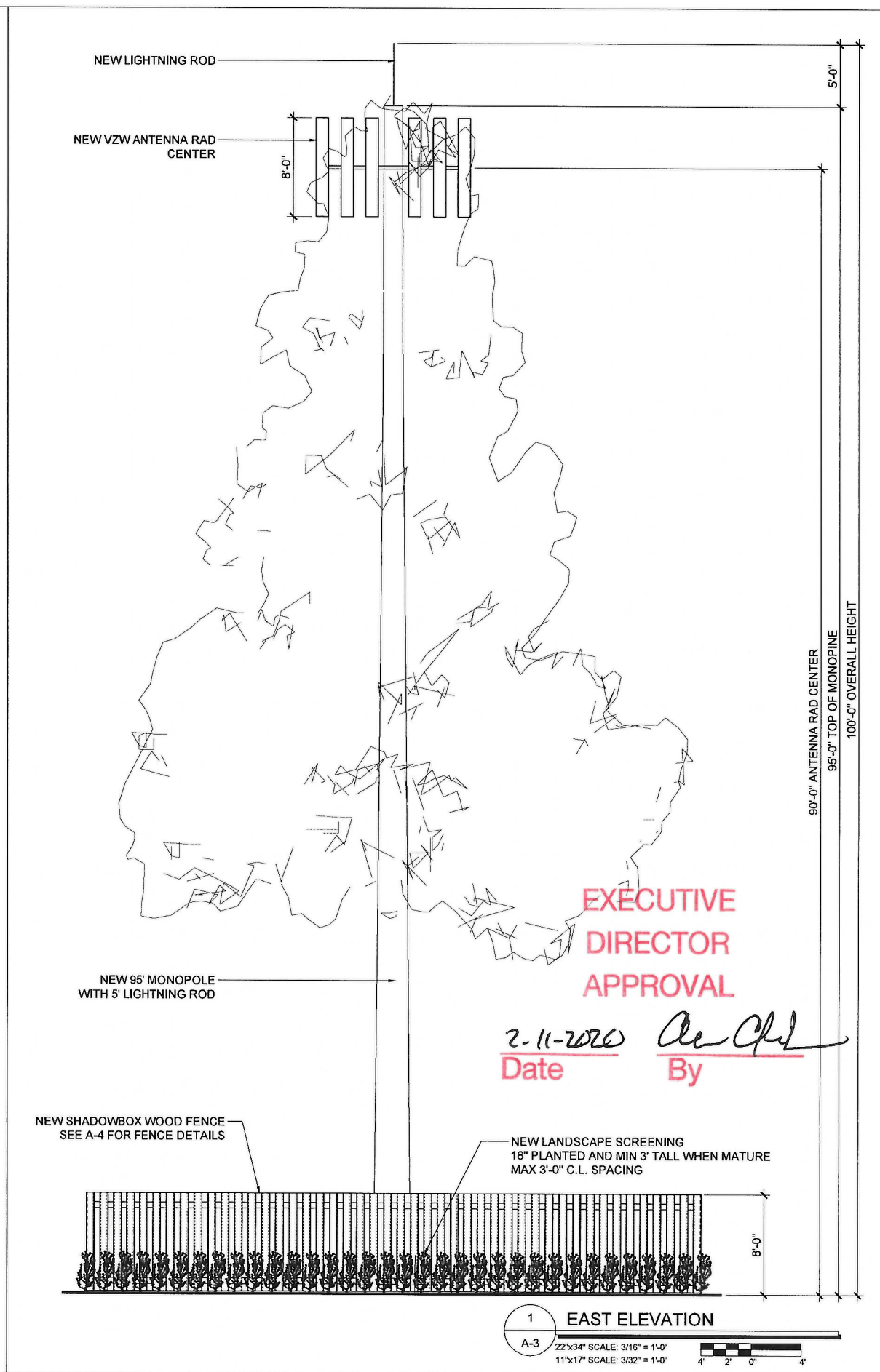
