

Certificate of Appropriateness

Filing Date: January 12, 2024
Case Number: **24-1-HPC**
Request: **Certificate of Appropriateness**
Project Address: 651 Oneonta Street, Shreveport, LA, 71106
Historic District: South Highlands Historic District
Zoning: R-1-5 (Single-Family Residential Zoning District)
Applicant: Ken Alexander
MPC Review by: Walter Johnson, Community Planning and Design Manager
walter.johnson@shreveportla.gov

PROJECT DESCRIPTION

651 Oneonta Street is the site of a single-story structure located within the South Highlands Historic District. The applicant is seeking approval of a Certificate of Appropriateness to extend the roof cover above the front porch (with four (4) supporting columns) to eliminate constant wall deterioration from rainwater on the front porch. Additionally, the Applicant wishes to add approximately 35' of new privacy fencing on the eastern side of the property with a small gate next to that side of the house. Applicant will ensure that roof columns and roof extension(s) will be complementary with the existing architectural structure and style.

OTHER ACTIONS REQUIRED

The proposed project will require a building permit from the City of Shreveport Permits Division.

APPROVAL STANDARDS – Certificate of Appropriateness.

Per Shreveport UDC Article 21, Section 21.5, D. Approval Standards, for a Certificate of Appropriateness:

It is not the intention of these regulations to require the reconstruction or restoration of individual or original buildings and/or prohibit the removal or demolition of the same. Upon review of the application for a Certificate of Appropriateness, the Shreveport HPC and the Executive Director of the Shreveport-Caddo MPC, or his/her designee, must balance the following standards in making any recommendation and/or determination for approval:

- a. Whether the proposed activity involving exterior features and/or exterior architectural features is harmonious with the special character of the HPOD.*

MPC STAFF COMMENTS: MPC staff finds that the proposed activity IS HARMONIOUS with the special character of the HPOD.

- b. Whether the proposed activity will adversely affect any exterior feature and/or exterior architectural feature.*

MPC STAFF COMMENTS: MPC staff finds that the proposed activity WILL NOT adversely affect the exterior or architectural feature(s) and essence of the home.

- c. Whether the proposed activity will adversely affect the historic character of the landmark, site, building, structure, landscape and/or object.*

MPC STAFF COMMENTS: MPC staff finds that the proposed activity WILL NOT adversely affect the historic character of the structure and area.

- d. *In considering new construction, if a contemporary design is used, the architectural styles from particular historic periods are not required; however, a determination regarding whether the contemporary design is harmonious with the character of the HPOD is required.*

MPC STAFF COMMENTS: MPC staff finds that the architectural style IS HARMONIOUS with the characteristics of the HPOD.

- e. *Whether the proposed activity is in compliance with the design standards contained in Article 4.*

MPC STAFF COMMENTS: MPC staff finds that the proposed activity can be considered IN COMPLIANCE with the design standards contained in Article 4 of the Shreveport UDC.

MPC STAFF ANALYSIS

CERTIFICATE OF APPROPRIATENESS

Based on the requirements of Article 4, Section 4.7.C. General Historic Preservation Overlay District Design Standards, MPC staff has determined the proposed alteration complies with all design standards contained in the Shreveport UDC.

ATTACHMENTS -

Exhibit A - Zoning Map

Exhibit B - Aerial Map

Exhibit C - Proposed Drawing

Exhibit D - Current Photos

MPC STAFF RECOMMENDATION

CERTIFICATE OF APPROPRIATENESS.

MPC staff recommends APPROVAL of the requested Certificate of Appropriateness as it appears to meet the approval standards of Shreveport UDC Article 21, Section 21.5, D.