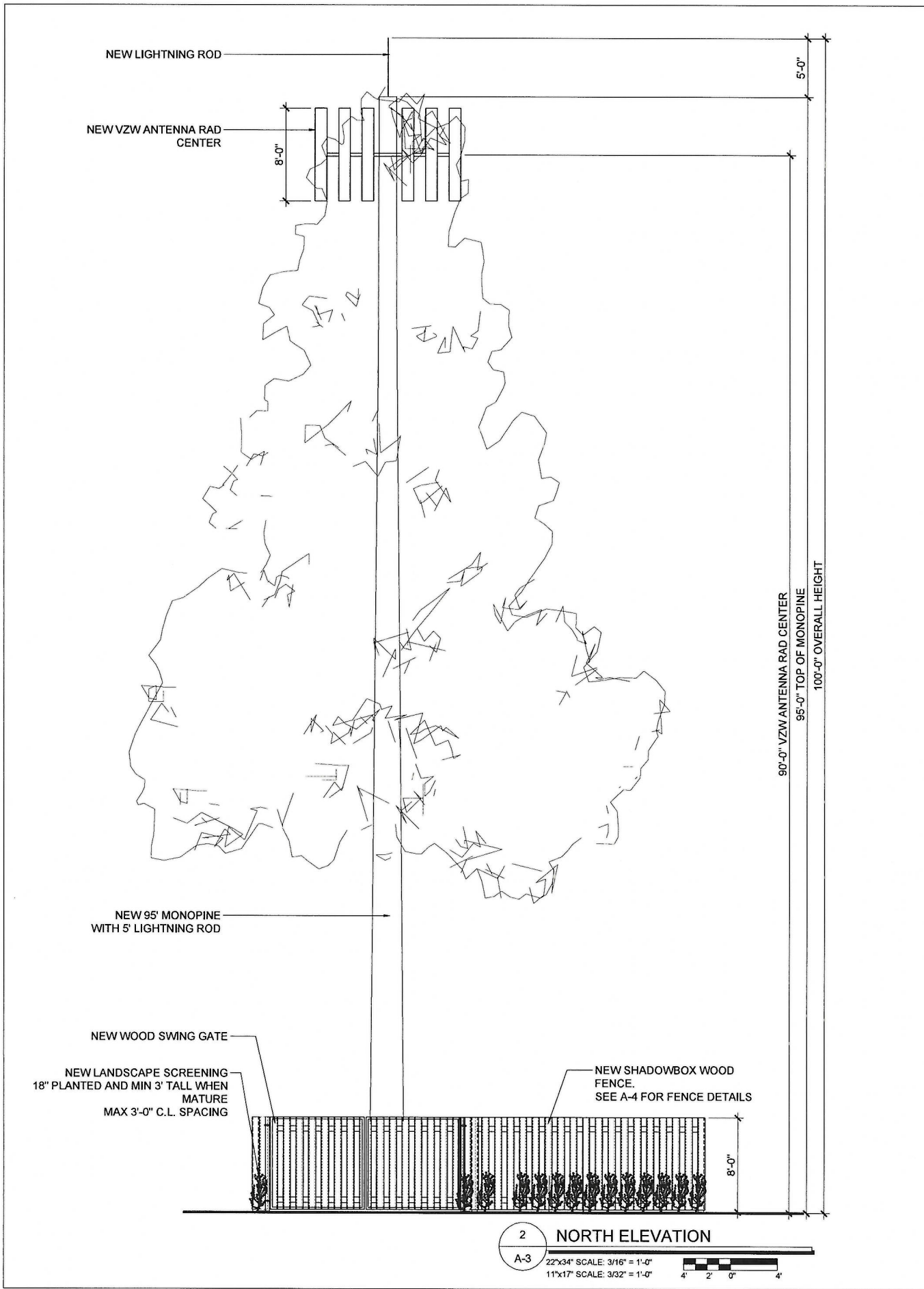
1
 A-2

ENLARGED SITE PLAN

22"x34" SCALE: 1/4" = 1'-0"
 11"x17" SCALE: 1/8" = 1'-0"



20-26-C



**EXECUTIVE
DIRECTOR
APPROVAL**

2-11-2020 *De Ch...*
Date By

CLIENT

PLANS PREPARED BY

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YDC-8981

PROJECT INFORMATION

**LA - SHREVEPORT
CONST. DRAWINGS**

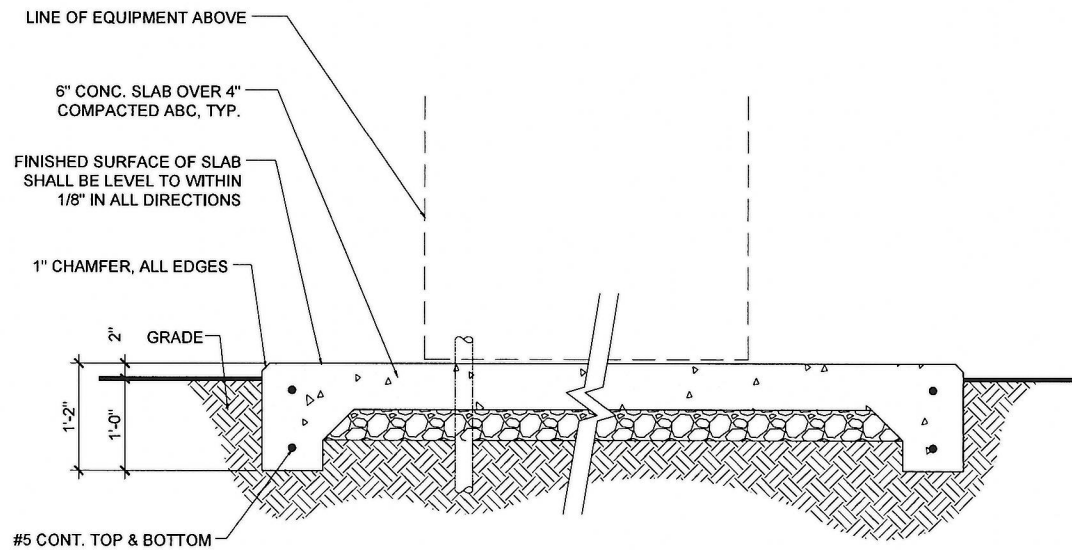
3817 GILBERT AVE
SHREVEPORT, LA 71104

SHEET TITLE
ANTENNAS / ELEVATION

JURISDICTION APPROVAL

SHEET NUMBER
A-3

20-26-C

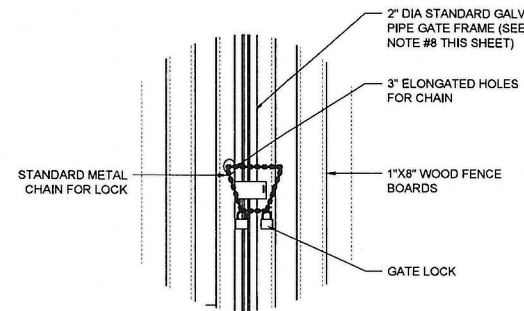


CONCRETE PAD

5

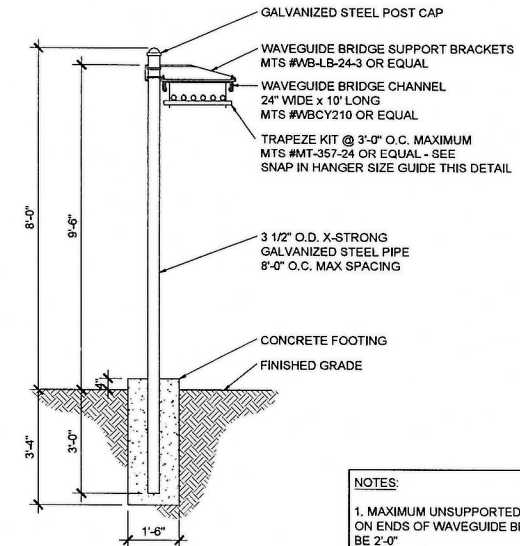
WOOD FENCE NOTES

- BOTTOM OF CONCRETE BASE SHALL BE SET BELOW FROST LINE (SEE LOCAL CODE) CONCRETE BASE IS RECOMMENDED MINIMUM AND SHOULD BE REDESIGNED FOR CONDITIONS WHERE SOIL IS POOR. PROVIDE CONCRETE WITH A 28 DAY STRENGTH OF 4000 PSI (MIN.).
- ALL POSTS SHALL BE INSTALLED IN FOOTINGS AS SPECIFIED. WHERE THE POST IS SET IN ROCK OR CONCRETE, CORE A HOLE 12" DEEP AND 1" LARGER IN DIAMETER THAN THE POST. SET THE POST AND GROUT IN PLACE USING NON-SHRINK GROUT.
- ALL MATERIAL FOR THE WOOD FENCE SHALL BE PRESSURE-TREATED BY CHROMATED COPPER ABENATE (CCA) PER AMERICAN WOOD PRESERVERS BUREAU (AWPB) STANDARDS. ALL MATERIAL FOR THE WOOD FENCE SHALL BE NO. 2 GRADE OR BETTER. ALL FENCE POSTS SHALL BE PRESSURE-TREATED TO AWPB STANDARD LP-22 (GROUND CONTACT) AND ALL OTHER MATERIAL SHALL BE TREATED TO AWPB STANDARD LP-2 ABOVE GROUND USE. LP-22 TREATED WOOD MAY BE SUBSTITUTED FOR LP-2 TREATED BUT NOT THE REVERSE.
- ALL FASTENERS & HARDWARE FOR THE WOOD FENCE SHALL BE HOT DIPPED GALVANIZED.
- ALL PIPE SHALL BE SCHEDULE 40.
- CONTRACTOR SHALL PROVIDE HOLD OPEN STOPS/DEVICES FOR ALL GATES.
- GATES SHALL SWING FREELY AND UNOBSTRUCTED IN THE DIRECTION SHOWN ON THE CONSTRUCTION DRAWINGS (SEE SHT. 03) TO THE FULL OPEN POSITION.
- ALL WOOD GATES SHALL HAVE PIPE FRAME BRACING (WELDED ASSEMBLY, COLD GALV. AND SILVER PAINT WELD AREAS) ALONG WITH DIAGONAL BRACING (3/8" DIA. STEEL TRUSS ROD) AS SPECIFIED.
- THE GRADE OF THE SITE AND INSTALLATION OF THE FENCE SHALL PROVIDE FOR NO MORE THAN A 1" GAP BETWEEN THE BOTTOM OF THE FENCE MATERIAL AND FINISH GRADE.
- GATES SHALL BE MANUFACTURED SUCH THAT THERE EXISTS THE CAPACITY FOR A CHAIN TO BE USED AS THE LOCKING MECHANISM, AND LOCKS TO BE DAISY CHAINED TO PROVIDE MULTIPLE ACCESS TO THE SITE. CONTRACTOR SHALL PROVIDE A 3/8" SIZE, THREE FOOT (3') LENGTH OF CHAIN (HOT DIP GALV. OR VINYL COATED) TO SERVE AS THE LOCKING MECHANISM.
- CONTRACTOR SHALL FURNISH AND INSTALL ONE (1) MASTER LOCK #175D/ COMBINATION PADLOCK.