Exhibit A - Zoning Map



Exhibit B - Aerial Map

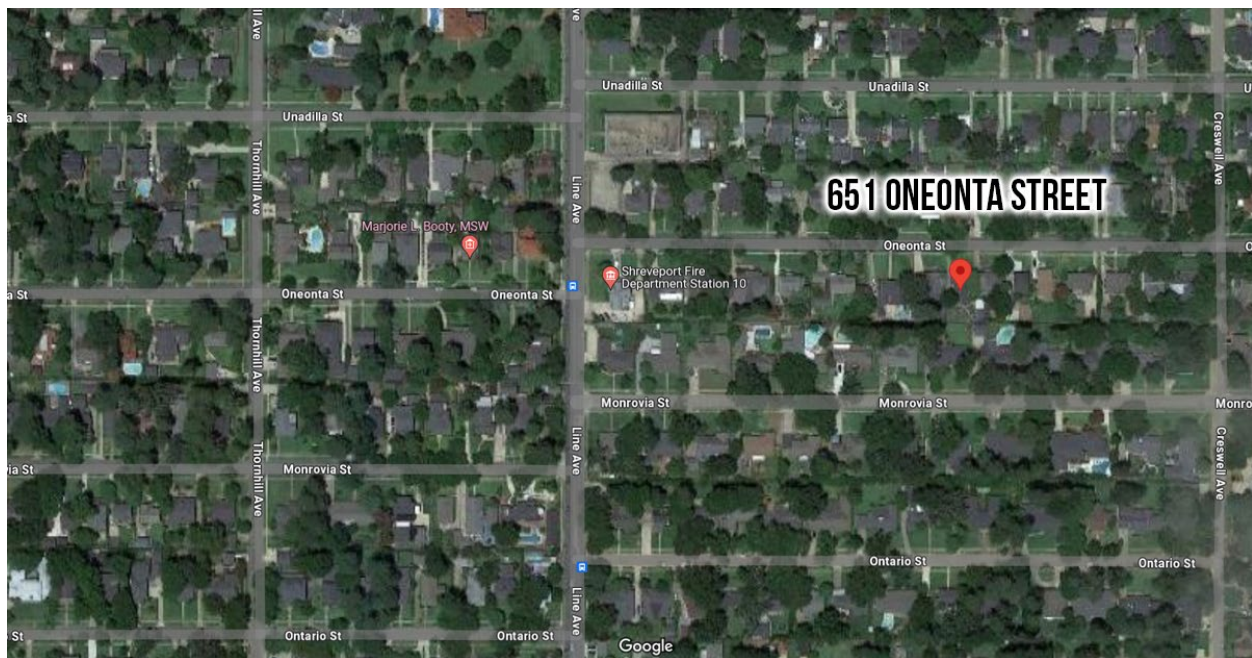