FENCE NOTES AND LOCK DETAIL

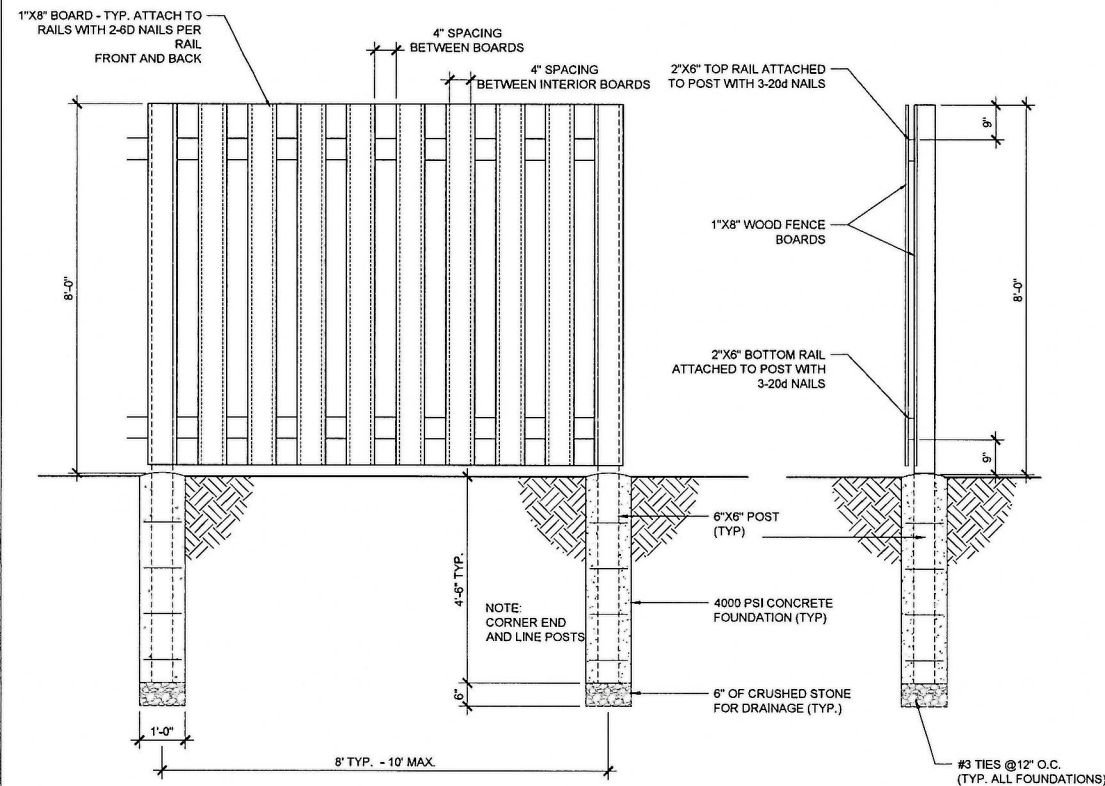
4



- NOTES:
- MAXIMUM UNSUPPORTED LENGTH ON ENDS OF WAVEGUIDE BRIDGE TO BE 2'-0"
 - CONNECT STRAIGHT SECTIONS OF WAVEGUIDE BRIDGE WITH SPLICE PLATES MTS #WS-K400 OR EQUAL
 - CONNECT ANGLED SECTIONS OF WAVEGUIDE BRIDGE WITH ADJUSTABLE SPLICE MTS #MT-F504 OR EQUAL