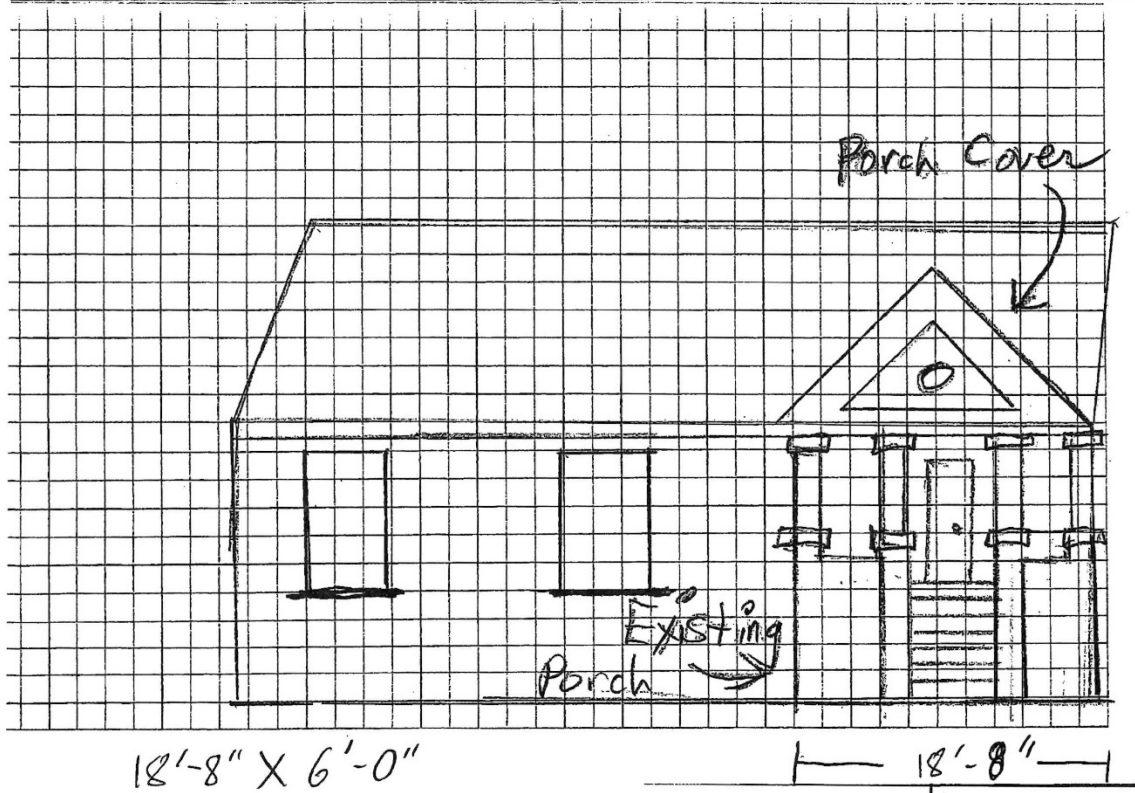