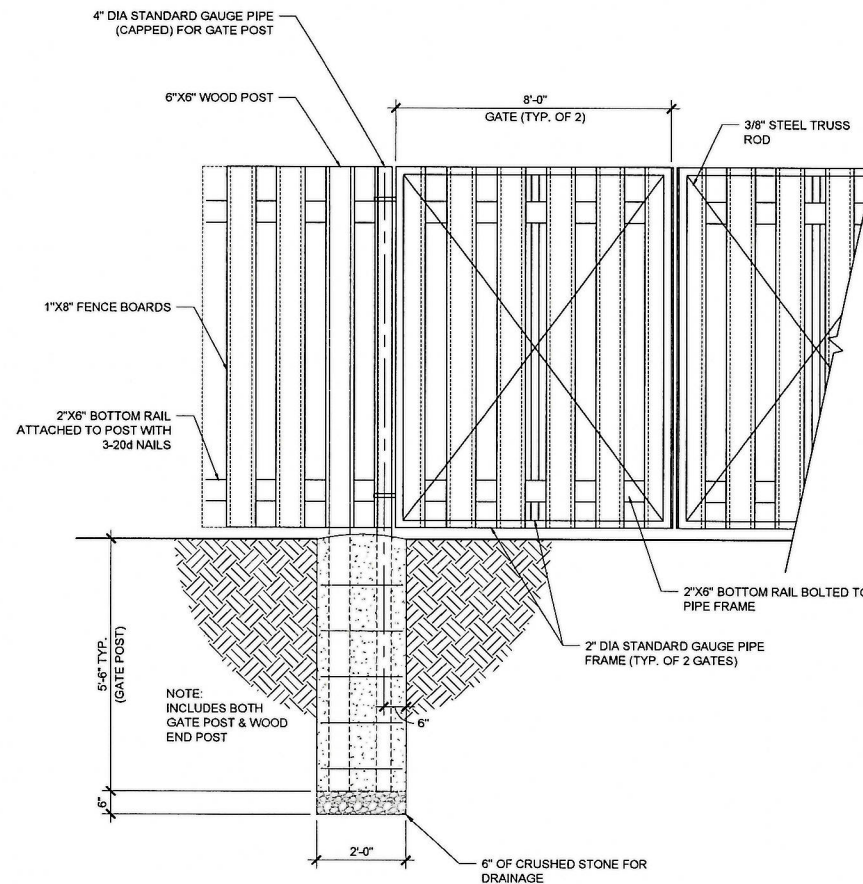
CABLE BRIDGE DETAIL

2



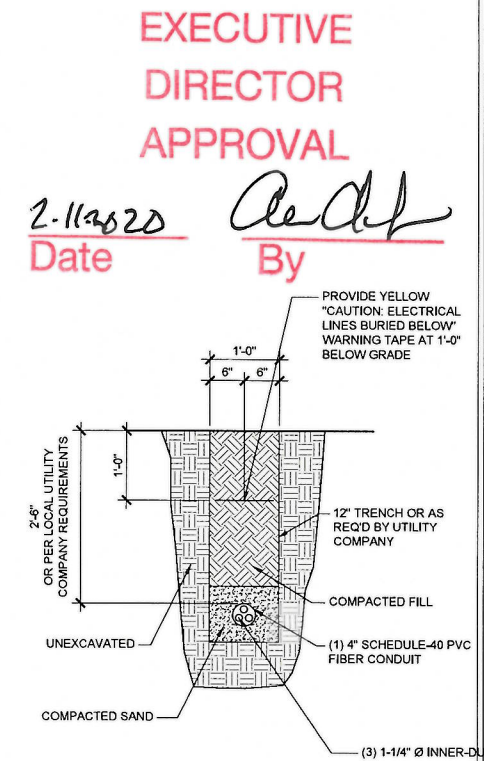
SHADOWBOX FENCE & POST DETAIL

3



WOOD FENCE GATE DETAIL

3



FIBER TRENCH DETAIL

1

CLIENT

PLANS PREPARED BY

architecture / project management
10245 E. Via Linda, Scottsdale, AZ 85258
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NO.	DATE	DESCRIPTION
1	02/03/2020	PRELIM CDS

ARCHITECTS JOB NO. YDC-8981

PROJECT INFORMATION

LA - SHREVEPORT CONST. DRAWINGS

3817 GILBERT AVE SHREVEPORT, LA 71104

SHEET TITLE

DETAILS

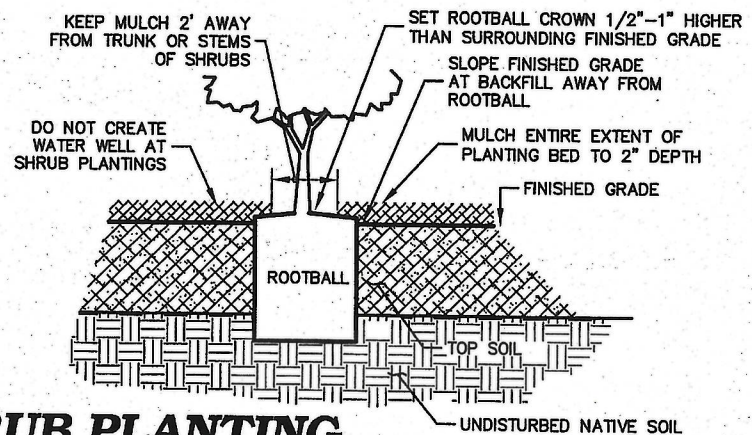
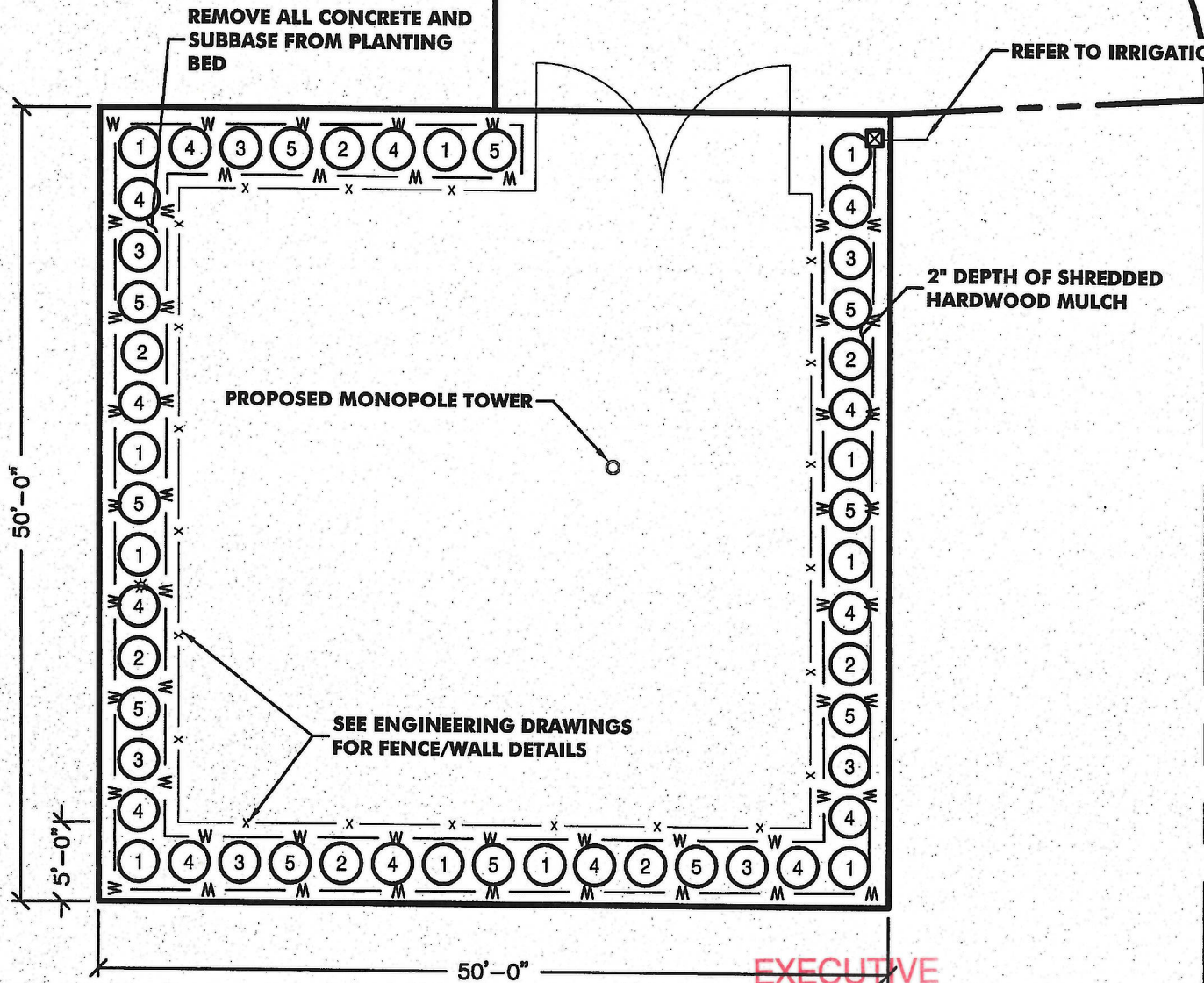
JURISDICTION APPROVAL

SHEET NUMBER

A-4

20-26-C

SLATTERY BLVD.



SHRUB PLANTING

PLANT SCHEDULE					
SHRUBS	COMMON NAME/BOTANICAL NAME	QTY	CONTAINER	MATURE HGT.	MATURE WIDTH
1	LEANN CLEYERA/CLEYERA JAPONICA	11	3 GAL	8'-10'	4'-6'
2	INDIAN HAWTHORN/RHAPHIOLEPSIS INDICA	7	3 GAL	4'-6'	4'-6'
3	PRIMROSE JASMINE/JASMINUM MESNYU	7	3 GAL	4'-6'	4'-6'
4	FLORIDA JASMINE/JASMINUM FLORIDUM	14	1 GAL	2'-5'	3'-5'
5	DWARF NANDINA/NANDINA DOMESTICA	11	1 GAL	2'-3'	2'-3'
TOTAL		50			