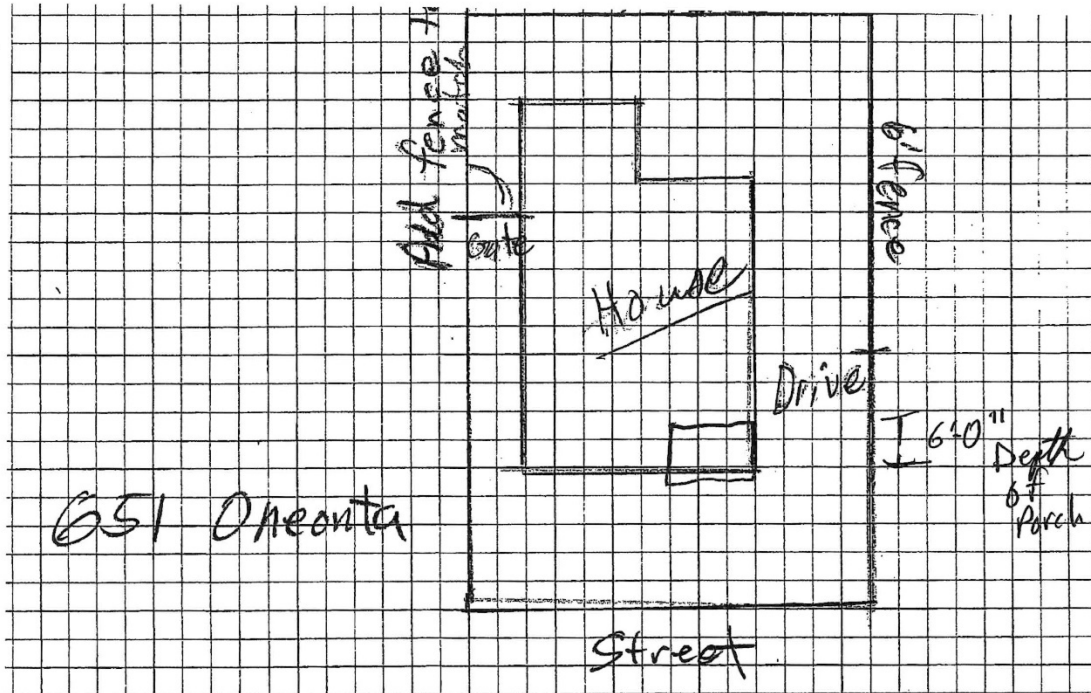
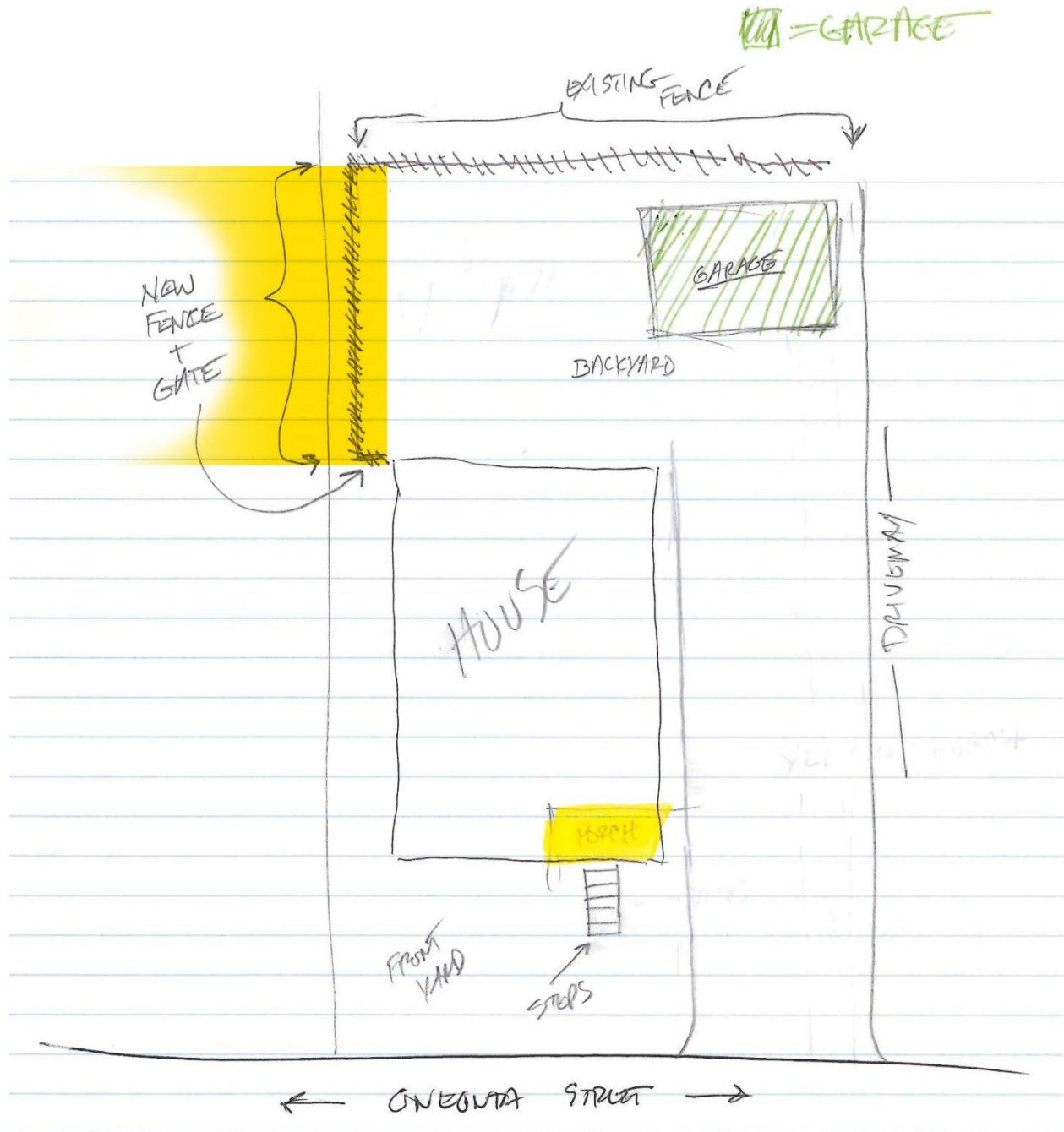