GENERAL NOTES

1. ALL SHRUBS TO BE FULL AND UNIFORM BY SPECIES WITH MATCHING CHARACTER AND BRANCHING STRUCTURE.
2. EACH PLANT VARIETY MUST COME FROM A SINGLE SOURCE SUPPLIER IN ORDER TO MAINTAIN A CONSISTENT APPEARANCE.
3. CONTAINER GROWN PLANTS MUST HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER, ABLE TO MAINTAIN A FIRM BALL WHEN THE CONTAINER IS REMOVED, BUT SHALL NOT HAVE EXCESSIVE ROOT GROWTH ENCIRCLING THE INSIDE OF THE CONTAINER.
4. LARGE SHRUBS MUST HAVE A MIN. HEIGHT OF 3' AT INSTALLATION. SMALL SHRUBS MUST HAVE A MINIMUM HEIGHT OF 18" AT INSTALLATION. LARGE SHRUBS ARE THOSE SHRUBS THAT REACH 5' OR MORE IN HEIGHT AT MATURITY. SMALL SHRUBS ARE THOSE SHRUBS THAT MAY GROW UP TO 5' IN HEIGHT IF LEFT UNMAINTAINED, BUT ARE GENERALLY MAINTAINED AT HEIGHTS OF 18"-24".
5. ALL PLANT MATERIALS MUST BE OF GOOD QUALITY AND MEET AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS FOR MINIMUM ACCEPTABLE FORM, QUALITY, AND SIZE FOR SPECIES SELECTED. SIZE AND DENSITY OF PLANT MATERIAL, BOTH AT THE TIME OF PLANTING AND AT MATURITY, ARE ADDITIONAL CRITERIA THAT MUST BE CONSIDERED WHEN SELECTING PLANT MATERIAL.
6. REMOVE ALL CONCRETE AND SUB BASE FROM THE PLANTING BED AND INSTALL 18" OF TOP SOIL.
7. ALL TOPSOIL SHALL BE IN ACCORDANCE WITH DOTD SECTION 715.
8. PLANTING BED SHALL BE TOPPED WITH 2" DEPTH OF SHREDDED HARDWOOD MULCH.

CAUTION NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL "LOUISIANA ONE CALL" BEFORE DIGGING - DIAL 811 OR 800-272-3020 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



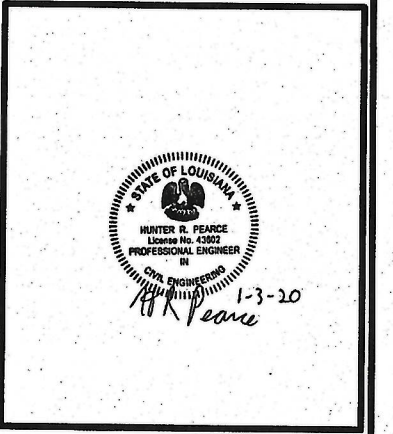
Alta Towers, LLC

RILEY COMPANY
ENGINEERS & SURVEYORS

P.O. DRAWER 1303 RUSTON, LA 71273-1303
TELEPHONE (318) 251-0238 FAX: (318) 251-0239

REVISIONS			
REV	DATE	DESCRIPTION	INITIALS
1	01/02/20	CONSTRUCTION DOCUMENTS	HRP

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET



SITE ID:
LA SHREVEPORT

SHREVEPORT, LA 71104

SCALE:	1" = 5'
PROJECT:	907-2
DATE:	JANUARY, 2020
DRAWN BY:	DGJ
FILE NAME:	LANDSCAPE PLAN

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
1/2

20-26-C



Alta Towers, LLC

RILEY COMPANY
ENGINEERS & SURVEYORS

P.O. DRAWER 1303 RUSTON, LA 71273-1303
TELEPHONE (318) 251-0238 FAX: (318) 251-0239

REVISIONS

REV	DATE	DESCRIPTION	INITIALS
1	12/02/20	CONSTRUCTION DOCUMENTS	HRP

NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET



SITE ID:
LA SHREVEPORT

SHREVEPORT, LA 71104

SCALE: 1" = 5'