Exhibit C - Proposed Drawing





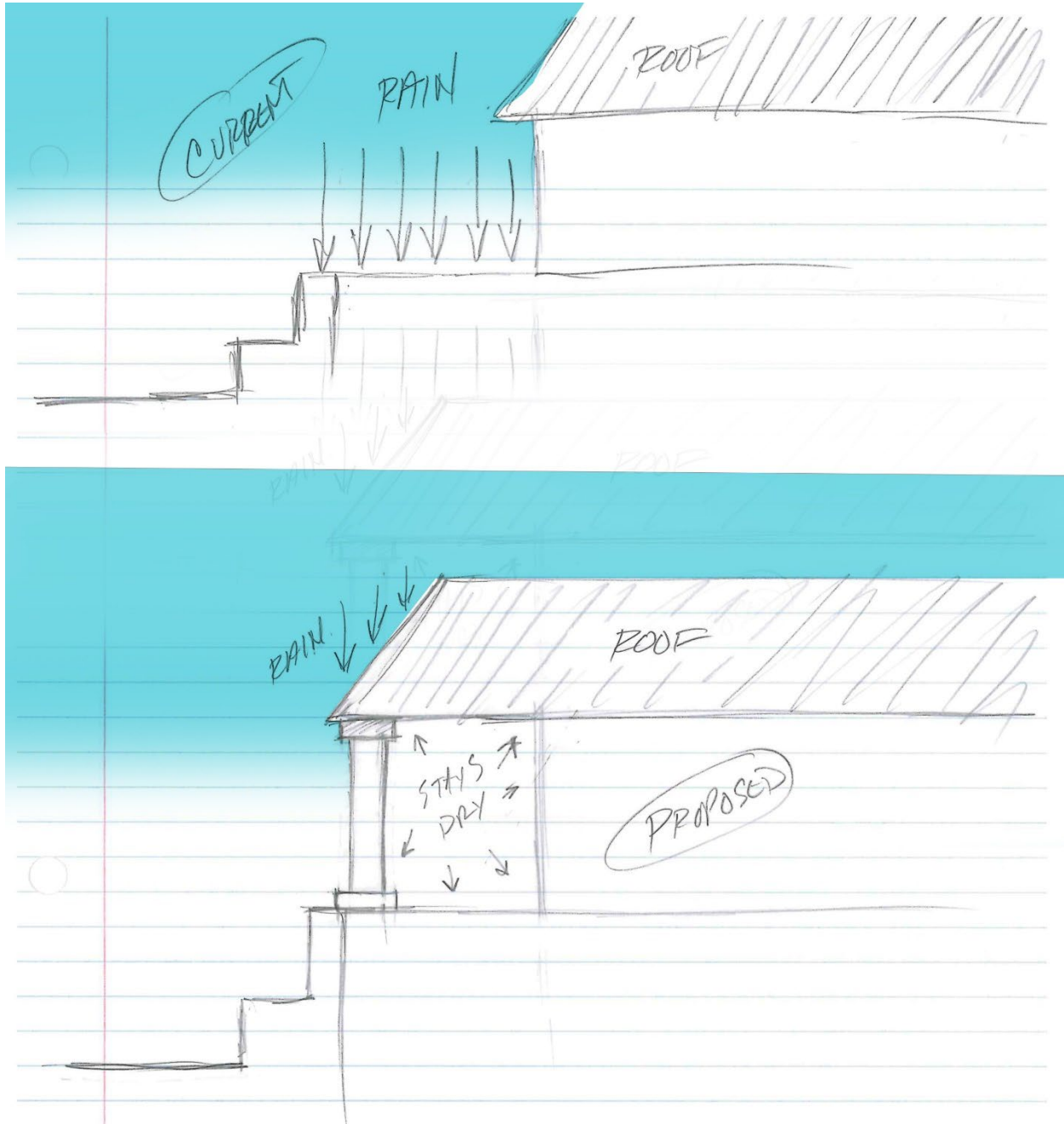


Exhibit D - Current Photos