PROJECT: 907-2

DATE: JANUARY, 2020

DRAWN BY: DGJ

FILE NAME: LANDSCAPE PLAN

SHEET TITLE
IRRIGATION PLAN

SHEET NUMBER

2/2

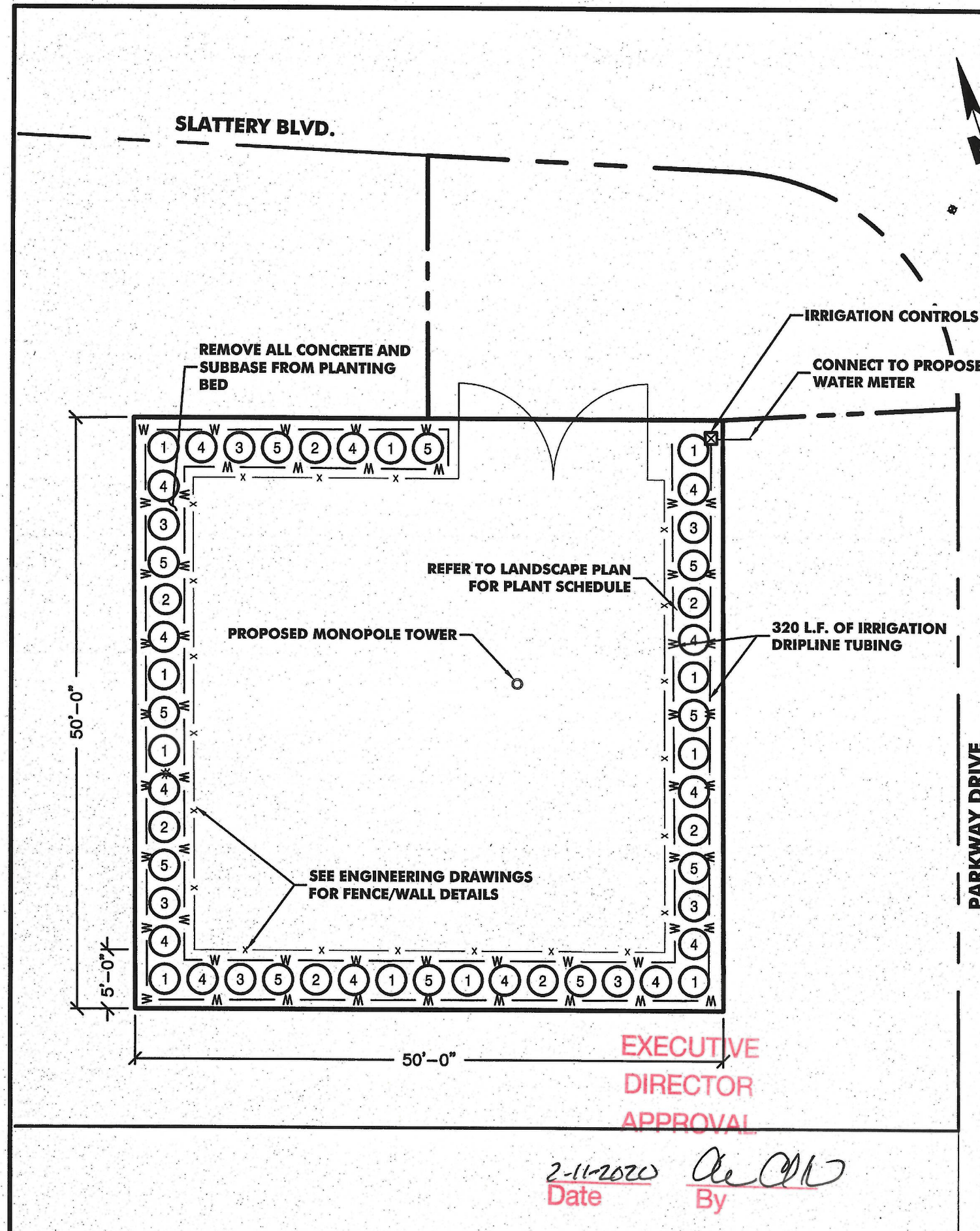
IRRIGATION SCHEDULE			
SYMBOL	TYPE	QTY	SIZE
— W —	POLYETHYLENE MICRO DRIPLINE TUBING	320 L.F.	1/4" DIA.
☒	IRRIGATION CONTROL	1	TBD

GENERAL NOTES

- ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH AN AUTOMATED IRRIGATION SYSTEM. THIS SYSTEM SHALL INCLUDE AN AUTOMATIC CONTROLLER. THIS SYSTEM SHALL BE INSTALLED ACCORDING TO ALL LOCAL GUIDELINES, CITY CODES, AND SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE AUTHORITIES.
- REMOVE ALL STONES AND DEBRIS FROM IRRIGATION TRENCHES PRIOR TO ANY BACKFILLING.
- ALL PVC PIPE JOINTS SHALL BE PRIMED WITH COLORED PRIMER PRIOR TO THE APPLICATION OF ANY GLUE.
- ALL CONTROL WIRING SHALL BE PLACED IN THE MAINLINE TRENCH ADJACENT TO THE MAINLINE PIPE. ALLOW FOR SOIL EXPANSION WITH 18" OF EXTRA WIRE COILED IN EACH VALVE BOX.
- IRRIGATION CONTRACTOR TO SIZE AND INSTALL IRRIGATION CONTROLS.
- COORDINATE THE LOCATION OF THE IRRIGATION CONTROLLER WITH THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL MATERIALS SHALL BE NEW AND UNUSED.
- ALL IRRIGATION DRIPLINES SHALL BE INSTALLED 2" BELOW GRADE, SECURED WITH MANUFACTURER RECOMMENDED STAPLES AT 36" O.C..
- DRIPLINE SHALL BE INSTALLED A MINIMUM OF 4" AWAY FROM EDGES OF HARDSCAPE ELEMENTS.
- THE CONTRACTOR WILL SECURE ALL REQUIRED PERMITS AND PAY ALL ASSOCIATED FEES UNLESS OTHERWISE NOTED.
- CONTRACTOR IS TO CONTACT APPROPRIATE AUTHORITIES AND LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. DAMAGE CAUSED BY THE CONTRACTOR TO ANY UTILITIES OR OTHER SITE WORK DURING THE INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- ANY EXISTING IRRIGATION ADJACENT TO NEW WORK LIMITS SHALL REMAIN IN OPERATION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY ADJUSTMENTS REQUIRED TO MAINTAIN OPERATION OF THE EXISTING SYSTEM DUE TO CONSTRUCTION WITHIN THE NEW WORK LIMITS.

CAUTION NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL "LOUISIANA ONE CALL" BEFORE DIGGING - DIAL 811 OR 800-272-3020 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



2-11-2020 Date By *[Signature]*

EXECUTIVE
DIRECTOR
APPROVAL

20-26-C